

CONSTRUCTION PLANS  
FOR  
RAM OAKLAND PARK  
RESIDENTIAL

CITY OF OAKLAND PARK, FLORIDA  
SECTION 26, TOWNSHIP 49 SOUTH, RANGE 42 EAST

CONTACTS

**DEVELOPER**  
RAM REALTY ACQUISITIONS V LLC  
4801 PGA BOULEVARD  
PALM BEACH GARDENS, FL 33418  
PHONE: (561) 630-6110

**CIVIL ENGINEER**  
BOWMAN CONSULTING GROUP  
301 SE OCEAN DRIVE, SUITE 301  
STUART, FL 34994  
PHONE: (772) 283-1413

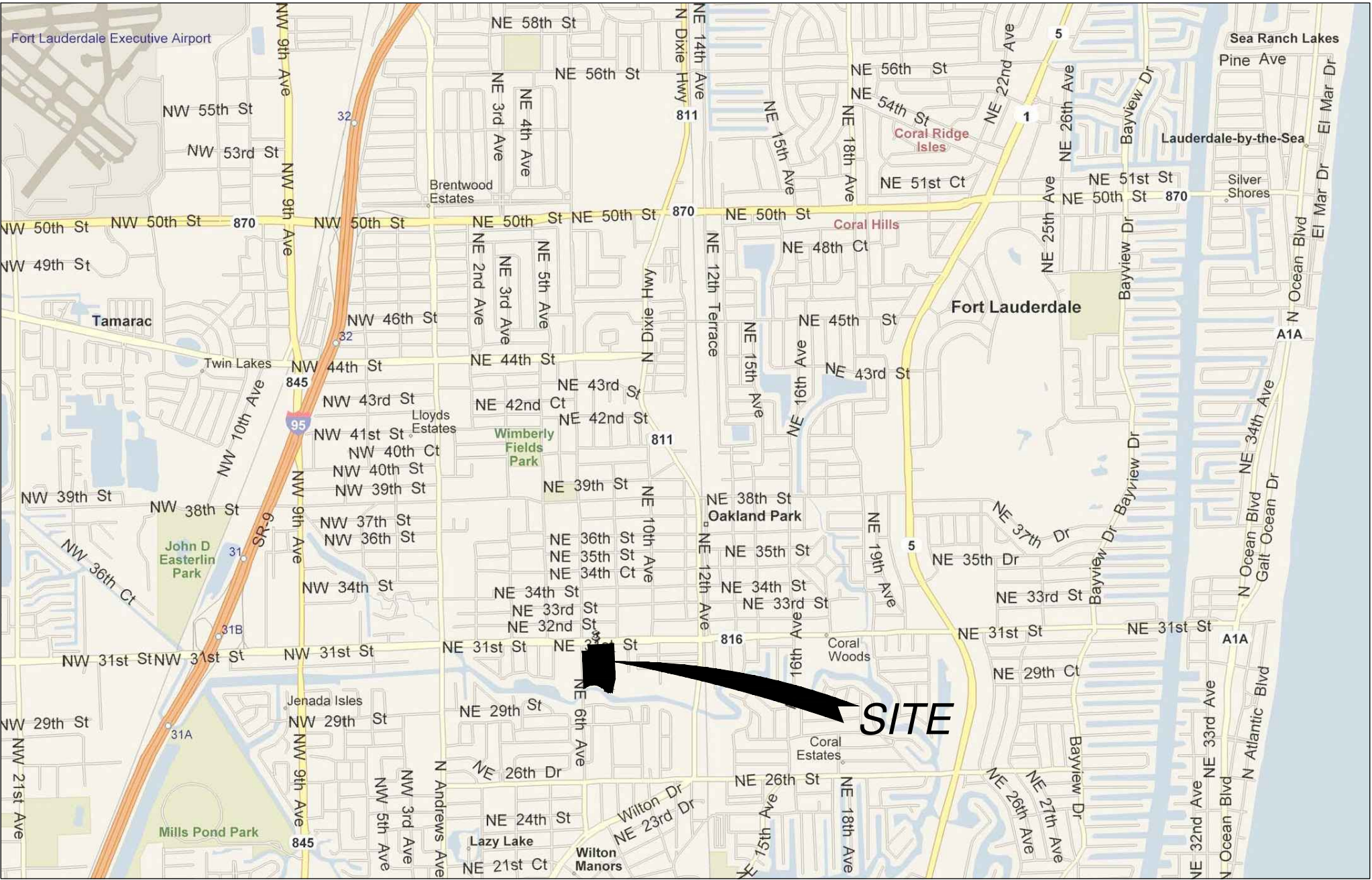
**ARCHITECT**  
MSA ARCHITECTS, INC.  
8950 SW 74TH COURT, SUITE 1513  
MIAMI, FL 33156  
PHONE: (305) 273-9911

**PHOTOMETRICS**  
FRANYIE ENGINEERS, INC.  
10610 N.W. 27 STREET  
MIAMI, FLORIDA 33172  
PHONE: (305) 592-1360  
FAX: (305) 594-9279

**LANDSCAPE ARCHITECT**  
ARCHITECTURAL ALLIANCE LANDSCAPE  
612 SW 4TH AVE.  
FORT LAUDERDALE, FL 33315  
PHONE: (954) 764-8858

**SURVEYOR**  
BOWMAN CONSULTING GROUP  
301 SE OCEAN DRIVE, SUITE 301  
STUART, FL 34994  
PHONE: (772) 283-1413

**TRAFFIC ENGINEER**  
MCMAHON ASSOCIATES, INC.  
2090 PALM BEACH LAKES BOULEVARD, SUITE 400  
WEST PALM BEACH, FLORIDA 33409  
PHONE: (561) 840-8650



LOCATION MAP  
N.T.S.

GENERAL NOTES

1. THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS ALONG WITH A COPY OF ALL APPLICABLE PERMITS AND AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
2. THE CONTRACTOR SHALL MEET OR EXCEED ALL SITE WORK SPECIFICATIONS AND APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS FOR ALL MATERIALS AND CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS IS ENCOUNTERED.
5. NO REVISION SHALL BE MADE TO THESE PLANS WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE. AT ALL TIMES.
7. ANY REFERENCE TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.

NOTE:  
ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH  
AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

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LEGAL DESCRIPTION

TRACT A, WALMART OAKLAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED MARCH 12, 2019 IN PLAT BOOK 183, PAGE 253, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**Bowman**  
CONSULTING  
C O N S U L T I N G  
PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB 8030  
BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39462

Bowman Consulting Group, Ltd., Inc.  
301 SE Ocean Blvd, Suite 301  
Stuart, Florida 34994  
Phone: (772) 283-1413  
Fax: (772) 220-7881  
www.bowmanconsulting.com  
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RAM OAKLAND PARK  
670 E OAKLAND PARK BOULEVARD  
RESIDENTIAL  
COVER SHEET  
FLORIDA  
CITY OF OAKLAND PARK

PROJECT NO  
010674-01-001

L.B. LEONARD, PE  
FL. LICENSE NO. 61737

PLAN STATUS  
5/13/20 COP RESUBMITTAL  
6/17/20 COP RESUBMITTAL

DATE DESCRIPTION  
LBL JMB GMB  
DESIGN DRAWN CHKD  
SCALE: N/A

JOB No. 010674-01-001

DATE: DECEMBER 2019

FILE No. 010674-01-001-COV

C0  
SHEET





# PRELIMINARY SITE PLAN

PROJECT NO  
010674-01-001

PLAN STATUS


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DATE	DESCRIPTION	

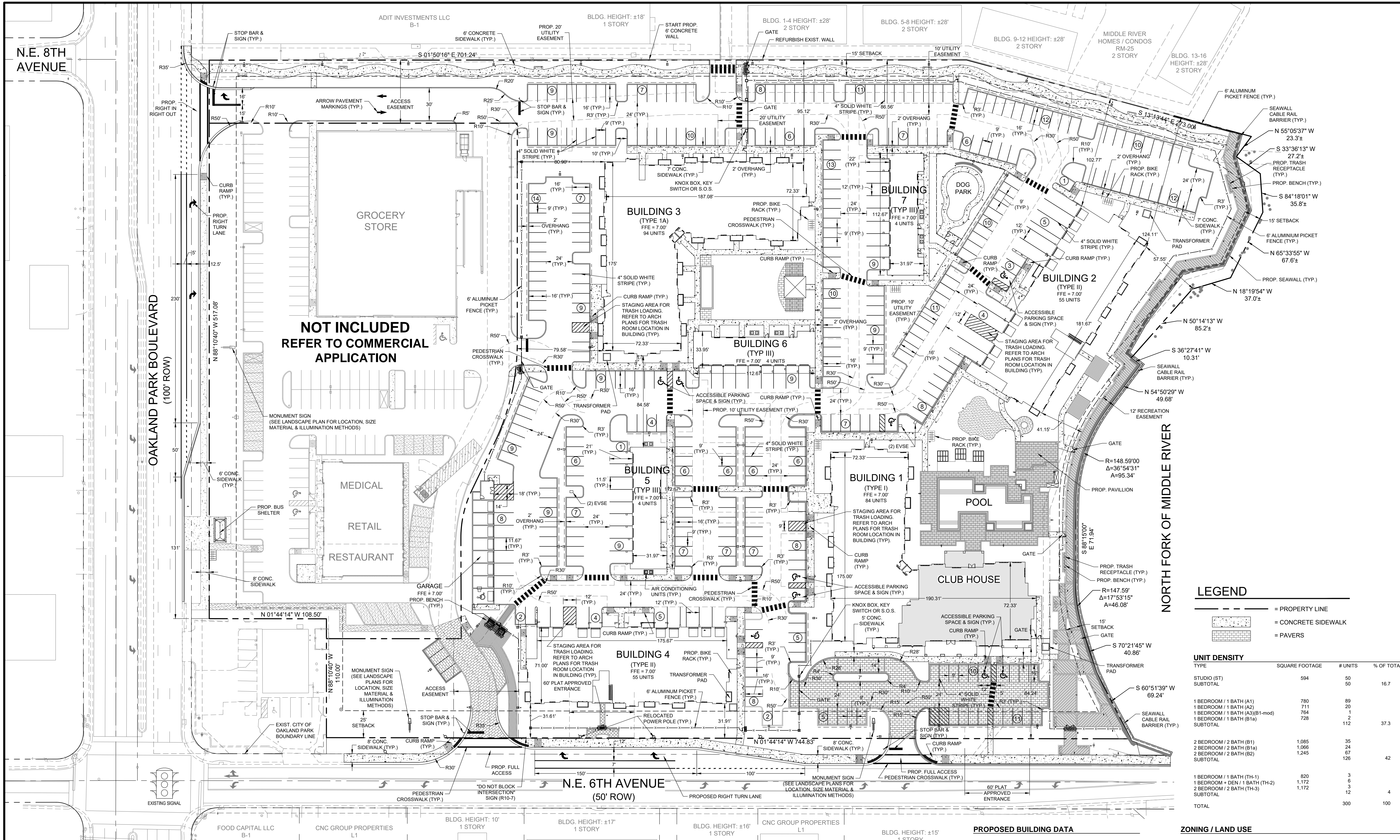
DESIGN	DRAWN	CHK
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OR No. 010674.01.001

DATE: DECEMBER 2019

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SHEET 01



1. ALL PROPOSED ONSITE UTILITIES THAT SERVICE THE

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL GOVERNING AUTHORITY REQUIREMENTS AND CODES AND SO'S H.A. STANDARDS.
8. THE CONTRACTOR SHALL REVIEW THE ARCHITECTURE SITE PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, CANOPIES, APRONS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING ENTRANCE LOCATIONS.
9. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL, RESEED AT A RATE OF ONE POUND PER SQUARE YARD ON SLOPES 3% OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAIN OF GRASS IS OBTAINED.
10. MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS.
11. ALL SIDEWALKS AND ADA ACCESSIBLE AREAS SHALL HAVE A MAXIMUM RUNN

ALL FLEV

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PERVIOUS AREA	99,371 SF	2.28 AC	18
IMPERVIOUS AREA	447,570 SF	10.28 AC	82
BUILDING	117,692 SF	2.70 AC	22
PAVEMENT	329,878 SF	7.57 AC	60
<b>TOTAL</b>	<b>546,941 SF</b>	<b>12.56 AC</b>	<b>100</b>

08A+1B+2C+3D+4E+5F+6G+7H+8I+9J+10K+11L+12M+13N+14O+15P+16Q+17R+18S+19T+20U+21V+22W+23X+24Y+25Z+26AA+27AB+28AC+29AD+30AE+31AF+32AG+33AH+34AI+35AJ+36AK+37AL+38AM+39AN+40AO+41AP+42AQ+43AR+44AS+45AT+46AU+47AV+48AW+49AX+50AY+51AZ+52BA+53BB+54BC+55BD+56BE+57BF+58BG+59BH+60BI+61BJ+62BK+63BL+64BM+65BN+66BO+67BP+68BQ+69BR+70BS+71BT+72BU+73BV+74BW+75BX+76BY+77BZ+78CA+79CB+80CC+81CD+82CE+83CF+84CG+85CH+86CI+87CJ+88CK+89CL+90CM+91CN+92CO+93CP+94CQ+95CR+96CS+97CT+98CU+99CV+100CW+101CX+102CY+103CZ+104DA+105DB+106DC+107DD+108DE+109DF+110DG+111DH+112DI+113DJ+114DK+115DL+116DM+117DN+118DO+119DP+120DQ+121DR+122DS+123DT+124DU+125DV+126DW+127DX+128DY+129DZ+130EA+131EB+132EC+133ED+134EE+135EF+136EG+137EH+138EI+139EJ+140EK+141EL+142EM+143EN+144EO+145EP+146EQ+147ER+148ES+149ET+150EU+151EV+152EW+153EX+154EY+155EZ+156FA+157FB+158FC+159FD+160FE+161FF+162FG+163FH+164FI+165FJ+166FK+167FL+168FM+169FN+170FO+171FP+172FQ+173FR+174FS+175FT+176FU+177FV+178FW+179FX+180FY+181FZ+182GA+183GB+184GC+185GD+186GE+187GF+188GG+189GH+190GI+191GJ+192GK+193GL+194GM+195GN+196GO+197GP+198GQ+199GR+200GS+201GT+202GU+203GV+204GW+205GX+206GY+207GZ+208HA+209HB+210HC+211HD+212HE+213HF+214HG+215HH+216HI+217HJ+218HK+219HL+220HM+221HN+222HO+223HP+224HQ+225HR+226HS+227HT+228HU+229HV+230HW+231HX+232HY+233HZ+234IA+235IB+236IC+237ID+238IE+239IF+240IG+241IH+242II+243IJ+244IK+245IL+246IM+247IN+248IO+249IP+250IQ+251IR+252IS+253IT+254IU+255IV+256IW+257IX+258IY+259IZ+260JA+261JB+262JC+263JD+264JE+265JF+266JG+267JH+268JI+269JJ+270JK+271JL+272JM+273JN+274JO+275JP+276JQ+277JR+278JS+279JT+280JU+281JV+282JW+283JX+284JY+285JZ+286KA+287KB+288KC+289KD+290KE+291KF+292KG+293KH+294KI+295KJ+296KK+297KL+298KM+299KN+300KO+301KP+302KQ+303KR+304KS+305KT+306KU+307KV+308KW+309KX+310KY+311KZ+312LA+313LB+314LC+315LD+316LE+317LF+318LG+319LH+320LI+321LJ+322LK+323LL+324LM+325LN+326LO+327LP+328LQ+329LR+330LS+331LT+332LU+333LV+334LW+335LX+336LY+337LZ+338MA+339MB+340MC+341MD+342ME+343MF+344MG+345MH+346MI+347MJ+348MK+349ML+350MN+351MO+352MP+353MQ+354MR+355MS+356MT+357MU+358MV+359MW+360MX+361MY+362MZ+363NA+364NB+365NC+366ND+367NE+368NF+369NG+370NH+371NI+372NJ+373NK+374NL+375NM+376NO+377NP+378NQ+379NR+380NS+381NT+382NU+383NV+384NW+385NX+386NY+387NZ+388OA+389OB+390OC+391OD+392OE+393OF+394OG+395OH+396OI+397OJ+398OK+399OL+400OM+401ON+402OO+403OP+404OQ+405OR+406OS+407OT+408OU+409OV+410OW+411OX+412OY+413OZ+414PA+415PB+416PC+417PD+418PE+419PF+420PG+421PH+422PI+423PJ+424PK+425PL+426PM+427PN+428PO+429PP+430PQ+431PR+432PS+433PT+434PU+435PV+436PW+437PX+438PY+439PZ+440QA+441QB+442QC+443QD+444QE+445QF+446QG+447QH+448QI+449QJ+450QK+451QL+452QM+453QN+454QO+455QP+456QQ+457QR+458QS+459QT+460QU+461QV+462QW+463QX+464QY+465QZ+466RA+467RB+468RC+469RD+470RE+471RF+472RG+473RH+474RI+475RJ+476RK+477RL+478RM+479RN+480RO+481RP+482RQ+483RR+484RS+485RT+486RU+487RV+488RW+489RX+490RY+491RZ+492SA+493SB+494SC+495SD+496SE+497SF+498SG+499SH+500SI+501SJ+502SK+503SL+504SM+505SN+506SO+507SP+508SQ+509SR+510SS+511ST+512SU+513SV+514SW+515SX+516SY+517SZ+518TA+519TB+520TC+521TD+522TE+523TF+524TG+525TH+526TI+527TJ+528TK+529TL+530TM+531TN+532TO+533TP+534TQ+535TR+536TS+537TT+538TU+539TV+540TW+541TX+542TY+543TZ+544UA+545UB+546UC+547UD+548UE+549UF+550UG+551UH+552UI+553UJ+554UK+555UL+556UM+557UN+558UO+559UP+560UQ+561UR+562US+563UT+564UU+565UV+566UW+567UX+568UY+569UZ+570VA+571VB+572VC+573VD+574VE+575VF+576VG+577VH+578VI+579VJ+580VK+581VL+582VM+583VN+584VO+585VP+586VQ+587VR+588VS+589VT+590VU+591VV+592VW+593VX+594VY+595VZ+596WA+597WB+598WC+599WD+600WE+601WF+602WG+603WH+604WI+605WJ+606WK+607WL+608WM+609WN+610WO+611WP+612WQ+613WR+614WS+615WT+616WU+617WV+618WW+619WX+620WY+621WZ+622XA+623XB+624XC+625XD+626XE+627XF+628XG+629XH+630XI+631XJ+632XK+633XL+634XM+635XN+636XO+637XP+638XQ+639XR+640XS+641XT+642XU+643XV+644XW+645XX+646XY+647XZ+648YA+649YB+650YC+651YD+652YE+653YF+654YG+655YH+656YI+657YJ+658YK+659YL+660YM+661YN+662YO+663YP+664YQ+665YR+666YS+667YT+668YU+669YV+670YW+671YX+672YY+673YZ+674ZA+675ZB+676ZC+677ZD+678ZE+679ZF+680ZG+681ZH+682ZI+683ZJ+684ZK+685ZL+686ZM+687ZN+688ZO+689ZP+690ZQ+691ZR+692ZS+693ZT+694ZU+695ZV+696ZW+697ZX+698ZY+699ZZ+700AA+701AB+702AC+703AD+704AE+705AF+706AG+707AH+708AI+709AJ+710AK+711AL+712AM+713AN+714AO+715AP+716AQ+717AR+718AS+719AT+720AU+721AV+722AW+723AX+724AY+725AZ+726BA+727BB+728BC+729BD+730BE+731BF+732BG+733BH+734BI+735BJ+736BK+737BL+738BM+739BN+740BO+741BP+742BQ+743BR+744BS+745BT+746BU+747BV+748BW+749BX+750BY+751BZ+752CA+753CB+754CC+755CD+756CE+757CF+758CG+759CH+760CI+761CJ+762CK+763CL+764CM+765CN+766CO+767CP+768CQ+769CR+770CS+771CT+772CU+773CV+774CW+775CX+776CY+777CZ+778DA+779DB+780DC+781DD+782DE+783DF+784DG+785DH+786DI+787DJ+788DK+789DL+790DM+791DN+792DO+793DP+794DQ+795DR+796DS+797DT+798DU+799DV+800DW+801DX+802DY+803DZ+804EA+805EB+806EC+807ED+808EE+809EF+810EG+811EH+812EI+813EJ+814EK+815EL+8

STANDARD SPACES	569
ACCESSIBLE SPACES	12
<b>TOTAL</b>	<b>581</b>

RESIDENTIAL

GREEN SPACE	107,694 SF	2.47 AC	27
IMPERVIOUS AREA	294,383 SF	6.76 AC	73
BUILDING	77,089 SF	1.77 AC	19
PAVEMENT/SIDEWALK	217,294 SF	4.99 AC	54
<b>TOTAL</b>	<b>402,077 SF</b>	<b>9.23 AC</b>	<b>100</b>
VEHICULAR USE AREA	152,782 SF	3.51 AC	36

RESIDENTIAL	TOTAL PARKING
-------------	---------------

RESIDENTIAL		TOTAL PARKING	403
SURFACE	350	TOTAL UNITS	300
GARAGE	53	PARKING RATIO	1.34
<u>TOTAL</u>	<u>403</u>		

[illegible]

RESIDENTIAL	
GARAGE (8 SPACES) PLUS MAINTENANCE	2,258 SF
BUILDING TYPE I FOOTPRINT	20,228 SF
BUILDING TYPE IA FOOTPRINT	19,901 SF
BUILDING TYPE II FOOTPRINT	12,572 SF
BUILDING TYPE III FOOTPRINT	3,186 SF

MAX BUILDING HEIGHT ALLOWED  
GARAGES

BUILDING TYPE I	50'-0"	5
BUILDING TYPE IA	50'-0"	5
BUILDING TYPE II	50'-0"	5
BUILDING TYPE III	26'-0"	2

## RESIDENTIAL - R-1 W/ MILD OVERLAY

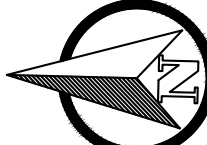
	REQUIRED	PROVIDED
ALL AROUND PROPERTY PERIMETER	15'	15'-25'
FROM NE 6TH AVE	25'	25'
ALONG ANY SIDE ADJACENT TO A RESIDENTIAL DISTRICT	15'	86.56'

#### CURRENT USE OF PROPERTY

CURRENT USE OF PROPERTY & INTENSITY  
EXISTING KMART (RETAIL):  
LAND USE DESIGNATION:  
ZONING DESIGNATION:  
WATER / WATERWATER SERVICE PROVIDER:  
LOCAL JURISDICTION:  
FLOOD HAZARD ZONIFICATION:

### SITE DENSITY INFORMATION

NET SITE AREA	402,077 SF	9.23 AC
GROSS SITE AREA	435,749 SF	10.00 AC

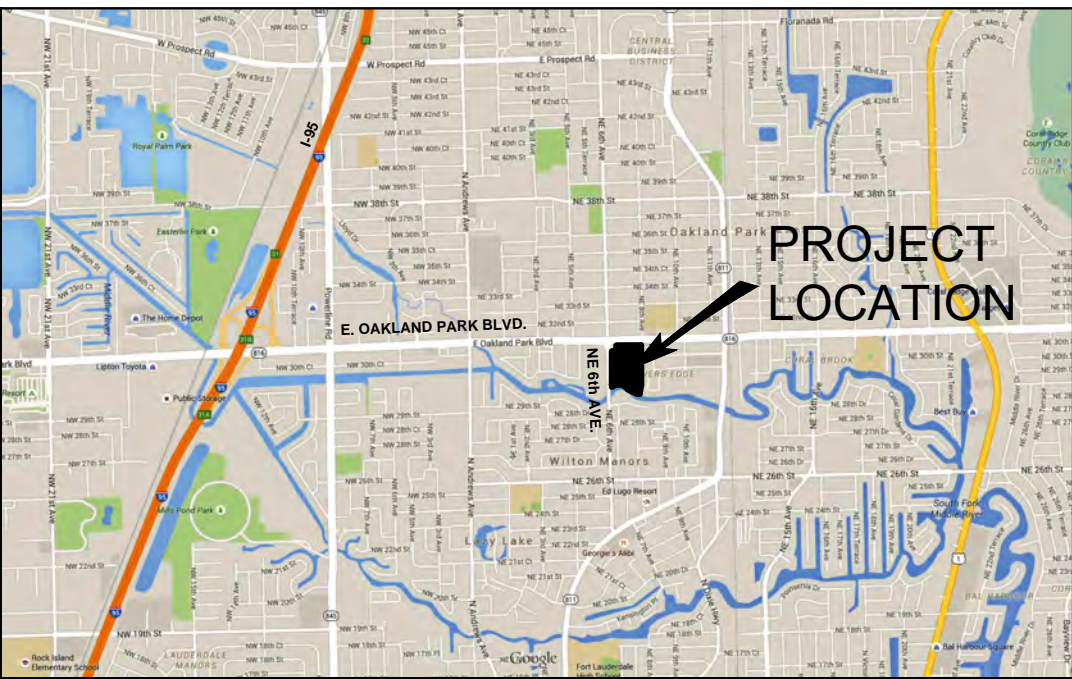
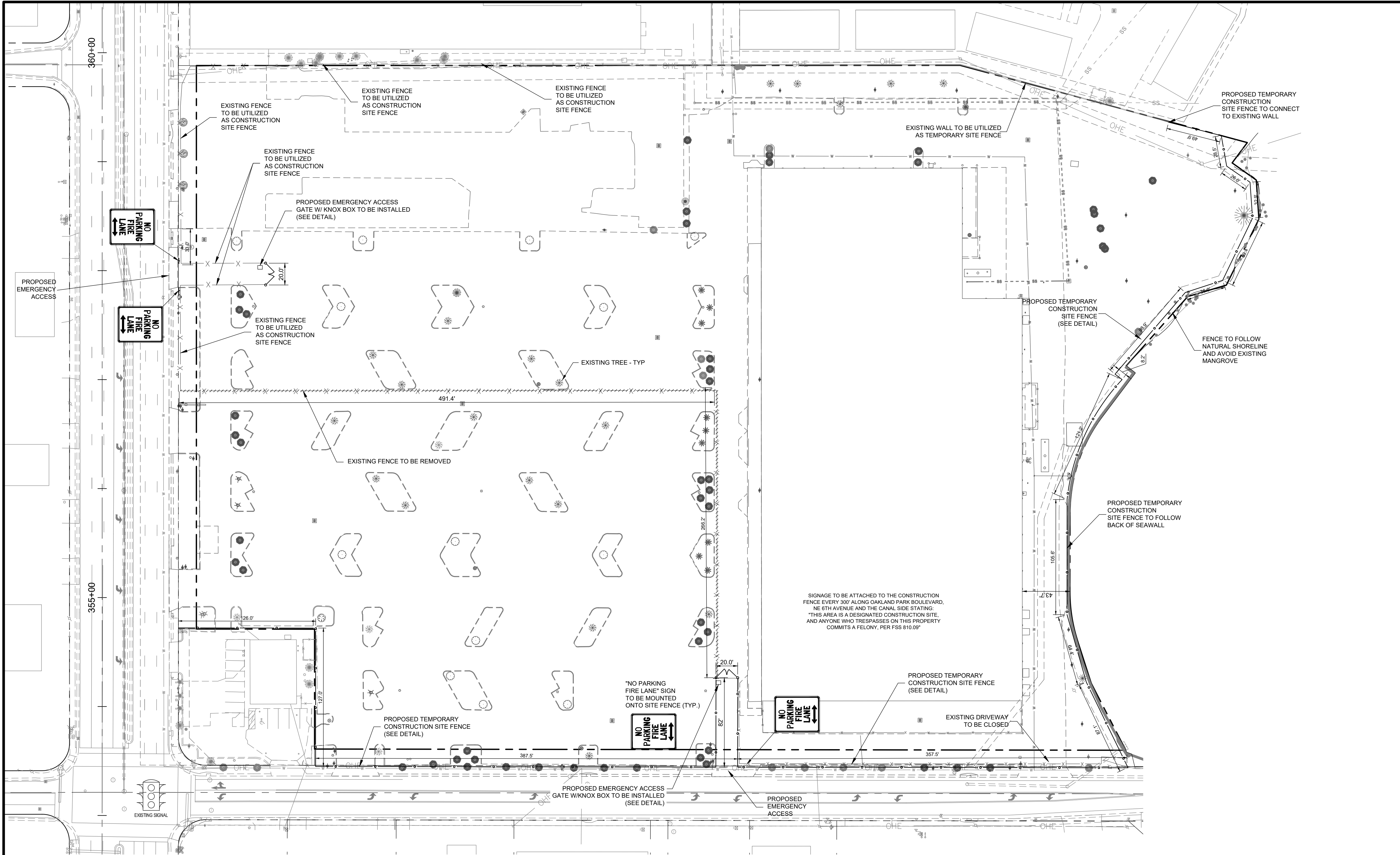


### GRAPHIC SCALE

Age Group	Percentage
18-24	10%
25-34	20%
35-44	30%
45-54	25%
55-64	15%
65-74	10%
75-84	5%
85+	5%

$$1'' = 40'$$





NOT TO SCALE

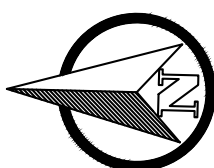


NOTES:

1. ALL SITE ACCESS MUST BE CONFINED TO THE EMERGENCY ACCESS ENTRANCES. BARRICADE TO PREVENT USE OF ANY LOCATIONS OTHER THAN THE EMERGENCY ACCESS EXIT(S) WHERE VEHICLES OR EQUIPMENT MAY ACCESS THE SITE.
2. TEMPORARY SITE FENCE MUST MEET CITY OF OAKLAND PARK'S LATEST EDITION OF FENCING REQUIREMENTS.
3. FENCE DESIGN AND CONSTRUCTION MUST COMPLY WITH STANDARDS FOUND IN 5TH EDITION FLORIDA BUILDING CODE (2014)
4. STEEL POSTS SHALL BE GRADE 43A STEEL OR EOR APPROVED EQUAL

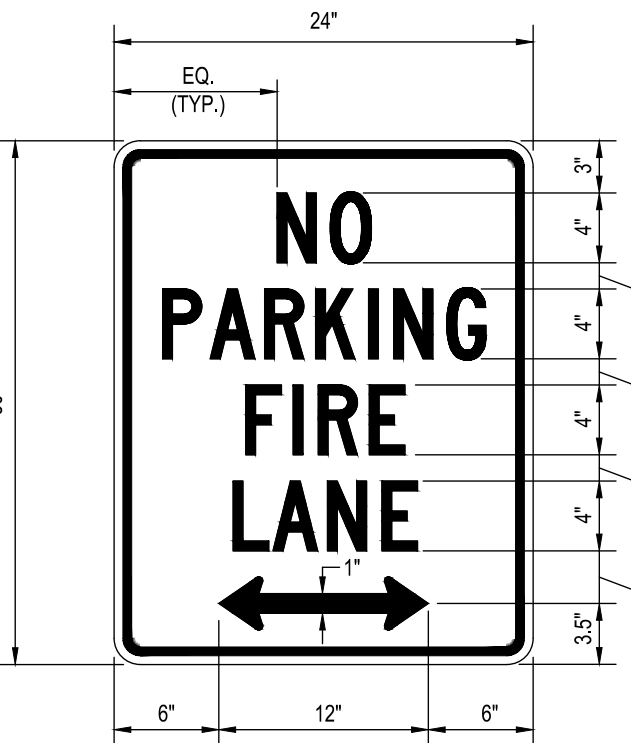
LEGEND

- = PROPERTY LINE  
x x x = EXISTING FENCE  
- - - = PROPOSED FENCE



GRAPHIC SCALE

0 40 80  
1" = 40'



RED LEGEND ON WHITE BACKGROUND  
ALL SIGN LETTERS TO COMPLY WITH STANDARD  
ALPHABETS FOR HIGHWAY SIGNS (SERIES C-2000)  
SIGN TO BE MOUNTED ON SITE FENCE

"NO PARKING - FIRE  
LANE" SIGN

N.T.S.

LINE POST MIN. 2.375" OD,  
0.095" WALL THICKNESS  
GALVANIZED STEEL PIPE (TYP.)

TOP RAIL MIN. 1.66 IN OD, 2.27 LB/FT  
GALVANIZED STEEL PIPE (TYP.)

TERMINAL POST MIN.  
2.375" OD, 0.110" WALL  
THICKNESS GALVANIZED  
STEEL PIPE (TYP.)

NO. 9 GAGE, 0.148" ± 0.00",  
FINISHED SIZE GALVANIZED  
STEEL WIRES, 2" MESH,  
TOP AND BOTTOM SELVAGES  
TWISTED AND BARBED  
CONFORMING TO  
ASTM A392, A491, F668,  
OR F573.

10'-0" MAX. (TYP.)

6'-0"

ASPHALT  
PAVING

NO PARKING SIGNS ATTACHED TO  
FENCE USING (2) 2.375" Ø SIGN  
BRACKETS W/ ANT-VANDEL NUTS

5'-0" MIN. 5'-0" MIN. 5'-0" MIN. 5'-0" MIN.

STEEL TEMPORARY FENCE FEET  
WITH SAND BAG

CONTRACTOR TO SUPPLY SHOP  
DRAWINGS FOR GATE DESIGN

TEMPORARY SITE FENCE  
W/20" DOUBLE GATE  
N.T.S.

NOTE:

ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH  
AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd., Inc.  
301 SE Ocean Blvd, Suite 301  
Stuart, Florida 34994  
Phone: (772) 283-1413  
Fax: (772) 220-7888  
www.bowmanconsulting.com  
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RAM OAKLAND PARK  
670 E OAKLAND PARK BOULEVARD  
RESIDENTIAL  
PRELIMINARY FENCE PLAN

FLORIDA

CITY OF OAKLAND PARK

PROJECT NO  
010674-01-001

L.B. LEONARD, PE  
FL. LICENSE NO. 61737

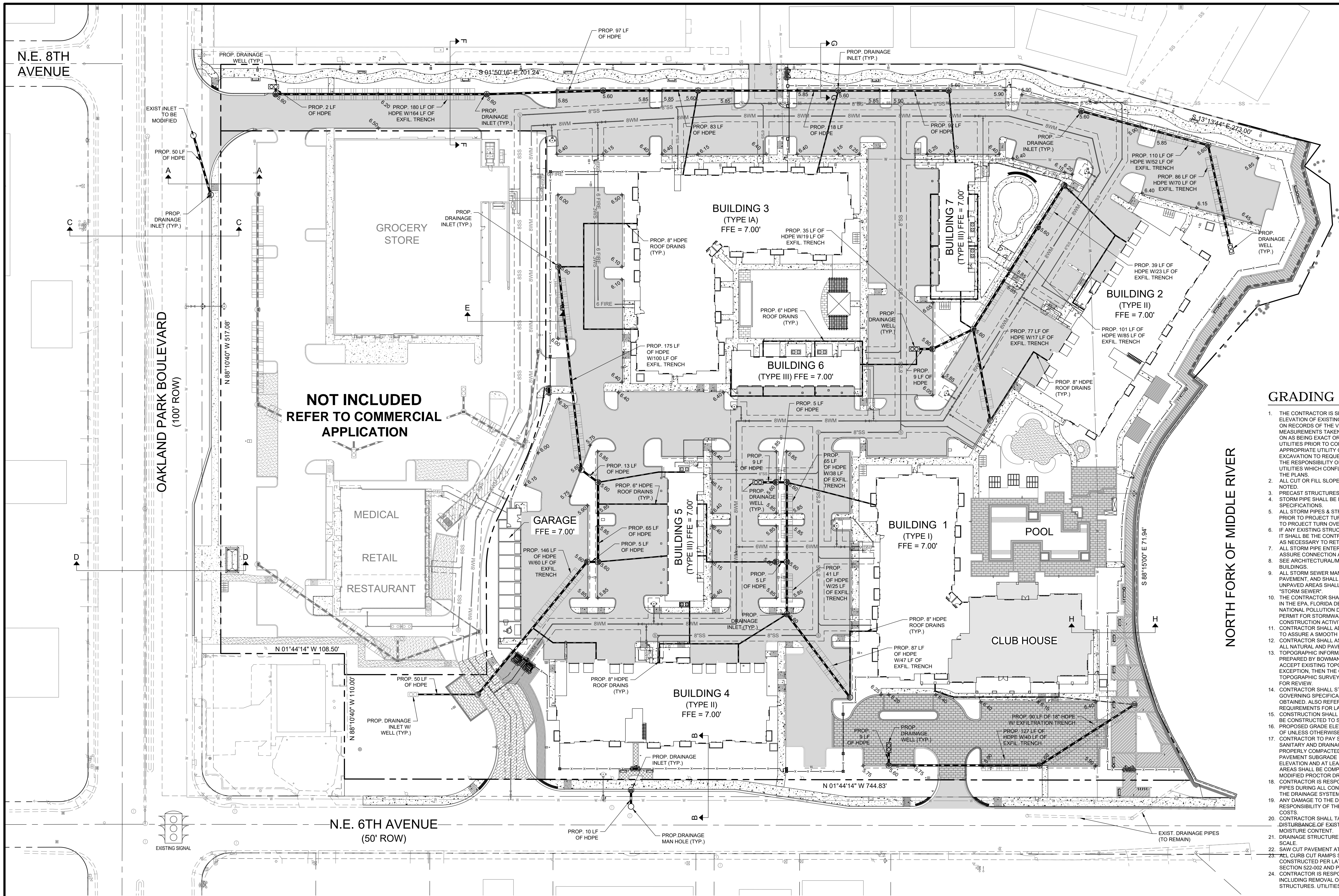
PLAN STATUS  
5/13/20 COP RESUBMITTAL  
6/17/20 COP RESUBMITTAL

DATE	DESCRIPTION		
LBL	JMB	GMB	
DESIGN	DRAWN	CHKD	
SCALE: 1" = 40'			
JOB No. 010674-01-001			
DATE: DECEMBER 2019			
FILE No. 010674-01-001-FENCE			
C2			
SHEET			



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED  
HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC  
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TO BOWMAN CONSULTING GROUP, LTD.







## GRADING NOTES





- 1 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, FIELD SURVEYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INFORMATION AS TO THE LOCATION OF ANY AS-BEING EXACT OR COMPLETE. THE CONTRACTOR TO VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR MUST CALL THE UTILITY LOCATING SERVICE PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- 2 ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 3 PRECAST STRUCTURES ARE TO BE USED.
- 4 STORM PIPE SHALL BE CONSTRUCTED WITH FDOT STANDARD SPECIFICATIONS.
- 5 ALL STORM PIPES & STRUCTURES TO BE DETENTION, VACUUM & DESIGNED PRIOR TO PROJECT TURN OVER. DRY DETENTION AREA TO BE DESIGNED PRIOR TO PROJECT TURN OVER.
- 6 IF ANY EXISTING STRUCTURE TO REMAIN IS DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- 7 ALL STORM PIPE ENTERING STORM STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STORM STRUCTURES IS WATER TIGHT.
- 8 SEE ARCHITECTURAL DRAWING PLANS FOR STORM PIPE CONNECTIONS TO BUILDINGS.
- 9 ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVED SURFACE. ALL STORM STRUCTURES BEARING RINGS & COVERS MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- 10 THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE PERMIT TO CONSTRUCT ISSUED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) (GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONCENTRATED AQUIFERS AND AREAS IN STATE OF FLORIDA).
- 11 CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 12 CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AHEAD OF BUILDINGS AND ALL NATURAL AND MANMADE DRAINAGE AREAS.
- 13 TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY BOWMAN CONSULTING GROUP. IF THE CONTRACTOR DOES NOT AGREE WITH THE TOPOGRAPHIC SURVEY, THE CONTRACTOR SHALL REQUEST AN EXCEPTION. THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- 14 CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED. ALSO REFER TO THE LANDSCAPE PLANS FOR ADDITIONAL CONSTRUCTION AND MAINTENANCE REQUIREMENTS.
- 15 CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- 16 EXISTING CURBS AND SIDEWALKS SHOWN ARE AT THE EDGE OF PAVEMENT LOTS OR UNLESS OTHERWISE NOTED.
- 17 CONTRACTOR TO PAY SPECIAL ATTENTION WHEN COMPACTING SOIL AROUND SANITARY AND DRAINAGE STRUCTURES AND SHALL ENSURE THAT THE SOIL IS PROPERLY COMPACTED TO PREVENT FUTURE SINKING. ALL EXISTING UTILITY PAVEMENT SUBGRADE FILL PLACED WITHIN 24 INCHES OF FINISHED SUBGRADE ELEVATION AND AT LEAST THE UPPER 24 INCHES OF SUBGRADE IN ALL CUT AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM MODIFIED PROCTOR DRY DENSITY (ASTM D1557).
- 18 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SUFFICIENT COVER OVER ALL PIPES DURING ALL CONSTRUCTION PHASES IN ORDER TO PREVENT DAMAGE TO THE DRAINAGE SYSTEM.
- 19 ANY DAMAGE TO THE DRAINAGE SYSTEM DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR / REPLACE AND INCUR ALL COSTS OF SUCH DAMAGE.
- 20 CONTRACTOR SHALL TAKE SPECIAL CARE TO AVOID UNNECESSARY DISTURBANCE OF EXISTING SOILS, ESPECIALLY THOSE W/ SENSITIVE OPTIMAL MOISTURE CONTENT.
- 21 DRAINAGE STRUCTURE SYMBOLS SHOWN ON THE DRAWING ARE NOT TO SCALE.
- 22 SAW CUT PAVEMENT AT TRANSFORMS AND PROTECT EDGE.
- 23 ALL EXISTING DRIVEWAYS SHALL BE REPAIRED TO ORIGINAL WIDTH STRIPS AND CONSTRUCTED PER LATEST EDITION OF FDOT STANDARD SPECIFICATIONS SECTION 522-002 AND PER ADA REQUIREMENTS.
- 24 CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES AND REMOVAL OF ALL DEBRIS. ALL EXISTING UTILITIES SERVING PREVIOUS STRUCTURES, UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.

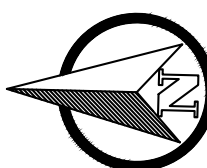
LEGEND  
(EXISTING)

- |                                                                                       |                       |
|---------------------------------------------------------------------------------------|-----------------------|
| — W —                                                                                 | = WATER MAIN          |
| - - - SS - - -                                                                        | = SANITARY SEWER      |
|  | = DRAINAGE STRUCTURE  |
| - - - - -                                                                             | = DRAINAGE PIPE       |
|  | = WATER / SEWER VALVE |
| 17.50'x                                                                               | = SPOT ELEVATION      |

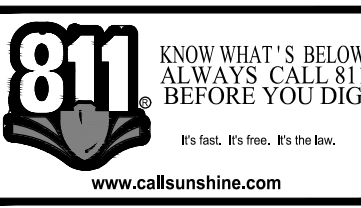
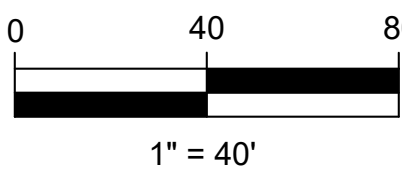
(PROPOSED)

- |  |                      |
|--|----------------------|
|  | = PROPERTY LINE      |
|  | = WATER MAIN         |
|  | = FIRE LINE          |
|  | = SANITARY SEWER     |
|  | = FIRE HYDRANT       |
|  | = WATER VALVE        |
|  | = SANITARY MANHOLE   |
|  | = DRAINAGE STRUCTURE |
|  | = STORM PIPE         |

-  = SPOT ELEVATION  
 = CONCRETE SIDEWALK  
 = STANDARD DUTY ASPHALT PAVEMENT  
 = PAVERS



### GRAPHIC SCALE

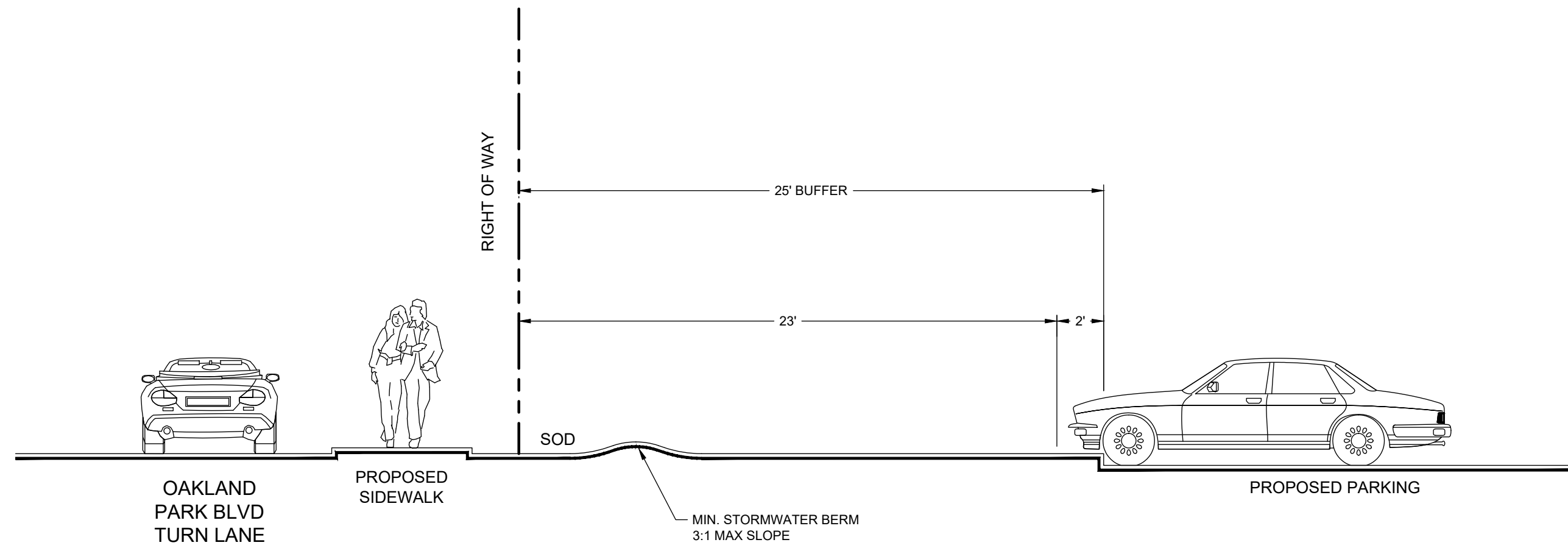


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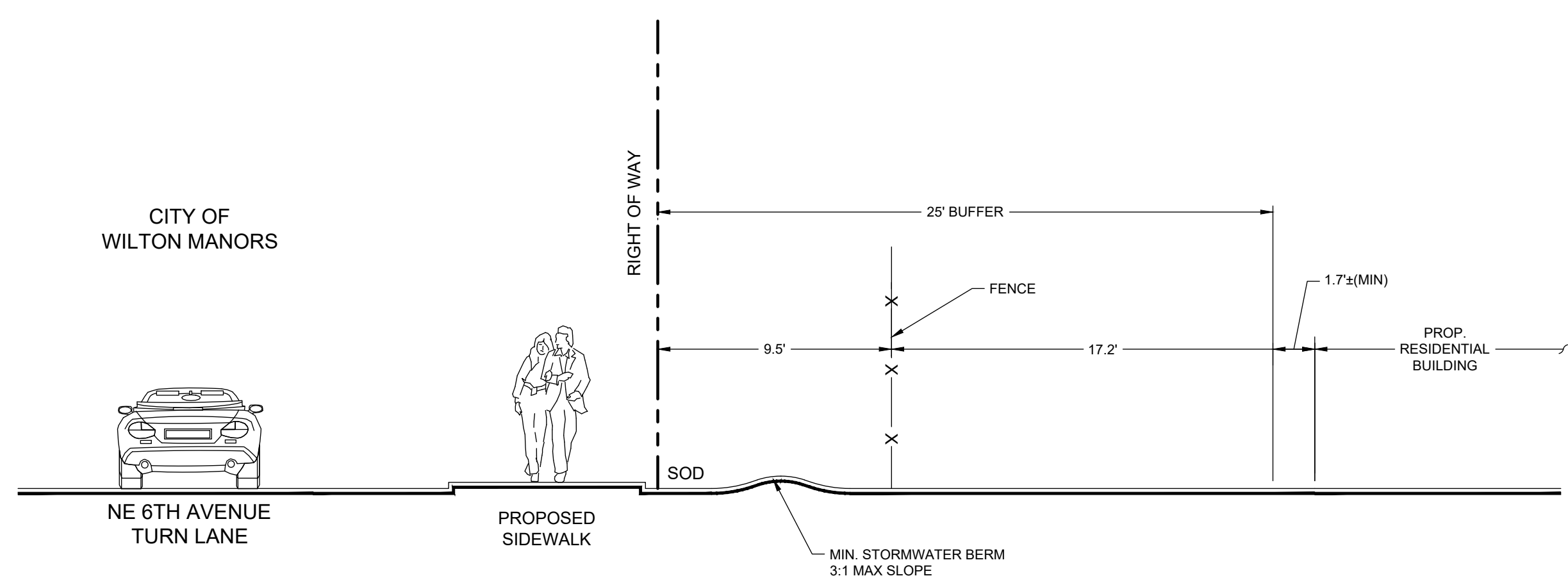
NOTE:

ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

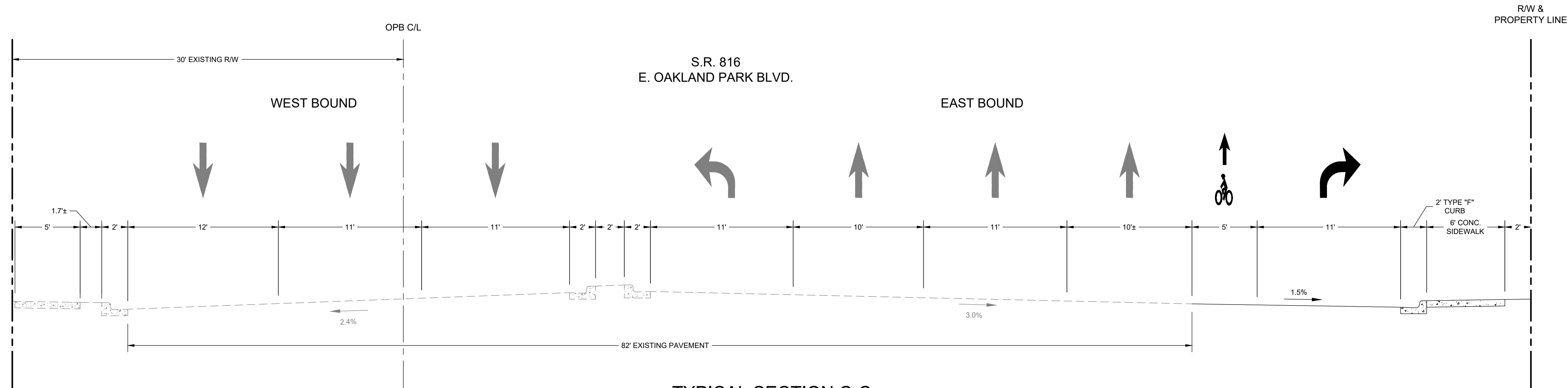




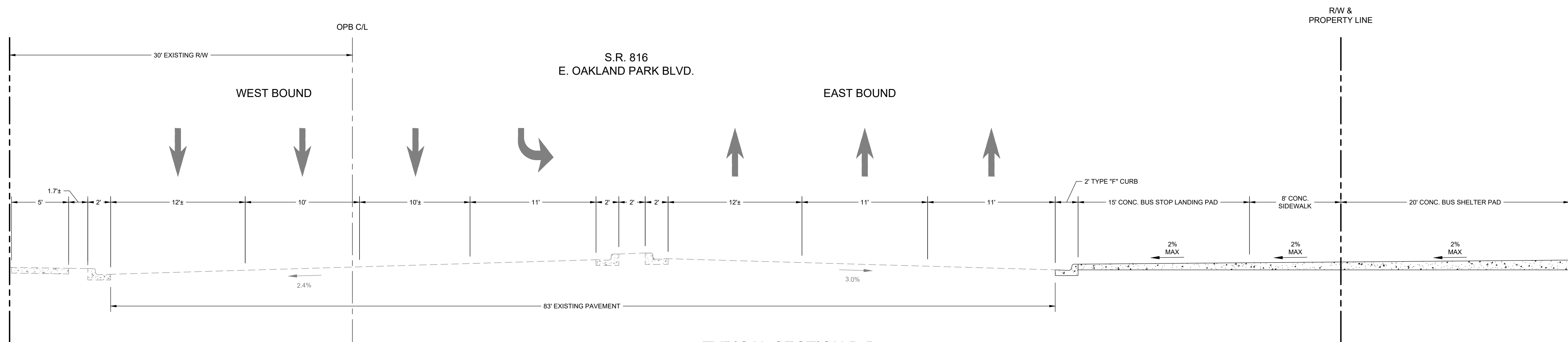
TYPICAL SECTION A-A  
SCALE: 1" = 5'



TYPICAL SECTION B-B  
SCALE: 1" = 5'



TYPICAL SECTION C-C  
SCALE: 1" = 5'



TYPICAL SECTION D-D  
SCALE: 1" = 5'

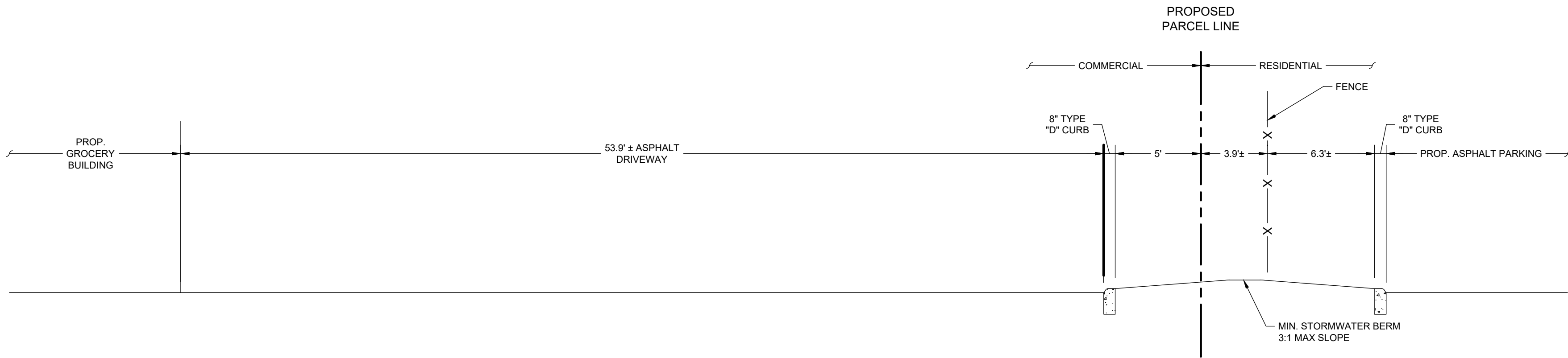


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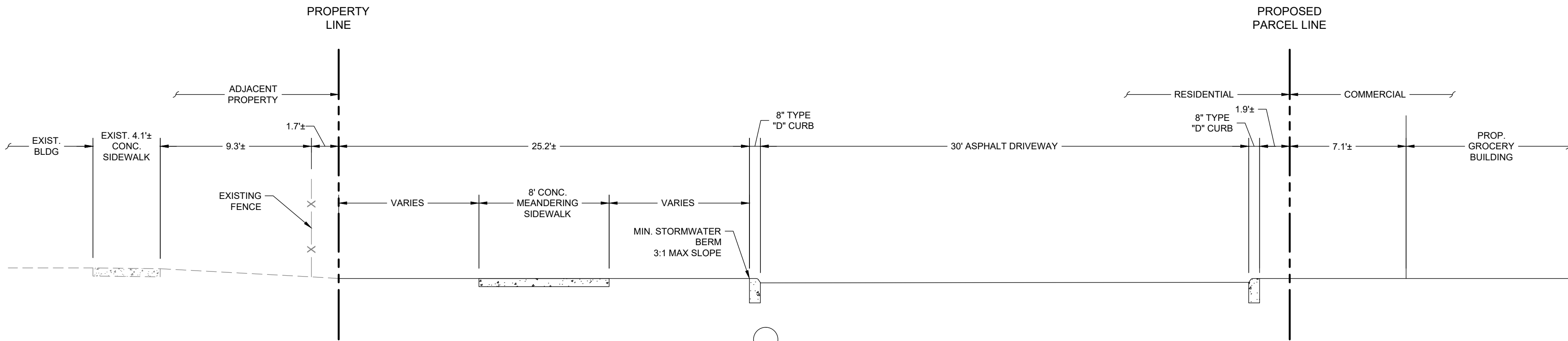
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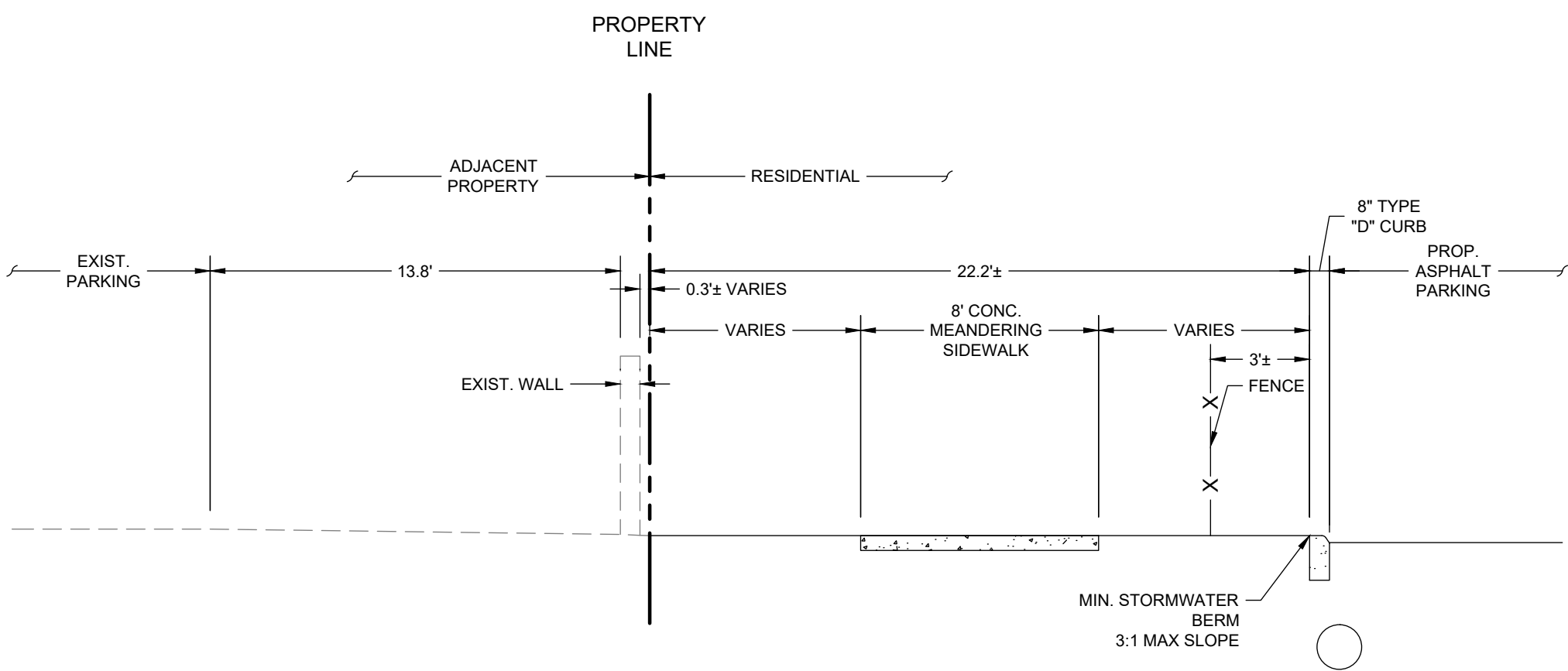




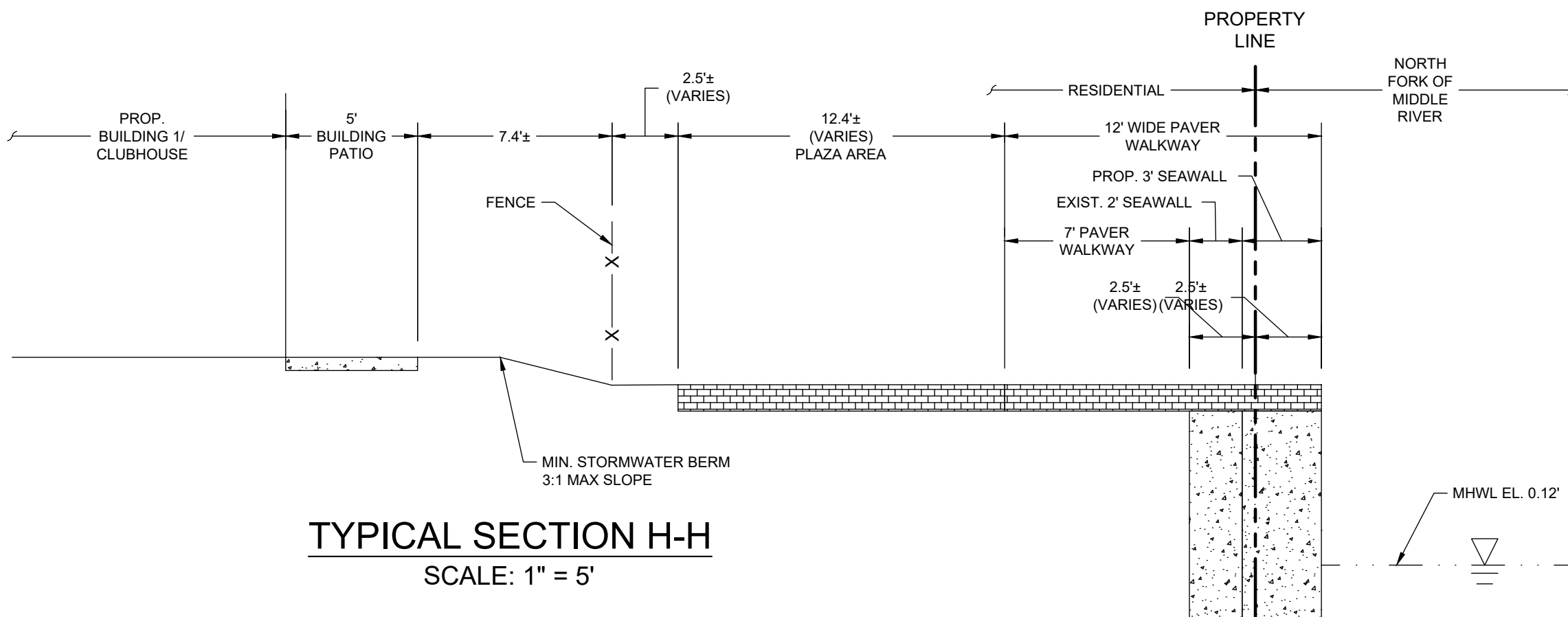
TYPICAL SECTION E-E  
SCALE: 1" = 5'



TYPICAL SECTION F-F  
SCALE: 1" = 5'



TYPICAL SECTION G-G  
SCALE: 1" = 5'



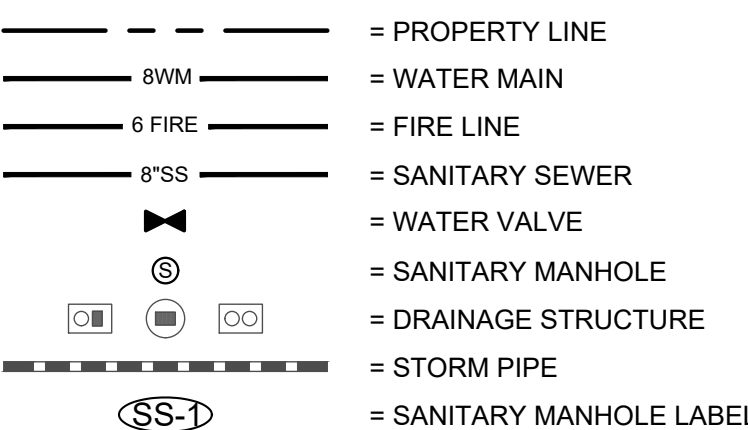
TYPICAL SECTION H-H  
SCALE: 1" = 5'



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NOTE:  
ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).





1. ALL PROPOSED ONSITE UTILITIES THAT SERVICE THE SITE WILL BE PLACED UNDERGROUND.
2. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
3. CONCRETE SHALL BE PLACED TO THE SATISFACTION OF THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONSTRUCTION.
4. SS PIPE SHALL BE AS FOLLOWS:
  - a. 6" PVC SD26 PER ASTM D 3034
  - b. 8" PVC SD26 PER ASTM D 3034
5. WATER LINES SHALL BE AS FOLLOWS:
  - a. 2" AND SMALLER, POLYETHYLENE AS DEFINED BY ASTM D2737 SD95 COPPER TUBE SIZE
  - b. 12"-12" PVC DR18 C-90
6. DUCTILE IRON PIPE (DIP) SHALL BE REQUIRED WHEN WITHIN SIX (6) FEET HORIZONTALLY OF SEWAGE FACILITIES OR PIPES.
7. DUCTILE IRON PIPE (DIP) SHALL BE A MINIMUM OF PRESSURE CLASS 350 AND CONFORM TO THE LATEST STANDARDS OF THE

9. WITH DIP.
10. ALL WATER FITTINGS ARE TO BE DUCTILE IRON MANHOLES JOINTS AS CALLED OUT IN SOUTH MARTIN REGIONAL UTILITIES (SMRU) MINIMUM DESIGN & CONSTRUCTION STANDARDS.
11. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30" COVER ON ALL WATERLINES, 8" OR SMALLER. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE WATER LINES SHALL HAVE ALL NECESSARY RESTRAINTS AS REQUIRED BY SOUTH MARTIN REGIONAL UTILITIES (SMRU), A MINIMUM OF 6" CLEARANCE (12" PREFERRED).
12. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
13. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND THE TOP OF EACH EXISTING MANHOLE SHALL BE RAISED TO BE FLUSH WITH WATER TIGHT LIDS WHEN LOCATED IN UNPAVED AREAS.
14. EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
15. REFER TO INTERIOR PLUMBING DRAWINGS BY THE MEP FOR THE-IN OF ALL UTILITIES.
16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.

ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUESTING EXACT LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

18. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND NOTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED AT LEAST 30 DAYS PRIOR TO C.O.

19. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.

21. SEE SOUTH MARTIN REGIONAL UTILITIES MINIMUM DESIGN & CONSTRUCTION STANDARDS FOR BACKFILLING AND CONSTRUCTION REQUIREMENTS FOR COMPAINS & TRENCHES. CONTRACTOR SHALL COMPLY WITH SOUTH MARTIN REGIONAL UTILITIES (SMRU) MINIMUM DESIGN & CONSTRUCTION STANDARDS, LATEST EDITION.

22. CONTRACTOR SHALL GROUT ALL PIPE ENTRANCES AND PIPE REMOVALS TO FILL HOLES TO ASSURE WATER TIGHT CONNECTIONS AND FLANGES.

23. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.

OPTIC, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH MARTIN COUNTY UTILITY DEPARTMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS, CONNECTIONS AND INSPECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.

25. CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTION AUTHORITIES.

26. CONTRACTOR SHALL COMPLY TO THE GREATEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND ANY OTHER MEANS OF PROTECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE STANDARDS FOR OSHA.

27. THE INSTALLATION OR REPAIR OF ANY UNDERGROUND FACILITIES OF PIPING WHICH CONNECTS TO OR FURNISHES WATER FOR FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR OR LICENSED PLUMBER. (SEE O.C.G.A. TITLE 25-1-17.4). A COPY OF THE LICENSE OR CERTIFICATE OF COMPETENCY OF THE CONTRACTOR TO THE TIE-INS AND CONNECTIONS SHALL BE SUBMITTED TO THE OWNER. ALSO SEE SHEET DD FOR SMW GENERAL NOTES AND STANDARD WATER/SEWER SEPARATION STATEMENTS.

