

CONSTRUCTION PLANS
FOR
RAM OAKLAND PARK
COMMERCIAL

CITY OF OAKLAND PARK, FLORIDA
SECTION 26, TOWNSHIP 49 SOUTH, RANGE 42 EAST

CONTACTS

DEVELOPER
RAM REALTY ACQUISITIONS V LLC
4801 PGA BOULEVARD
PALM BEACH GARDENS, FL 33418
PHONE: (561) 630-6110

CIVIL ENGINEER
BOWMAN CONSULTING GROUP
301 SE OCEAN DRIVE, SUITE 301
STUART, FL 34994
PHONE: (772) 283-1413

ARCHITECT
BARRANCO GONZALEZ ARCHITECTURE
1915 SOUTHEAST 4TH AVENUE FORT
LAUDERDALE, FLORIDA 33316
PHONE: (954) 335-1880
FAX: (954) 335-1885

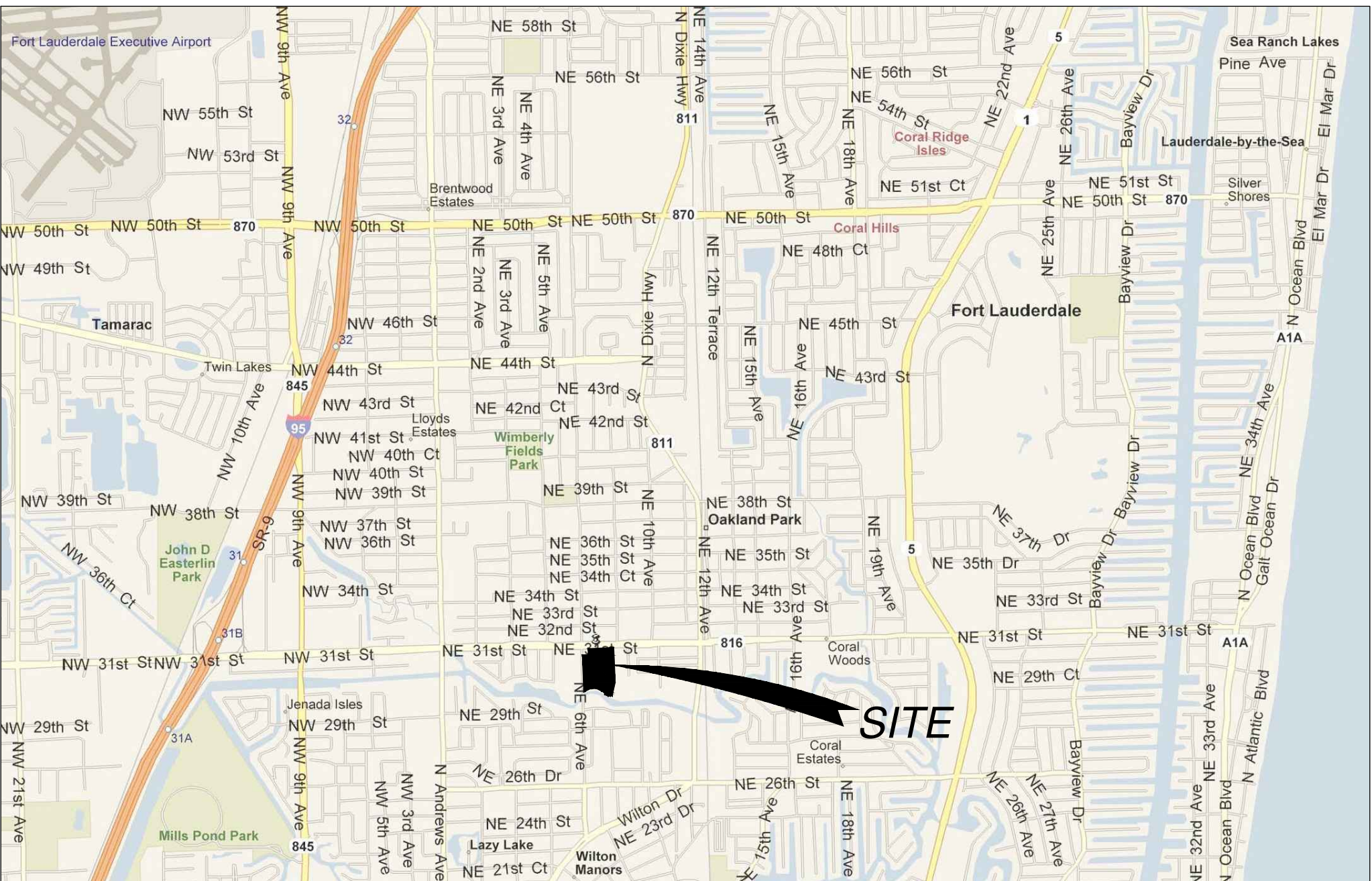
GROCERY ARCHITECT
FITCH, INC.
16435 NORTH SCOTTSDALE ROAD, SUITE 195
SCOTTSDALE, ARIZONA 85254
PHONE: (480) 998-4200
FAX: (480) 998-7223

LANDSCAPE ARCHITECT
ARCHITECTURAL ALLIANCE LANDSCAPE
612 SW 4TH AVE.
FORT LAUDERDALE, FL 33315
PHONE: (954) 764-8858

SURVEYOR
BOWMAN CONSULTING GROUP
301 SE OCEAN DRIVE, SUITE 301
STUART, FL 34994
PHONE: (772) 283-1413

TRAFFIC ENGINEER
MCMAHON ASSOCIATES, INC.
2090 PALM BEACH LAKES BOULEVARD, SUITE 400
WEST PALM BEACH, FLORIDA 33409
PHONE: (561) 840-8650

PHOTOMETRICS
FRANYIE ENGINEERS, INC.
10610 N.W. 27 STREET
MIAMI, FLORIDA 33172
PHONE: (305) 592-1360
FAX: (305) 594-9279



LOCATION MAP
N.T.S.

DRAWING INDEX

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C3 - C4	PRELIMINARY TYPICAL CROSS SECTIONS
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LEGAL DESCRIPTION

TRACT A, WALMART OAKLAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED MARCH 12, 2019 IN PLAT BOOK 183, PAGE 253, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Bowman
CONSULTING
C O N S U L T I N G
PROFESSIONAL SURVEYORS AND MAPPERS, CERTIFICATE NO. LB 8030
BOARD OF PROFESSIONAL ENGINEERS, CERTIFICATE OF AUTHORIZATION NO. 39462

Bowman Consulting Group, Ltd., Inc.
301 SE Ocean Blvd, Suite 301
Stuart, Florida 34994
Phone: (772) 283-1413
Fax: (772) 220-7888
www.bowmanconsulting.com
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RAM OAKLAND PARK
670 E OAKLAND PARK BOULEVARD
COMMERCIAL
COVER SHEET
FLORIDA
CITY OF OAKLAND PARK

PROJECT NO
010674-01-001

L.B. LEONARD, PE
FL. LICENSE NO. 61737

PLAN STATUS
5/13/20 COP RESUBMITTAL
6/17/20 COP RESUBMITTAL

DATE DESCRIPTION
LBL JMB GMB
DESIGN DRAWN CHKD

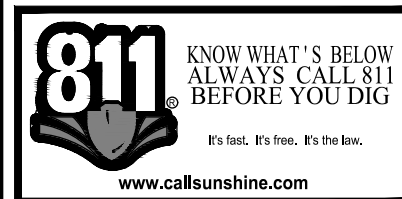
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JOB No. 010674-01-001

DATE: DECEMBER 2019

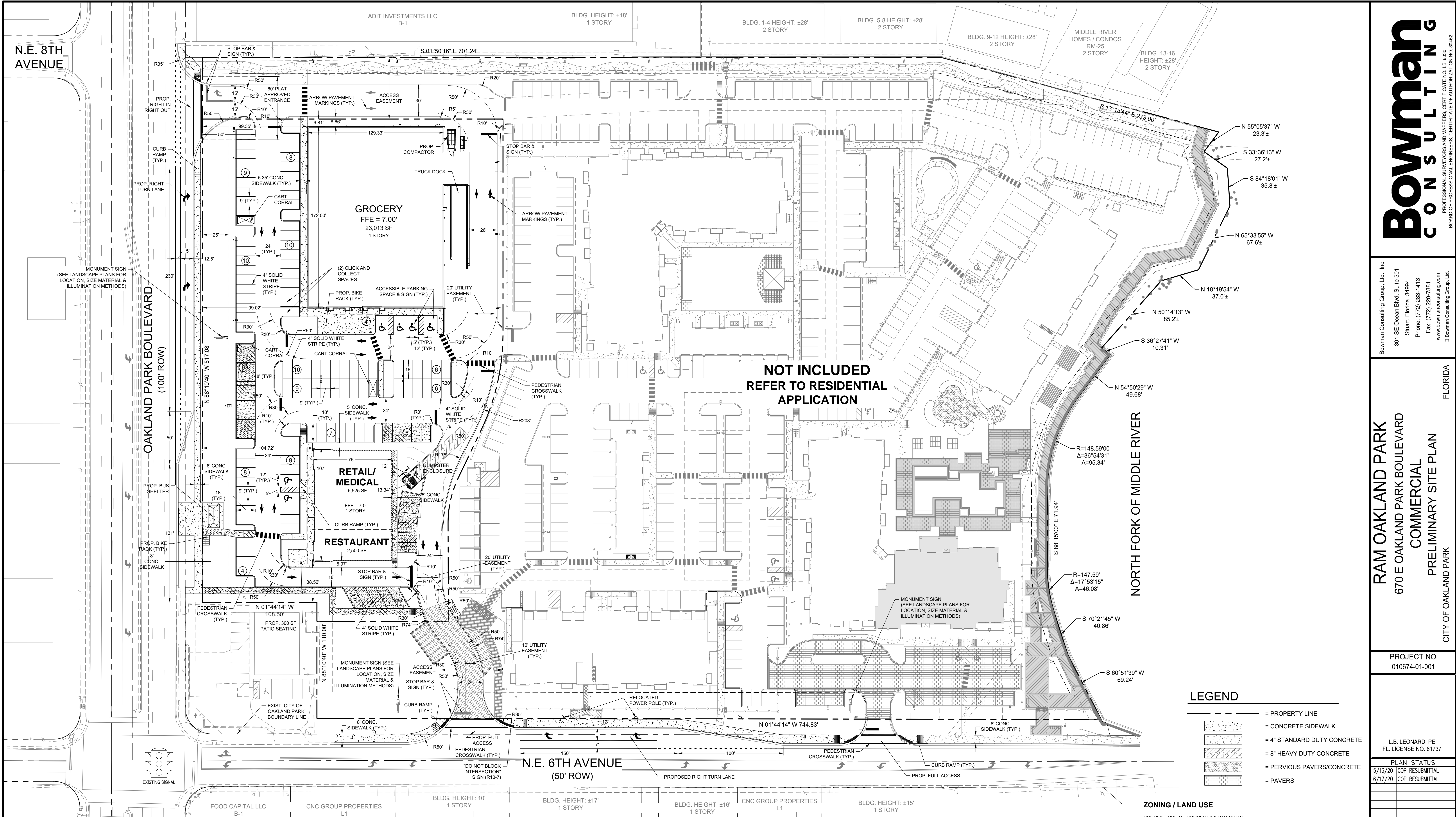
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C0
SHEET



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NOTE:
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SITE PLAN NOTES

- ALL PROPOSED ON-SITE UTILITIES THAT SERVICE THE SITE WILL BE PLACED UNDERGROUND.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL GOVERNING AUTHORITY REQUIREMENTS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, CANOPIES, APRONS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL ISLANDS WITH CURB SHALL BE LANDSCAPED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC., AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY PREPARED BY BOWMAN CONSULTING GROUP.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED PROJECT SPECIFICATIONS.
- MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING AND ELECTRICAL PLANS.
- ALL SIDEWALKS AND ADA ACCESSIBLE AREAS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 & A MAXIMUM CROSS SLOPE OF 1:50.
- ALL CURB RAMP TO HAVE DETECTABLE WARNINGS & BE CONSTRUCTED PER LATEST EDITIONS OF FOOT STANDARDS PLANS FOR ROAD CONSTRUCTION, INDEX 522-002, FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 527 & PER ADA REQUIREMENTS.
- F.I.R.M. NO. 120110367H, EFFECTIVE DATE AUGUST 18, 2014 INDICATES THE SITE IS LOCATED IN ZONE X.
- ALL PAVEMENT MARKINGS TO BE INSTALLED WITH SLIP RESISTANT PAINT AND SHARK GRIP ADDITIVE (OR APPROVED EQUAL).
- ALL STRIPING TO BE HIGH SLIP-RESISTANT FINISH TO PREVENT SLIPPING IN WET & DRY CONDITIONS.
- ALL STRIPING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF FDOT STANDARD PLANS FOR ROAD CONSTRUCTION, INDEX 711-001 AND FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 711 "THERMO PLASTIC PAVEMENT MARKINGS". CITY OF OAKLAND PARK REQUIREMENTS AND PROJECT SPECIFICATIONS. INSTALL RETRO-REFLECTIVE PAVEMENT MARKINGS (RPMs).
- ALL STRIPING SHALL BE INSTALLED AFTER NEW PAVEMENT.
- OPTED PRINCIPLES ARE INCORPORATED, SEE ATTACHED NARRATIVE.



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EXISTING SITE DATA

RESIDENTIAL	99,371 SF	2.28 AC	18%
PERVIOUS AREA	447,570 SF	10.28 AC	82%
BUILDING	117,692 SF	2.70 AC	22%
PAVEMENT	329,878 SF	7.57 AC	60%
TOTAL	546,941 SF	12.55 AC	100%

EXISTING PARKING CALCULATIONS

STANDARD SPACES	569
ACCESSIBLE SPACES	12
TOTAL	581
REQUIRED PARKING	
KMART (RETAIL) 117,692 SF	1 SPACE / 325 SF = 363

PROPOSED SITE DATA

COMMERCIAL	31,013 SF	0.71 AC	25%
PERVIOUS AREA	24,278 SF	0.56 AC	20%
PERVIOUS PAVERS	6,735 SF	0.15 AC	5%
IMPERVIOUS AREA	94,060 SF	2.16 AC	75%
BUILDING	31,038 SF	0.71 AC	25%
PAVEMENT/SIDEWALK	63,022 SF	1.45 AC	50%
TOTAL	125,073 SF	2.87 AC	100%
VEHICULAR USE AREA	61,908 SF	1.42 AC	49%

PARKING CALCULATIONS

PROVIDED	
COMMERCIAL	
GROCERY STORE	77
INCLUDES 3 ACCESSIBLE SPACES	
RETAIL / MEDICAL / RESTAURANT	48
INCLUDES 2 ACCESSIBLE SPACES	
<u>TOTAL</u>	<u>125</u>

*BASED ON 1,375 SF OF CUSTOMER SERVICE AREA

PROPOSED BUILDING DATA

COMMERCIAL	23,013 SF	5,525 SF	2,500 SF
GROCERY			
RETAIL / MEDICAL			
RESTAURANT			
BUILDING HEIGHTS			
GROCERY	50'	37'-10"	1
RETAIL / MEDICAL / RESTAURANT	30'-0"	30'-0"	1

PROPOSED BUILDING SETBACKS

COMMERCIAL - B-1		REQUIRED	PROVIDED
FRONT: IF 30 FEET OR MORE IN DEPTH	25'	99.02'	
ALL AROUND PROPERTY PERIMETER	15'	38.56'	

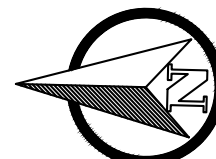
LEGEND

- = PROPERTY LINE
- [Pattern] = CONCRETE SIDEWALK
- [Pattern] = 4" STANDARD DUTY CONCRETE
- [Pattern] = 8" HEAVY DUTY CONCRETE
- [Pattern] = PERVIOUS PAVERS/CONCRETE
- [Pattern] = PAVERS

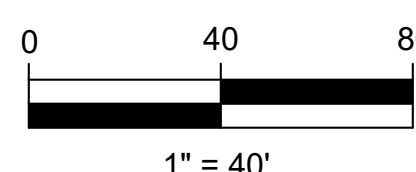
ZONING / LAND USE

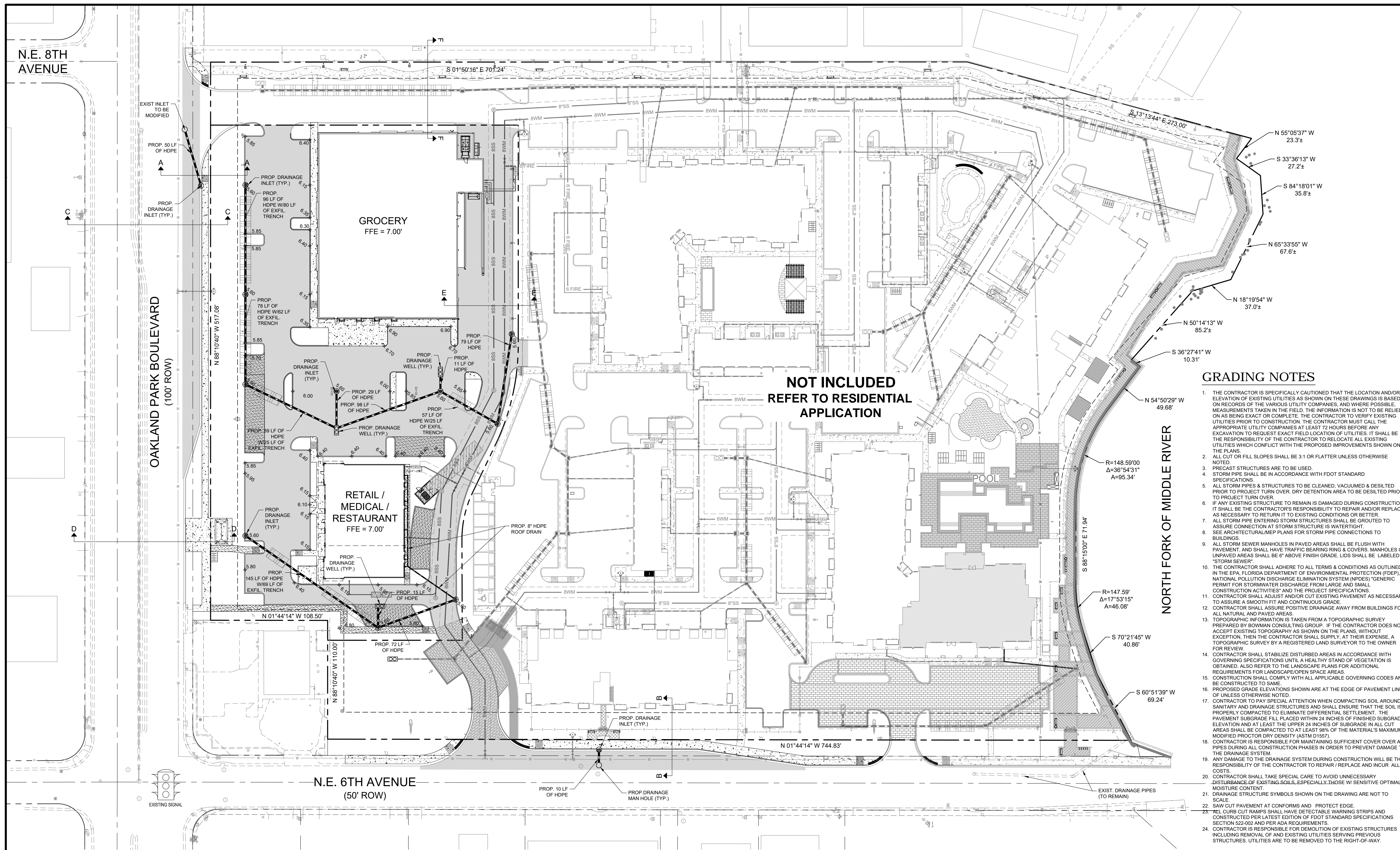
CURRENT USE OF PROPERTY & INTENSITY
EXISTING KMART (RETAIL);
LAND USE DESIGNATION:
ZONING DESIGNATION:
WATER / WATERWATER SERVICE PROVIDER:
LOCAL JURISDICTION:
FLOOD ZONE CLASSIFICATION:

117,692 SF
COMMERCIAL
B-1 COMMUNITY BUSINESS
CITY OF OAKLAND PARK UTILITIES
CITY OF OAKLAND PARK
A/E BFE 6' PRELIMINARY 2019
FIRM PANEL NO. 120110367H



GRAPHIC SCALE











GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, FIELD SURVEY. THE CONTRACTOR WANTS THAT THE CONTRACTOR IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR TO VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR MUST CALL THE UTILITY LOCATING SERVICE AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. PRECAST STRUCTURES ARE TO BE USED.
4. STORM PIPE SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS.
5. ALL STORM PIPES & STRUCTURES TO BE CLEANED, VACUUMED & DESILED PRIOR TO PROJECT TURN OVER. DRY DETENTION AREA TO BE DESILED PRIOR TO PROJECT TURN OVER.
6. IF ANY EXISTING STRUCTURE TO REMAIN IS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
7. ALL STORM PIPE ENTERING STORM STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STORM STRUCTURE IS WATERTIGHT.
8. SEE ARCHITECTURAL MEP PLANS FOR STORM PIPE CONNECTIONS TO BUILDINGS.
9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH CURB AND GROUND. THE TRAFFIC BEARING BEING 4' COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
10. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) "GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES" AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL REQUIREMENTS FOR CONSTRUCTION.
11. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AROUND BUILDINGS FOR NATURAL AND PAVED AREAS.
13. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY BOWMAN CONSULTING GROUP. IF THE CONTRACTOR DOES NOT CONSENT TO THE TOPOGRAPHIC SURVEY, THE CONTRACTOR SHALL, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
14. THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED. ALSO REFER TO THE LANDSCAPE PLANS FOR ADDITIONAL REQUIREMENTS FOR LANDSCAPE RESTORATION.
15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES AS BE CONSTRUCTED TO SAME.
16. PROPOSED GRADE ELEVATIONS SHOWN ARE AT THE EDGE OF PAVEMENT LINE UNLESS OTHERWISE NOTED.
17. CONTRACTOR TO PAY SPECIAL ATTENTION WHEN COMPACTING SOIL AROUND SANITARY AND DRAINAGE STRUCTURES AND SHALL ENSURE THAT THE SOIL IS COMPACTED TO THE COMPACTED SUBGRADE (ASTM D1557).
18. PAVEMENT SUBGRADE FILL PLACED WITHIN 24 INCHES OF FINISHED SUBGRADE ELEVATION AND AT LEAST THE UPPER 24 INCHES OF SUBGRADE IN ALL CUT AREAS SHALL BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM DRY DENSITY (ASTM D1557).
19. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SUFFICIENT COVER OVER ALL PIPES DURING ALL CONSTRUCTION PHASES IN ORDER TO PREVENT DAMAGE TO THE UNDERGROUND SYSTEM.
20. ANY DAMAGE TO THE DRAINAGE SYSTEM DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR / REPLACE AND INCUR ALL COSTS.
21. CONTRACTOR SHALL TAKE SPECIAL CARE TO AVOID UNNECESSARY DISTURBANCE OF EXISTING SOILS, ESPECIALLY THOSE W/ SENSITIVE OPTIMAL MOISTURE CONTENT.
22. DRAINAGE STRUCTURE SYMBOLS SHOWN ON THE DRAWING ARE NOT TO SCALE.
23. SAW CUT PAVEMENT AT CONFORMS AND PROTECT EDGE.
24. ALL CURB CUT RAMPS SHALL HAVE DETECTABLE WALKING SURFACES.
25. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES SECTION 522-002 AND PER ADA REQUIREMENTS.
26. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL STRUCTURES, UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.

LEGEND
(EXISTING)

-  = WATER MAIN
 = SANITARY SEWER
 = DRAINAGE STRUCTURE
 = DRAINAGE PIPE
 = WATER / SEWER VALVE
 = SPOT ELEVATION

- (PROPOSED)

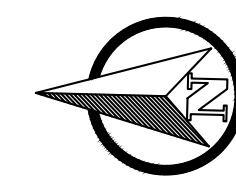
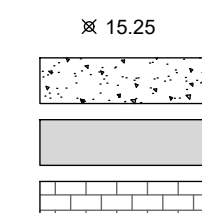
- | | |
|--------------------|----------------------|
| ————— ———— ————— | = PROPERTY LINE |
| ————— 8WMM ————— | = WATER MAIN |
| ————— 6 FIRE ————— | = FIRE LINE |
| ————— 8"SS ————— | = SANITARY SEWER |
| ⦿ | = FIRE HYDRANT |
| ⦿ | = WATER VALVE |
| ⊙ | = SANITARY MANHOLE |
| ⊙ | = DRAINAGE STRUCTURE |
| ————— | = STORM PIPE |

- = SPOT ELEVATION

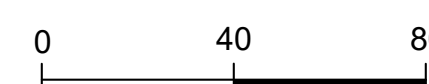
- = CONCRETE SIDEWALK

- = STANDARD DUTY ASPHALT PAVEMENT

- = PAVERS



GRAPHIC SCALE

 $1'' = 40$ 

811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

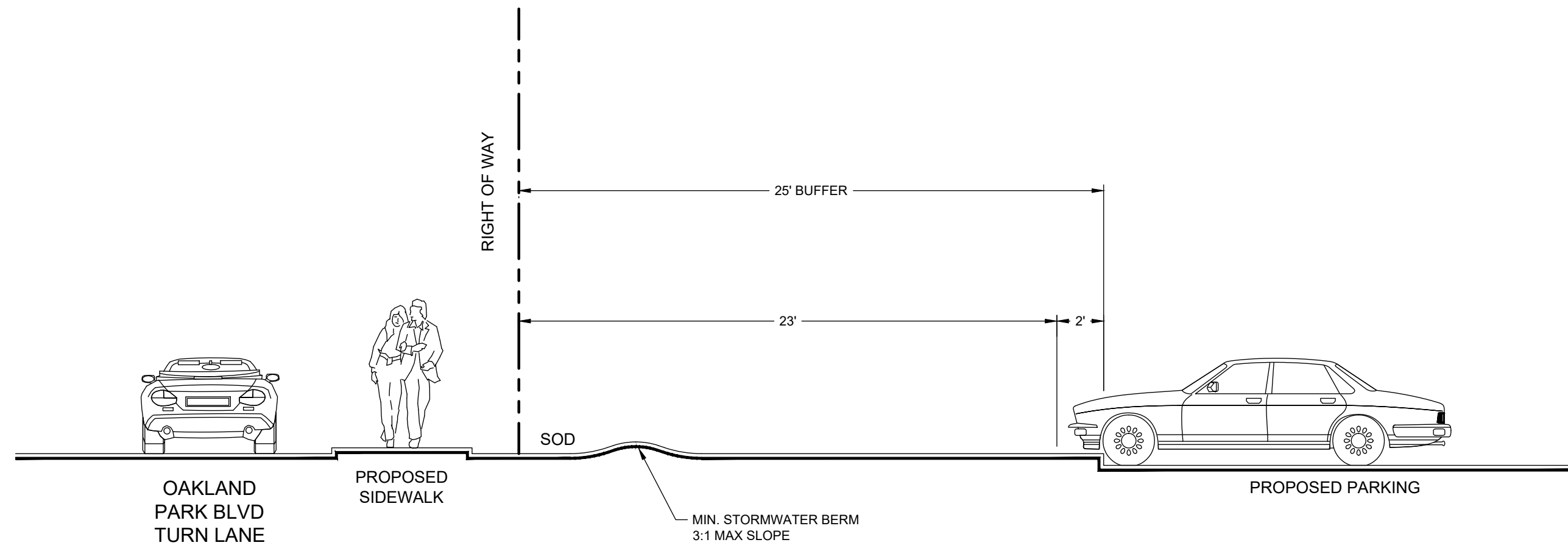
It's fast. It's free. It's the law.

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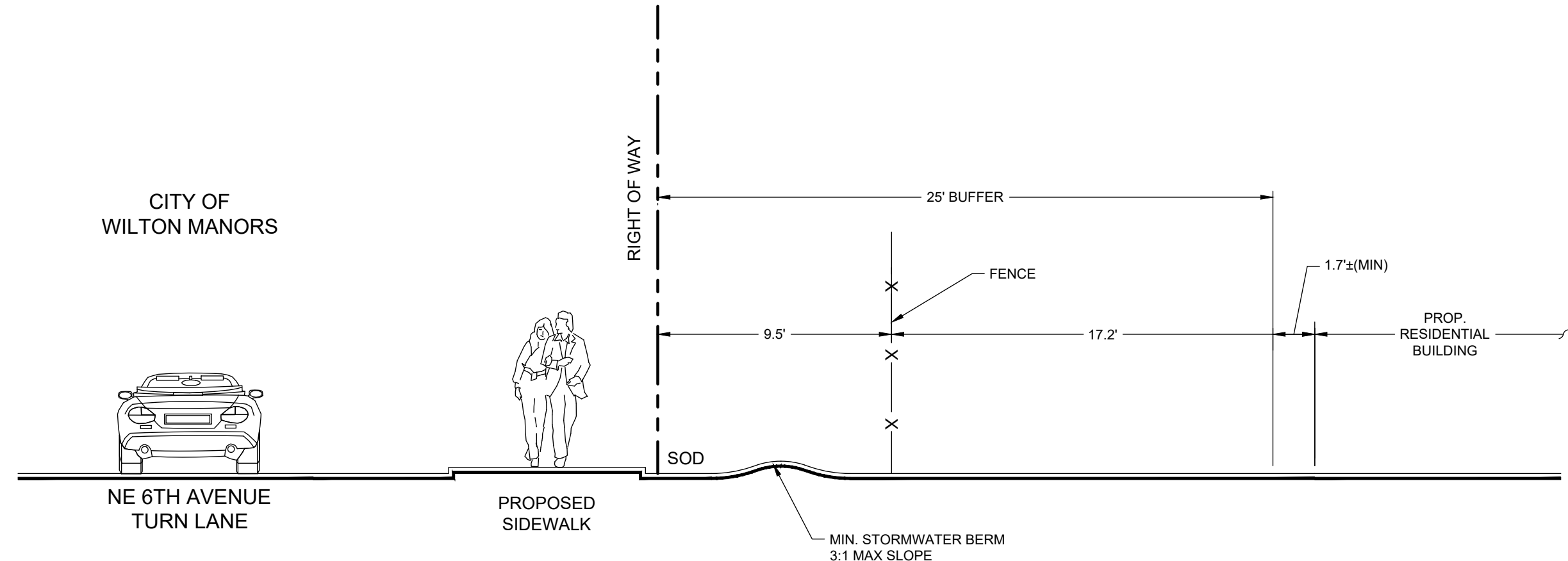
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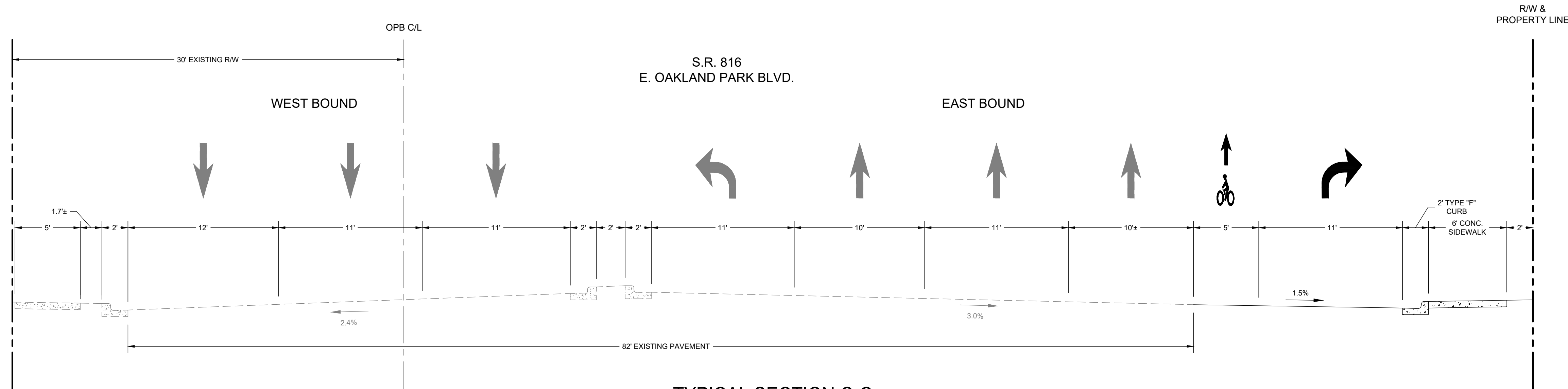
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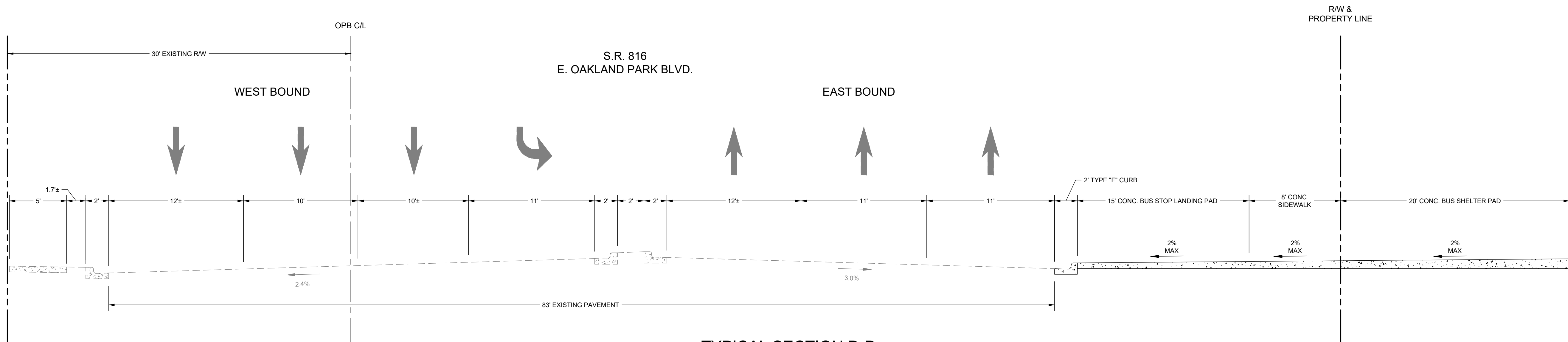
TYPICAL SECTION A-A
SCALE: 1" = 5'



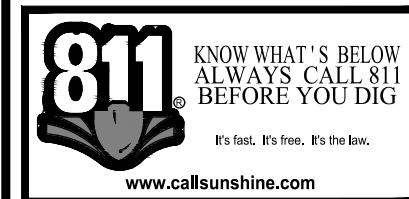
TYPICAL SECTION B-B
SCALE: 1" = 5'



TYPICAL SECTION C-C
SCALE: 1" = 5'

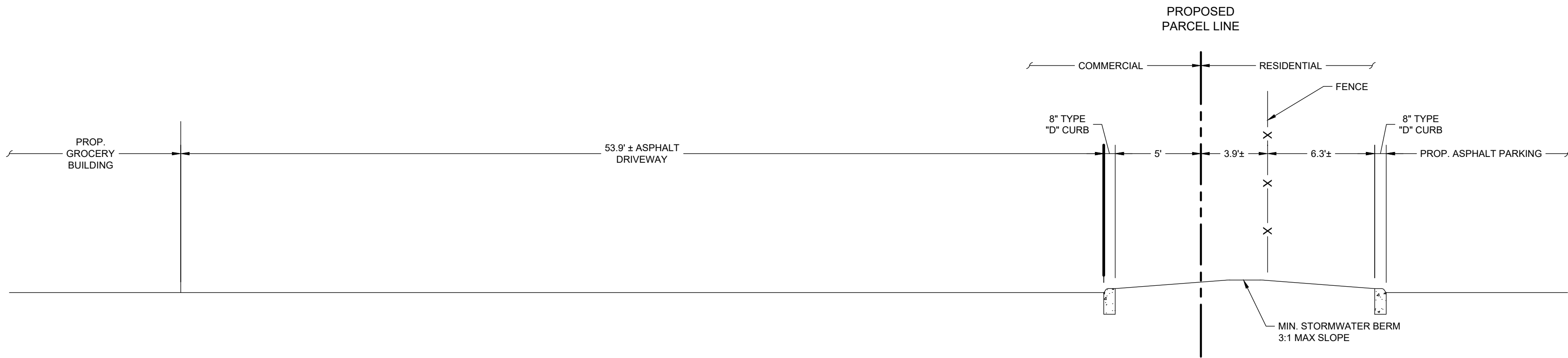


TYPICAL SECTION D-D
SCALE: 1" = 5'

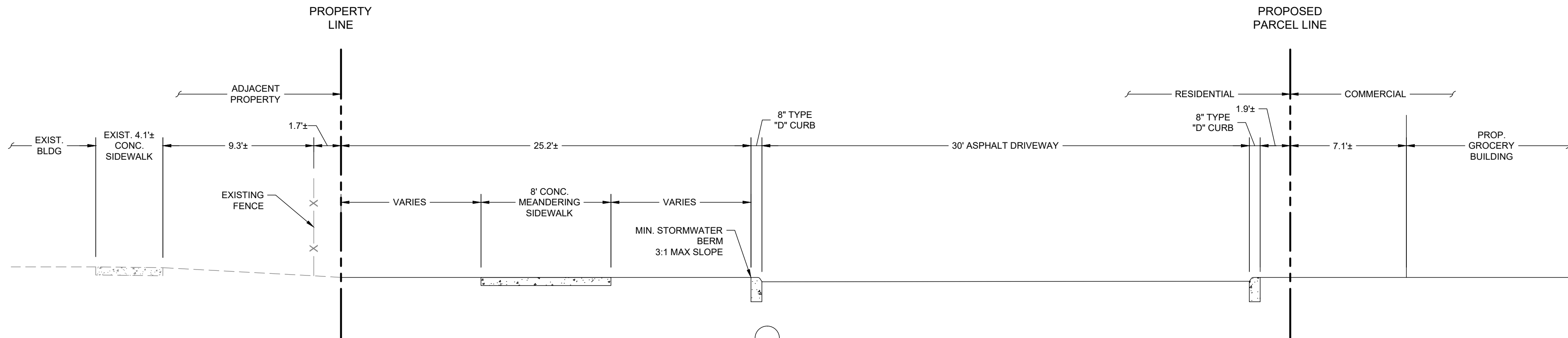


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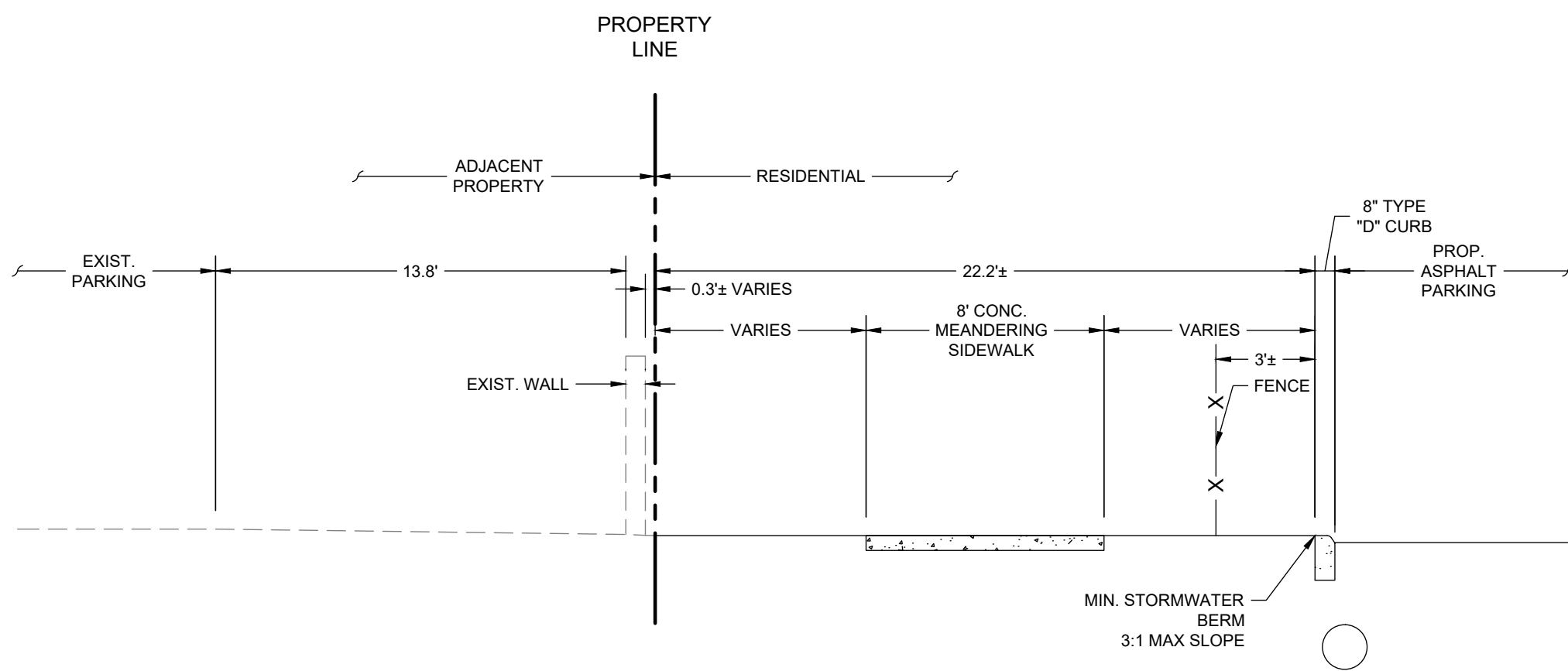
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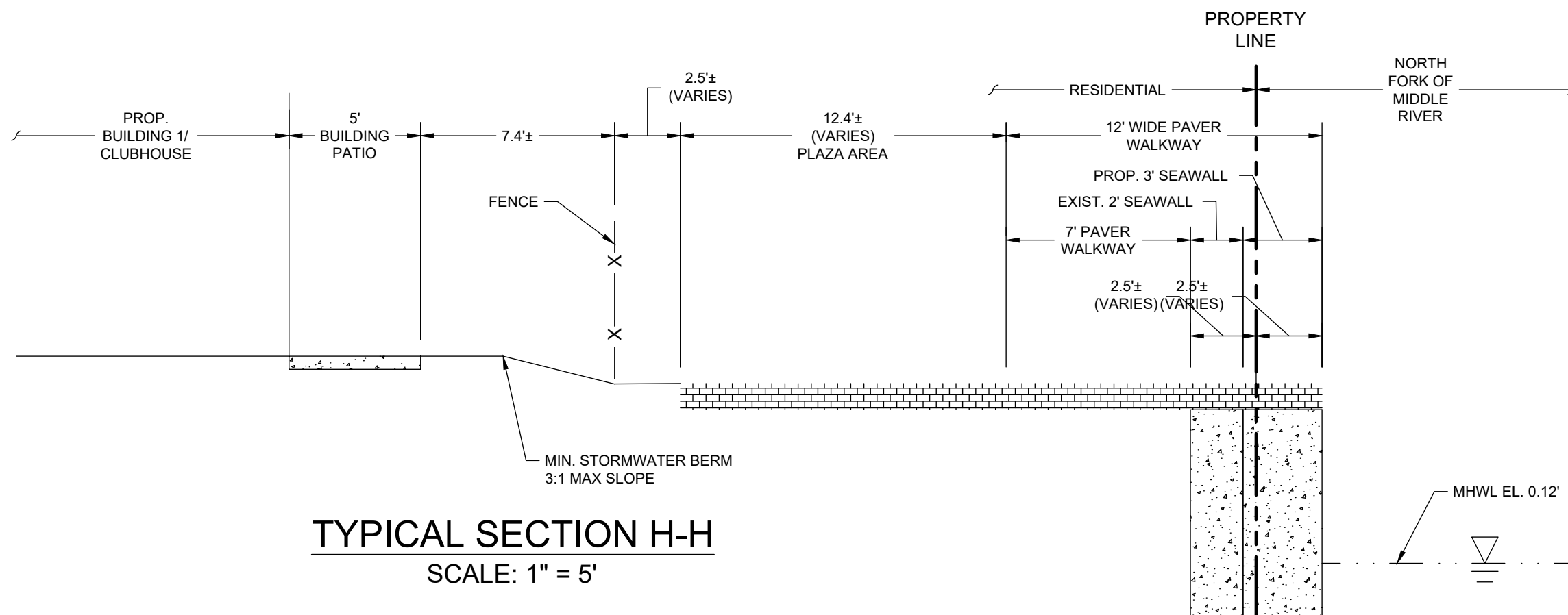
TYPICAL SECTION E-E
SCALE: 1" = 5'



TYPICAL SECTION F-F
SCALE: 1" = 5'



TYPICAL SECTION G-G
SCALE: 1" = 5'

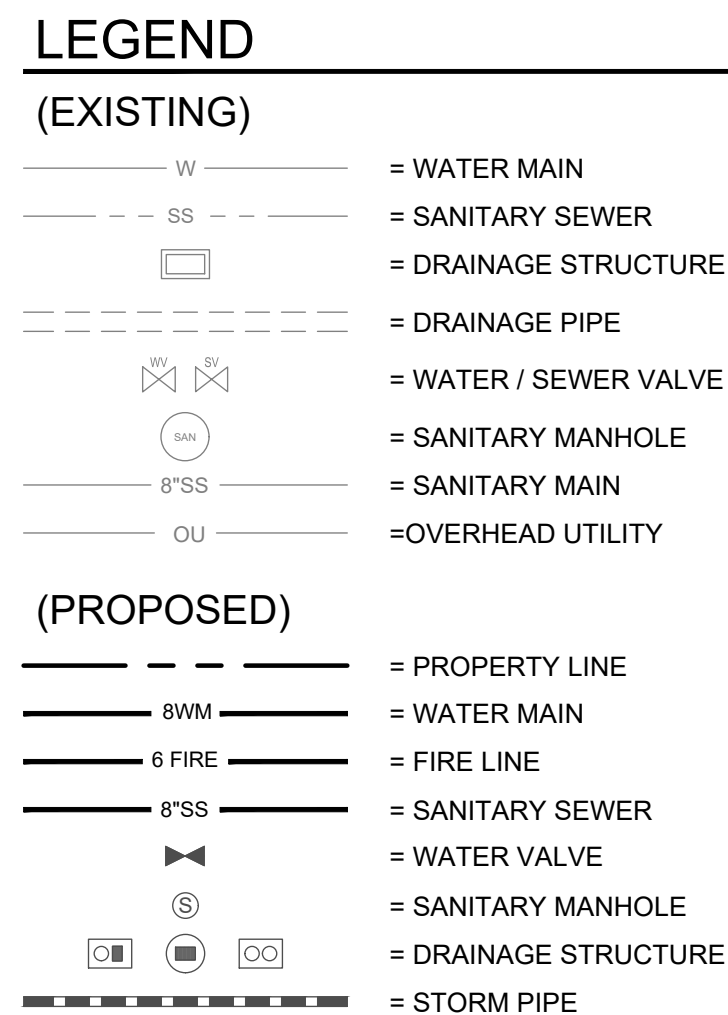


TYPICAL SECTION H-H
SCALE: 1" = 5'



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1. ALL PROPOSED ONSITE UTILITIES THAT SERVICE THE SITE WILL BE PLACED UNDERGROUND.
2. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
3. CONTRACTOR SHALL PROVIDE ALL NECESSARY UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
4. SS PIPE SHALL BE AS FOLLOWS:
 - 6" PVC SDR26 PER ASTM D 3034
 - 8" PVC SDR26 PER ASTM D 3034
5. WATER LINES SHALL BE AS FOLLOWS:
 - 2" AND SMALLER, POLYETHYLENE AS DEFINED BY ASTM D2737 SDR5 COPPER TUBE SIZE 4" 12" PVC DR-18 C-90
6. DUCTILE IRON PIPE (DIP) SHALL BE REQUIRED WHEN WITHIN SIX (6) FEET HORIZONTALLY OF SEWAGE FACILITIES OR PIPES.
7. DUCTILE IRON PIPE (DIP) SHALL BE A MINIMUM OF PRESSURE CLASS 350 AND CONFORM TO THE LATEST STANDARDS OF THE AWWA.

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| <p>8. ALL UTILITIES SHOULD HAVE A MINIMUM HORIZONTAL SEPARATION OF 3' TO POWER POLES, LIGHT POLES, OR OTHER UTILITIES, 15' TO BUILDINGS, TOP OF BANKS OF LAKES & CANALS AND OTHER STRUCTURES, OR ABSOLUTE MINIMUM OF 10' WITH DIP.</p> <p>9. ALL WATER FITTINGS ARE TO BE DUCTILE IRON MECHANICAL JOINTS AS CALLED OUT IN SOUTH MARTIN REGIONAL UTILITIES (SMRU) MINIMUM DESIGN & CONSTRUCTION STANDARDS.</p> <p>10. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30% COVER ON ALL WATERLINES, 8" OR SMALLER. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE WATER LINES SHALL HAVE APPROPRIATE RESTRAINTS AS REQUIRED BY SOUTH MARTIN REGIONAL UTILITIES (SMRU), A MINIMUM OF 12" CLEARANCE (12" PREFERRED).</p> <p>11. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.</p> <p>12. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATERTIGHT LIDS WHEN LOCATED IN UNPAVED AREAS.</p> <p>13. EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.</p> <p>14. REFER TO INTERIOR PLUMBING DRAWINGS BY THE MEP FOR TIE-IN OF ALL UTILITIES.</p> <p>15. CONTRACTOR IS RESPONSIBLE FOR THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.</p> | <p>16. ALL EXISTING VALVES TO BE ADJUSTED TO FINAL FINISHED GRADE.</p> <p>17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS IN THE FIELD. THE FIELD MEASUREMENTS ARE TO BE USED IN ADDITION TO THE RECORDS. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.</p> <p>18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND NOTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED AT LEAST 30 DAYS PRIOR TO C.O.</p> <p>19. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.</p> <p>20. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.</p> <p>21. SEE SOUTH MARTIN REGIONAL UTILITIES MINIMUM DESIGN & CONSTRUCTION STANDARDS FOR BACKFILLING AND COMPACTION REQUIREMENTS OF UTILITY TRENCHES. CONTRACTOR SHALL COMPLY WITH SOUTH MARTIN REGIONAL UTILITIES (SMRU) MINIMUM DESIGN & CONSTRUCTION STANDARDS, LATEST EDITION.</p> <p>22. CONTRACTOR SHALL GROUT ALL PIPE ENTRANCES AND PIPE REMOVALS TO/FROM MANHOLES TO ASSURE WATER TIGHT CONNECTIONS AND PLUGS.</p> <p>23. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.</p> |
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- NOTE:**

ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

24. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITIES ENTRANCES TO INCLUDE S/S LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, FIBER OPTIC, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH MARTIN COUNTY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS, CONNECTIONS AND INSPECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
25. CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
26. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND ANY OTHER MEANS OF PROTECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE REQUIREMENTS FOR OSHA.
27. THE INSTALLATION OR REPAIR OF ANY UNDERGROUND FACILITIES OF PIPING WHICH CONNECTS TO OR FURNISHES WATER FOR THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE PERFORMED ONLY BY A LICENSED UTILITY CONTRACTOR, FIRE PROTECTION SPRINKLER CONTRACTOR OR LICENSED PLUMBER. SEE O.C.G. TITLE 25-17-7(a). A COPY OF THE LICENSE OR EVIDENCE OF COMPLETION TO THE REQUIREMENTS OF THE LICENSE SHALL BE SUBMITTED TO THE OWNER.
28. ALSO SEE SHEET DE FOR SMVJ GENERAL NOTES AND STANDARD WATER SERVICE SEPARATION STATEMENTS.

