

ZONING DATA DMUD			
BUILDING DISPOSITION		EXISTING	PROPOSED
LOT OCCUPATION			
A. LOT AREA		2,000 S.F.	TOTAL BUILD AREA 2,000 Pervious area 12,000 of lot
B. LOT WIDTH		2 FT.	2 FT.
C. LOT COVERAGE		-	FOOTPRINT 1,000
STORIES		VACANT LAND	2 STORY-MIX USE COMMERCIAL-RESIDENTIAL
D. FLOOR LOT RATIO FLR			GROUND LEVEL FOOTAGE AREA 1,000 SF
			2ND LEVEL FOOTAGE AREA 1,200 SF
			GROUND LEVEL 1,200 SF UNDER A/C
			2nd LEVEL 1,200 SF UNDER A/C
BUILDING SETBACK			
PRINCIPAL FRONT			1'-0" FT. 1st FLOOR, 12'-0" ON SECOND FLOOR
SIDE			NORTH 0'-0" SOUTH 0'-0" FOR 1st FLOOR. 0'-0" FOR 2nd FLOOR
REAR			1'-0" FT. 1st FLOOR, 1'-0" ON SECOND FLOOR
SQUARE FOOTAGE APARTMENT		2	2200 s.f. includes ext common private areas
BUILDING CONFIGURATION			
A. COMMON LAWN		PROHIBITED	
B. PORCH FENCE		PERMITTED	
C. TERRACE OR L.C		PERMITTED	
D. FORECOURT		PERMITTED	
E. STOOP		PERMITTED	
BUILDING HEIGHT			
A. MIN. HEIGHT		2 STORIES	
B. MAX. HEIGHT		2 STORIES 20'-0"	
PARKING REQUIREMENT			
COMMERCIAL AND RESIDENTIAL	2 SPACES FOR RESIDENTIAL	BAR RESTAURANT 1,000 SF	1 HANDICAP-ACCESSIBLE SPACES PROVIDED.
	SPACES FOR COMMERCIAL	RESIDENTIAL 1,200 SF	NO PARKING SPACES PROVIDED.
TOTAL OF 7 SPACES, 000			
REDUCTION FPR MIX USE			
REQUIRED TOTAL OF 0 SPACES			
LOADING BERTH			
COMMERCIAL		NONE IF UNDER 20,000 SF	NONE

LIGHT FIXTURES PROVIDED FOR SECURITY
NO LESS THAN 400- LUMENS EACH, @ NO LESS THAN 90" AFF

PRIOR TO BUILDING DEPARTMENT APPROVAL, PROCESS
SHOULD INCLUDE BCEPD, BCWWS, SFWMD, FDOT
AND ANY OTHER DEPARTMENT THAT MAY APPLY

SITE PLAN SYMBOLS LEGEND

- Benchmark

Catch Basin

Check Valve

Concrete Light Pole

Curb Inlet

Clean Out

Drainage Manhole

Electric Box

Electric Meter

Elevation

Irrigation Valve

Gas Service

Grease Trap Manhole

Guy Anchor
- Fire Hydrant

Manhole

Metal Light Pole

Overhead Wires

Post

Roof Drain

Sanitary Sewer Manhole

Sign

Traffic Signal Pole

Water Meter

Water Valve

Wood Utility Pole

Fiber Optic Box

Revisions

1

2

Sept 30, 2020

3

Nov 12, 2020

WOOD-DWG, LLC

NEW BAR-RESTAURANT + 2 APARTMENTS

3557 N DIXIE HIGHWAY

OAKLAND PARK, FLORIDA 33334

PH: 954214 7574

J.C.D. ARCHITECT INC

JUAN C. DAVID R.A.

LEED ACCREDITED PROFESSIONAL

Design by: J.C. GUERRERO

Architecture Interiors Planning Construction

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Job No.: 2018-022

Date: 2019-11-25

Scale: REFER TO PLAN

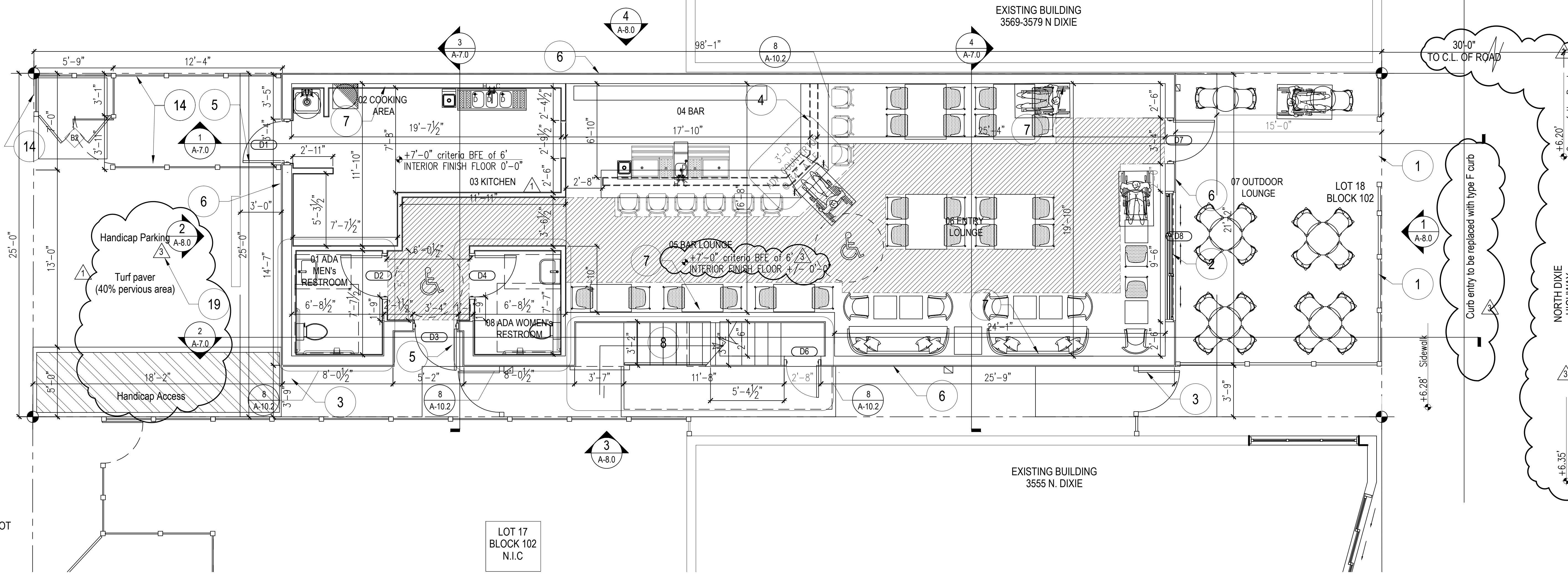
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AR-00015344

Sheet No.

A-0.1

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1 PROPOSED FLOOR PLAN
SCALE: 3/16"=1'-0"

PLUMBING FIXTURE CALCULATION	
PROPOSED TENANT OCCUPANCY	CLASS A-2-ASSEMBLY-LOUNGE
TOTAL OCCUPANCY	
MENS RESTROOM	
REQUIRED WC - 1	PROVIDED WC - 1
REQUIRED LAV. - 1	PROVIDED LAV. - 1
WOMENS RESTROOM	
REQUIRED WC - 1	PROVIDED WC - 1
REQUIRED LAV. - 1	PROVIDED LAV. - 1

CALCULATION TO COMPLY WITH TABLE 403.1 FBC - PLUMBING, SIXTH EDITION 2017

ADA TOILET FACILITIES NOTE	
TOILETS ROOMS SHALL COMPLY WITH WITH CHAPTER 201.206.603, 2017-FBC - ACCESSIBILITY, SIXTH EDITION.	

AS PER FBCP, SECTION 410.4 SUBSTITUTION. WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED ON THOSE RESTAURANTS

SEATING CAPACITY	
04 BAR	9
05 BAR LOUNGE	6
06 ENTRY LOUNGE	30
07 OUTDOOR LOUNGE	20
TOTAL PROPOSED SEATING	65

ADA CALCULATIONS	
TOTAL SEATING:	65
PER FBCA 221.2.1.1 (51-150/4 SEATS REQ'D)	
TOTAL ADA PROVIDED:	4

PROPOSED NOTES

- ALUMINUM GUARDRAIL
- SLIDING IMPACT RESISTANT WINDOW
- KEY ACCESS ALUMINUM GATE DOOR
- ADA COUNTERTOP
- ALTERNATE EGRESS DOOR
- STUCCO FINISH PAINTED
- DRYWALL PAINTED
- APARTMENT STAIRWELL
- IMPACT RESISTANT DOOR
- ACCESS LADDER TO ROOF W/LOCK
- CONCRETE PARAPET
- FIBER CEMENT PANEL FINISH
- SCUPPER AND DOWNSPOUT
- 0'-0" WOOD FENCE AND GATE
- ROOF FINISH W/MIN SLOPE
- ROOF DRAIN
- DROPPED CEILING
- CMU to be finished by Tenant
- PERMEABLE TURF BLOCK

GENERAL NOTES

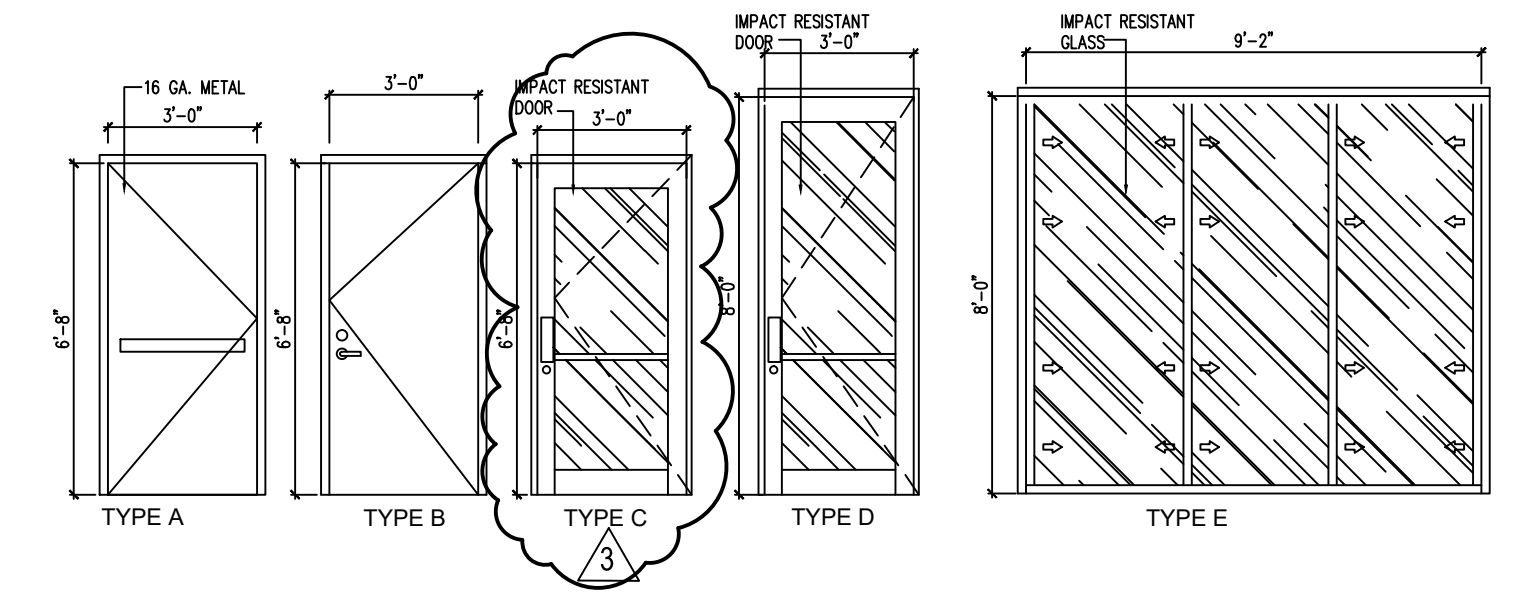
- DIMENSIONS SHOWN ARE NOMINAL. ACTUAL DIMENSIONS MAY VARY
- ANY CUTTING OF EXISTING DEMISING PARTITIONS SHALL BE PATCHED TO RESTORE FIRE RATING.
- ALL CONCRETE PATCHING MUST BE LEVEL WITH THE EXISTING CONCRETE FLOOR. CONCRETE SLAB BY CONTRACTOR
- ALL CHANGES AND MODIFICATIONS TO THE TENANT'S LANDLORD APPROVED DRAWINGS SHALL BE RESUBMITTED TO LANDLORD FOR PRE-APPROVAL. ANY CONSTRUCTION COMPLETED WITHOUT LANDLORD APPROVAL SHALL BE CORRECTED AS APPROVED BY LANDLORD AT TENANT'S EXPENSE.
- SEE SHEET A-12.0 FOR DOOR DETAILS
- PER FBC PLUMBING 10.1, WHERE WATER IS SERVED IN RESTAURANTS, DRINKING FOUNTAINS SHALL NOT BE REQUIRED
- CONTRACTOR TO CONFIRM CONDITION OF ADJACENT LEASE SPACES, TYP.
- TENANT IS TO PROVIDE AN ACCESS PANELS FOR ANY COMMON AREA OR LANDLORD EQUIPMENT WHICH SHALL INCLUDE, BUT NOT NECESSARILY LIMITED TO, HVAC EQUIPMENT, SHUT-OFF VALVES, FIRESPRINKLER CHECK VALVES, AND WATERVALVES.

INTERIOR ELEVATION -7'-0" is 1' FOOT ABOVE BFE OF 0'-0" AND 0.72' ABOVE HIGHER CROWN OF ROAD

DOOR SCHEDULE					
MARK	TYPE	SIZE	DESCRIPTION	FIRE RATING	HARDWARE GROUP
D1	A	3'-0" x 6'-8"	NEW 16 GA. METAL DOOR / PAINT GRADE	90 MIN.	PANIC HARDWARE
D2	B	3'-0" x 6'-8"	NEW SOLID CORE WOOD DOOR / PAINT GRADE		L/PR
D3	D	3'-0" x 6'-8"	NEW IMPACT RESIST. GLASS/OUTSWING DOOR		L/K/PANIC HARDWARE
D4	B	3'-0" x 6'-8"	NEW SOLID CORE WOOD DOOR / PAINT GRADE		L/K
D5	C	deleted			
D6	B	2'-8" x 6'-8"	NEW 16 GA. METAL DOOR / PAINT GRADE		L/DB
D7	D	3'-0" x 8'-0"	NEW IMPACT RESIST. GLASS/OUTSWING DOOR		L/K/PANIC HARDWARE
D8	E	9'-2" x 8'-0"	NEW IMPACT RESISTANT GLASS EURO WALL SYSTEM/PAINT GRADE		L/K

DOOR FINISH: M-METAL W-WOOD TG-TEMPERED GLASS
LATCH: PP-PUSH/PULL L-LEVER PH-PANIC HARDWARE WITH PULL ON REVERSE D-DUMMY PU-PUSH PANEL
LOCK: PR-PRIVACY K-KEYED DB-DEADBOLT
HARDWARE FINISH: SS-STAINLESS STEEL KN-KNURLED FINISH

NOTES:
-VERIFY THAT ALL EXISTING EGRESS DOORS ARE OPERABLE AND KEYLESS FROM THE SIDE FROM WHICH EGRESS AT ALL TIMES THE BUILDING IS OCCUPIED.
-VERIFY ALL EXISTING DOOR HARDWARE IN FIELD.
-DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE AT A MAX. HEIGHT OF 48" A.F.F. THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
-CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD, ALL EXISTING DOORWAY WIDTHS REQUIRING DOORS.



Revisions

1	08-10-2020
2	10-01-2020
3	11-12-2020

WOOD-DGW,LLC

NEW BUILDING: RESTAURANT + 2 APARTMENTS

3557 N DIXIE HIGHWAY

OAKLAND PARK, FLORIDA 33334

PH: 954 214-7574

J.C.D. ARCHITECT INC

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Job No.: 2018-22

Date: 2019-03-12

Scale: REFER TO PLAN

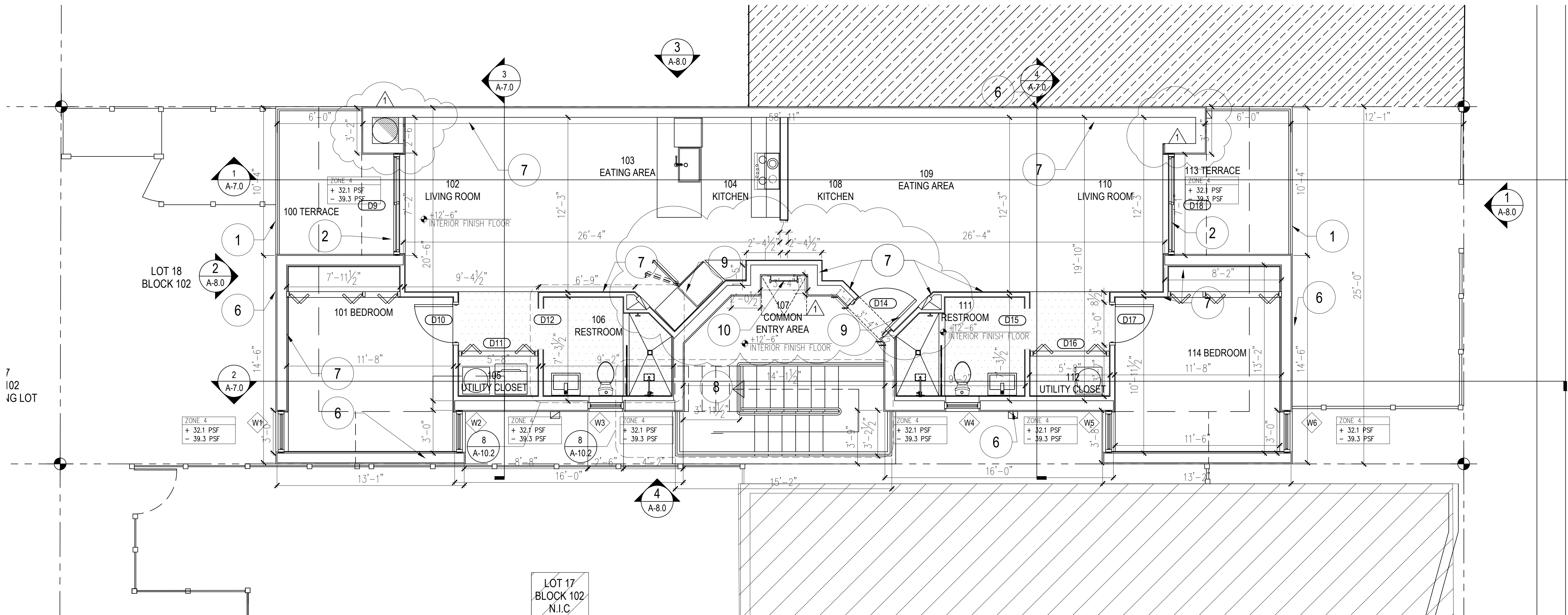
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1 PROPOSED FLOOR PLAN
SCALE: 3/16"=1'-0"

PLUMBING FIXTURE CALCULATION	
PROPOSED TENANT OCCUPANCY	RESIDENTIAL DWELLING UNITS
RESTROOM REQUIRED WC - 2 REQUIRED LAV. - 1 REQUIRED SHOWER - 2	PROVIDED WC - 2 PROVIDED LAV. - 2 PROVIDED SHOWER - 2

CALCULATION TO COMPLY WITH TABLE 403.1 FBC PLUMBING SIXTH EDITION 2017

ADA TOILET FACILITIES NOTE	
TOILETS ROOMS SHALL COMPLY WITH WITH CHAPTER 201.206.603, 2017-FBC - ACCESSIBILITY, SIXTH EDITION.	

PROPOSED NOTES

- ALUMINUM GUARDRAIL
- SLIDING IMPACT RESISTANT WINDOW
- KEY ACCESS ALUMINUM GATE DOOR
- ADA COUNTERTOP
- ALTERNATE EGRESS DOOR
- STUCCO FINISH PAINTED
- DRYWALL PAINTED
- APARTMENT STAIRWELL
- IMPACT RESISTANT DOOR
- ACCESS LADDER TO ROOF W/LOCK
- CONCRETE PARAPET
- FIBER CEMENT PANEL FINISH

- 1 SCUPPER AND DOWNSPOUT
- 1 0-0" WOOD FENCE AND GATE
- 1 ROOF DRAIN
17. DROPPED CEILING
- 1 CMU to be finished by Tenant
- 1 PERMEABLE TURF BLOCK

GENERAL NOTES

- DIMENSIONS SHOWN ARE NOMINAL. ACTUAL DIMENSIONS MAY VARY
- ANY CUTTING OF EXISTING DEMISING PARTITIONS SHALL BE PATCHED TO RESTORE FIRE RATING.
- ALL CONCRETE PATCHING MUST BE LEVEL WITH THE EXISTING CONCRETE FLOOR. CONCRETE SLAB BY CONTRACTOR
- ALL CHANGES AND MODIFICATIONS TO THE TENANT'S LANDLORD APPROVED DRAWINGS SHALL BE RESUBMITTED TO LANDLORD FOR PRE-APPROVAL. ANY CONSTRUCTION COMPLETED WITHOUT LANDLORD APPROVAL SHALL BE CORRECTED AS APPROVED BY LANDLORD AT TENANT'S EXPENSE.
- SEE SHEET A-12.0 FOR DOOR DETAILS
- PER FBC PLUMBING 201.206.603, 2017-FBC - ACCESSIBILITY, SIXTH EDITION, WHERE WATER IS SERVED IN RESTAURANTS, DRINKING FOUNTAINS SHALL NOT BE REQUIRED
- CONTRACTOR TO CONFIRM CONDITION OF ADJACENT LEASE SPACES, TYP.
- TENANT IS TO PROVIDE AN ACCESS PANELS FOR ANY COMMON AREA OR LANDLORD EQUIPMENT WHICH SHALL INCLUDE, BUT NOT NECESSARILY LIMITED TO, HVAC EQUIPMENT, SHUT-OFF VALVES, FIRESPRINKLER CHECK VALVES, AND WATERVALVES.

INTERIOR ELEVATION 0'-0" CORRESPONDS TO LEVEL 12'-0" FIN. FLOOR

DOOR SCHEDULE

MARK	TYPE	SIZE	DESCRIPTION	FIRE RATING	HARDWARE GROUP	NOTES
D9	F	7'-0" x 7'-0"	NEW IMPACT RESIST. GLASS/SLIDING DOOR		L/K	SLIDING DOOR
D10	B	2'-8" x 6'-8"	NEW SOLID CORE WOOD DOOR / PAINT GRADE		L/PR	SWING DOOR
D11	C	(2)2'-6" x 6'-8"	NEW BI-FOLD CORE WOOD DOOR/PAINT GRADE/LOUVERED		L	SWING DOOR
D12	B	2'-4" x 6'-8"	NEW SOLID CORE WOOD DOOR / PAINT GRADE		L/PR	SWING DOOR
D13	A	3'-0" x 7'-0"	NEW 16 GA. METAL DOOR / PAINT GRADE fisheye Peep hole	90 MIN.	L/PR/DB	SWING DOOR/ADA DOOR CLOSER NOA 18-0116.20
D14	B	2'-4" x 6'-8"	NEW SOLID CORE WOOD DOOR / PAINT GRADE		L/PR	SWING DOOR
D15	C	(2)2'-6" x 6'-8"	NEW BI-FOLD CORE WOOD DOOR/PAINT GRADE/LOUVERED		L	SWING DOOR
D16	B	2'-8" x 6'-8"	NEW SOLID CORE WOOD DOOR / PAINT GRADE		L/PR	SWING DOOR
D17	F	7'-0" x 7'-0"	NEW IMPACT RESIST. GLASS/SLIDING DOOR		L/K	SLIDING DOOR PRODUCT APPROVAL HVHZ FL 26891

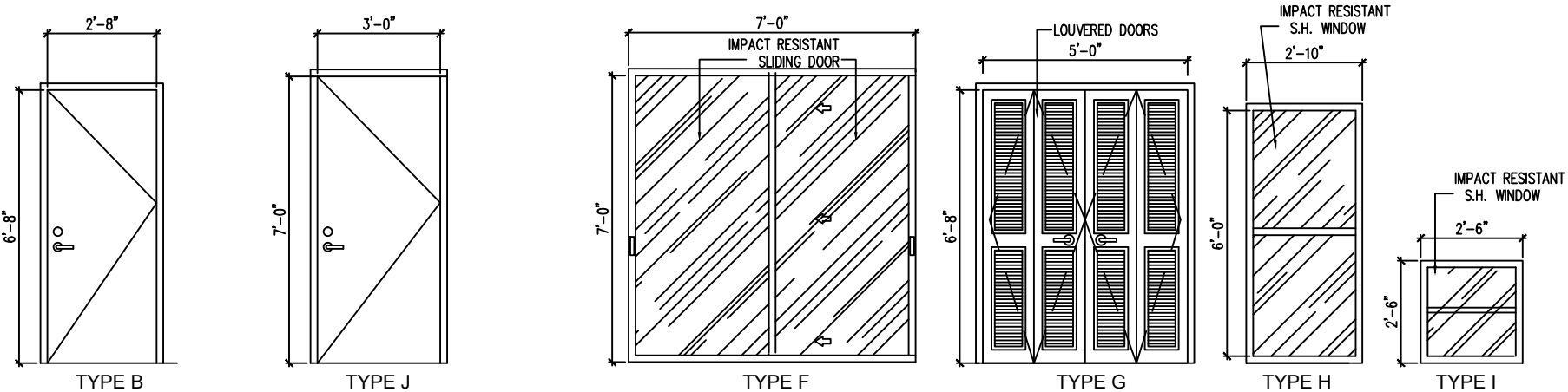
DOOR FINISH: M-METAL W-WOOD TG-TEMPERED GLASS
LATCH: PP-PUSH/PULL L-LEVER PH-PANIC HARDWARE WITH PULL ON REVERSE D-DUMMY PU-PUSH PANEL
LOCK: PR-PRIVACY K-KEYED DB-DEADBOLT
HARDWARE FINISH: SS-STAINLESS STEEL KN-KNURLED FINISH

NOTES:
-VERIFY THAT ALL EXISTING EGRESS DOORS ARE OPERABLE AND KEYLESS FROM THE SIDE FROM WHICH EGRESS AT ALL TIMES THE BUILDING IS OCCUPIED.
-VERIFY ALL EXISTING DOOR HARDWARE IN FIELD.
-DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE AT A MAX. HEIGHT OF 48" A.F.F. THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
-CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD, ALL EXISTING DOORWAY WIDTHS REQUIRING DOORS.

WINDOW SCHEDULE

MARK	TYPE	SIZE	DESCRIPTION	FRAME MATERIAL	NOTES	QUANTITY
W1	H	2'-10" x 6'-0"	SINGLE HUNG-IMPACT RESISTANT WINDOW	ALUMINUM-PAINTED	WINDOW SHALL BE FINISHED WITH 0.30 SHG	1 WINDOW/ NOA # 17.1212.13
W2	H	2'-10" x 6'-0"	SINGLE HUNG-IMPACT RESISTANT WINDOW	ALUMINUM-PAINTED	WINDOW SHALL BE FINISHED WITH 0.30 SHG	1 WINDOW/ NOA # 17.1212.13
W3	I	2'-6" x 2'-6"	SINGLE HUNG-NEW IMPACT RESISTANT WINDOW	ALUMINUM-PAINTED	WINDOW SHALL BE FINISHED WITH 0.30 SHG	1 WINDOW/ NOA # 18.0911.17
W4	I	2'-6" x 2'-6"	SINGLE HUNG-NEW IMPACT RESISTANT WINDOW	ALUMINUM-PAINTED	WINDOW SHALL BE FINISHED WITH 0.30 SHG	1 WINDOW/ NOA # 18.0911.17
W5	H	2'-10" x 6'-0"	SINGLE HUNG-IMPACT RESISTANT WINDOW	ALUMINUM-PAINTED	WINDOW SHALL BE FINISHED WITH 0.30 SHG	1 WINDOW/ NOA # 17.1212.13
W6	H	2'-10" x 6'-0"	SINGLE HUNG-IMPACT RESISTANT WINDOW	ALUMINUM-PAINTED	WINDOW SHALL BE FINISHED WITH 0.30 SHG	1 WINDOW/ NOA # 17.1212.13

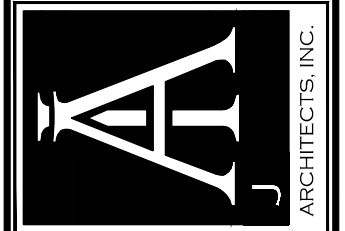
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND SECURE ARCHITECT'S APPROVAL PRIOR ORDERING WINDOWS
- ALL DIMENSION OPENINGS SHALL BE VERIFIED WITH MANUFACTURER PRIOR TO COMPLETING WORK ON THE OPENINGS.
- WINDOW CONTRACTOR SHALL OBTAIN AND PAY FOR SEPARATE PERMIT.
- WINDOW SHALL COMPLY WITH DADE COUNTY WIND AND IMPACT REQUIREMENTS. CONTRACTOR SHALL ESTIMATE DADE COUNTY APPROVED AS BASE BID AND APPROVED STANDARDSWS
- ALL WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE FBC & LOCAL ORDINANCES.
- ALL WINDOWS SHALL BE CAT II SAFETY GLASS, PER FBC R 4410.2.6.2- ANY GLAZING ADJACENT WITHIN 48 INCHES OF A DOOR IN THE CLOSED POSITION SHALL BE CAT II SAFETY GLASS, PER FBC R4410.2.4.3



Revisions	
1	08-10-2020
2	10-01-2020

WOOD-DGW, LLC
NEW BUILDING: RESTAURANT + 2 APARTMENTS
3557 N DIXIE HIGHWAY
OAKLAND PARK, FLORIDA 33334
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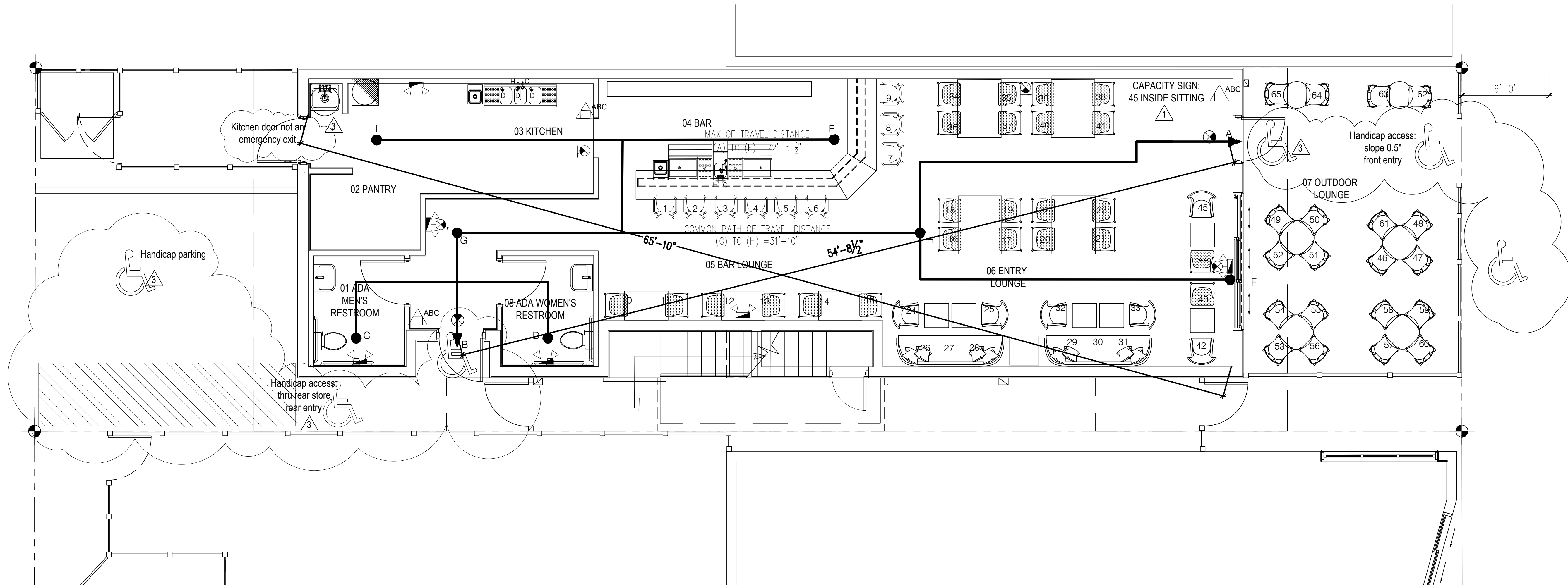


Drawn by: JCG
Job No.: 2018-22
Date: 2019-03-12
Scale: REFER TO PLAN

Seal
AR-00015344
Sheet No.

A-1.1

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1 OCCUPANCY PLAN
SCALE: 3/16"=1'-0"

LIFE SAFETY LEGEND	
SYMBOL	DESCRIPTION
	ABC TYPE PORTABLE FIRE EXTINGUISHER (WALL RECESSED CABINET)
	EXISTING ABC TYPE PORTABLE FIRE EXTINGUISHER
	EXIT DESIGNATION FIXTURE (RED EDGE LIT)
	EXIT FIXTURE (RED EDGE LIT)
	CEILING MOUNTED EMERGENCY LIGHT 90 MIN.
	WALL MOUNTED EMERGENCY LIGHT 90 MIN.
	EMERGENCY/EXIT LIGHT COMBO 90 MIN.
	FIRE ALARM STROBE (MOUNT 8" A.F.F. OR 6" BELOW CEILING)
	FIRE ALARM PULL STATION @ 48" A.F.F.
	FIRE ALARM AUDIO / VISUAL NOTIFICATION DEVICE (SPEAKER / STROBE WALL MOUNTED 6'-8" A.F.F.)
	K TYPE PORTABLE FIRE EXTINGUISHER

FIRE PROTECTION NOTES	
3.	ALL VISUAL ALARMS SHALL BE @ 80" ABOVE THE HIGHEST FLOOR LEVEL WITHIN THE SPACE OF 6" BELOW THE CEILING, WHICHEVER IS LOWER AND INTEGRATED INTO THE ALARM SYSTEM IN AREAS OF COMMON USE AND SHALL BE VISIBLE IN ALL AREAS OF THE ROOM.
4.	ALL INTERIOR WALL AND CEILING FINISHES TO BE CLASS "B" WITH A FLAME SPREAD RATING 0-25, SMOKE DEVELOPED 0-450.
5.	ALL FLOOR FINISHES TO BE CLASS II, 0.22 WATTS PER SQUARE CM OR GREATER.
6.	ONE "UL" LISTED 2A-10BC TYPE FIRE EXTINGUISHER SHALL BE INSTALLED FOR EACH 2,500 SQ. FT. OF FLOOR AREA, 75 FEET OF TRAVEL OR PART THERE-OF. TOP OF FIRE EXTINGUISHER NOT TO EXCEED 5 FT. ABOVE FLOOR. SEE FLOOR PLAN FOR LOCATION(S). VERIFY EXTINGUISHER TYPE AND LOCATION WITH FIRE MARSHAL PRIOR TO ORDERING.
7.	PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE SEALED WITH AN APPROVED FIRE CAULKING. (FLAME STOP, INC.: FLAME STOP V PUTTY CAULK).
8.	ONE-HOUR (1-HR) FIRE-RATED WALLS, DEMISING WALLS OR PARTY WALLS SHALL MEET THE REQUIREMENTS OF THE GYPSUM ASSOCIATION FILE #WP 1200; FIRE TEST: FM WP-45, 6-19-68; OSU 1-1770, 8/61.
9.	ALL FIRE RATED WALLS TO BE FIRE BLOCKED @ 8'-0" ON CENTER VERTICALLY.
10.	NO PIPE, DUCT, OR WIRE SHALL RUN THROUGH ANY STAIR OR STAIR ENCLOSURE.
11.	MUSIC FROM MUSIC STATION SHALL HAVE SHUTOFF TIED TO THE FIRE ALARM SYSTEM.
12.	MAX TRAVEL DISTANCE AS PER FPFC 2017/NFPA 101-13.6.2 = 250' FULLY SPRINKLERED BLDG.
13.	BUILDING SHALL COMPLY WITH FPFC/NFPA 1 CHAPTER 16 2017 6th EDITION.

WALKING SURFACES OF MEAN OF EGRESS NOTE	
WALK SURFACES OF THE MEAN OF EGRESS SHALL HAVE A SLIP RESISTANCE AND SECURELY ATTACHED SURFACE. AS PER F.B.C-1003.4	

EMERGENCY PLAN GENERAL NOTES:	
1.	ALL PROPOSED EXIT AND EMERGENCY LIGHTS WILL BE WIRED ON A SEPARATE CIRCUIT AND WILL BE LOCKED ON IN THE PANEL.
2.	FINAL LOCATIONS OF ALL EXIT AND EMERGENCY LIGHTS TO BE APPROVED BY FIRE DEPARTMENT.
3.	ALL ELECTRICAL WORK TO COMPLY WITH BOTH THE N.E.C. AND LOCAL MUNICIPAL CODES.

GENERAL NOTES	
• ALL FIRE EXTINGUISHERS SHALL BE RECESSED INTO WALL WHERE IT IS LOCATED. CONTRACTOR TO SUBMIT SPEC SHEET FOR APPROVAL BY ARCHITECT.	
• SEE ELECTRICAL PLANS FOR ARCHITECTURAL EMERGENCY LIGHTING.	
• ALL ACCESSIBLE DOORS WIDTH WILL BE MEASURED FROM OPEN DOOR FINISH TO JAMB DOOR STOP.	

SEATING CAPACITY	
04 BAR	9
05 BAR LOUNGE	6
06 ENTRY LOUNGE	30
07 OUTDOOR LOUNGE	20
TOTAL PROPOSED SEATING	65

DISPLAY SIGN IN A CONSPICUOUS PLACE

OCCUPANCY CALCULATIONS as per NFPA 101 - 7.3.1.2	
05 BAR LOUNGE/06 ENTRY LOUNGE: 675 S.F.@15 S.F./OCCUPANT	45
02 DISHWASHING/03 KITCHEN: 180 S.F. @ 100 S.F./OCCUPANT	1
04 BAR: 42 S.F. @ 100 S.F./OCCUPANT	1
01 ADA MEN'S RESTROOM/03 ADA WOMEN'S RESTROOM: 91 S.F. @ 100 S.F./OCCUPANT	1
07 OUTDOOR LOUNGE: 310 S.F. @ 15 S.F./OCCUPANT	20
TOTAL ALLOWED OCCUPANCY	68 OCCUPANTS

EXIT CAPACITY	
EXIT CAPACITY	
EXIT # 1	(1) 3'-0" WIDTH DOOR 34'/0.2 = 170 PERSONS
EXIT # 2	(1) 3'-0" WIDTH DOOR 34'/0.2 = 170 PERSONS
TOTAL EXIT CAPACITY = 340 PERSONS	
MAXIMUM TRAVEL DISTANCE: (NFPA 101-13.2.6) ASSEMBLY MAX. TRAVEL DISTANCE (FULLY SPRINKLERED) 250 FT. ACTUAL MAX. TRAVEL DISTANCE (TRAVEL DISTANCE (A) TO (J)) 128'-2"	
NOTES: *ALL EXIT DOORS TO BE EITHER 90 MIN. B-LABEL OR 4 HR. A-LABEL FIRE-RATED DOORS WITH PANIC HARDWARE (TO OPEN @ 15 PSF PUSH FORCE, TYPICAL) AND SELF-CLOSING DEVICES *ALL EXIT DOORS TO SWING IN THE DIRECTION OF EXIT TRAVEL.	

TOTAL PROPOSED OCCUPANCY	
ALLOWED OCCUPANCY	(2) 3'-0" DOOR - 34'/0.2 = 340 PERSONS TOTAL DOOR/STAIR EXIT CAPACITY = 333 AS PER NFPA 101-13.2.6.2
SEATING (45+20) = 65 OCCUPANTS OCCUPANCY LOAD = 68 PERSONS	
125 TOTAL OCCUPANTS<340 TOTAL ALLOWED	

COMMON PATH OF TRAVEL COMPLIANCE	
AS PER FBC 1015.2.1 COMMON PATH FROM (G) TO (H) = 22'-8 1/2" ACCORDING TO (TABLE A.7.6) NFPA 101 7.6 MAXIMUM COMMON PATH OF TRAVEL = 75'-0"	
"OK"	
EXIT DOOR DISTANCE COMPLIANCE	
AS PER FBC 1015.2.1 MAX. OVERALL DIAGONAL DIMENSION OF AREA SERVED = 61'-0" DISTANCE BETWEEN EXITS = 50'-11 1/2" 1/2 OF OVERALL DIAGONAL DIMENSION = 20'-3" < 50'-11 1/2" "OK"	

TRAVEL DISTANCES	
MAX. TRAVEL DISTANCE , TRAVEL DISTANCE (A) TO (E) 72'-5 1/2" MINIMUM WIDTH AT COMMON PATH OF TRAVEL AND TRAVEL DISTANCE 3'-0"	

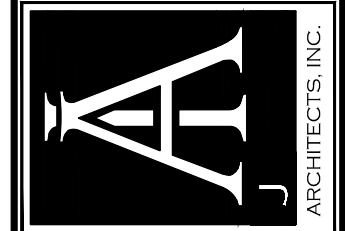
OCCUPANCY LOAD SIGN POSTED NOTE	
EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT. <small>NOTE TO COMPLY WITH: SECTION 1004.3 OF F.B.C 6TH EDITION</small>	

Revisions	
1	08-10-2020
2	10-01-2020
3	11-12-2020

WOOD-DGW,LLC
NEW BUILDING: RESTAURANT + 2 APARTMENTS
3557 N DIXIE HIGHWAY
OAKLAND PARK, FLORIDA 33334
PH: 954 214-7574

J.C.D. ARCHITECT INC
JUAN C. DAVID R.A.
LEED ACCREDITED PROFESSIONAL
Design by: J.C. GUERRERO

Architecture Interiors Planning Construction

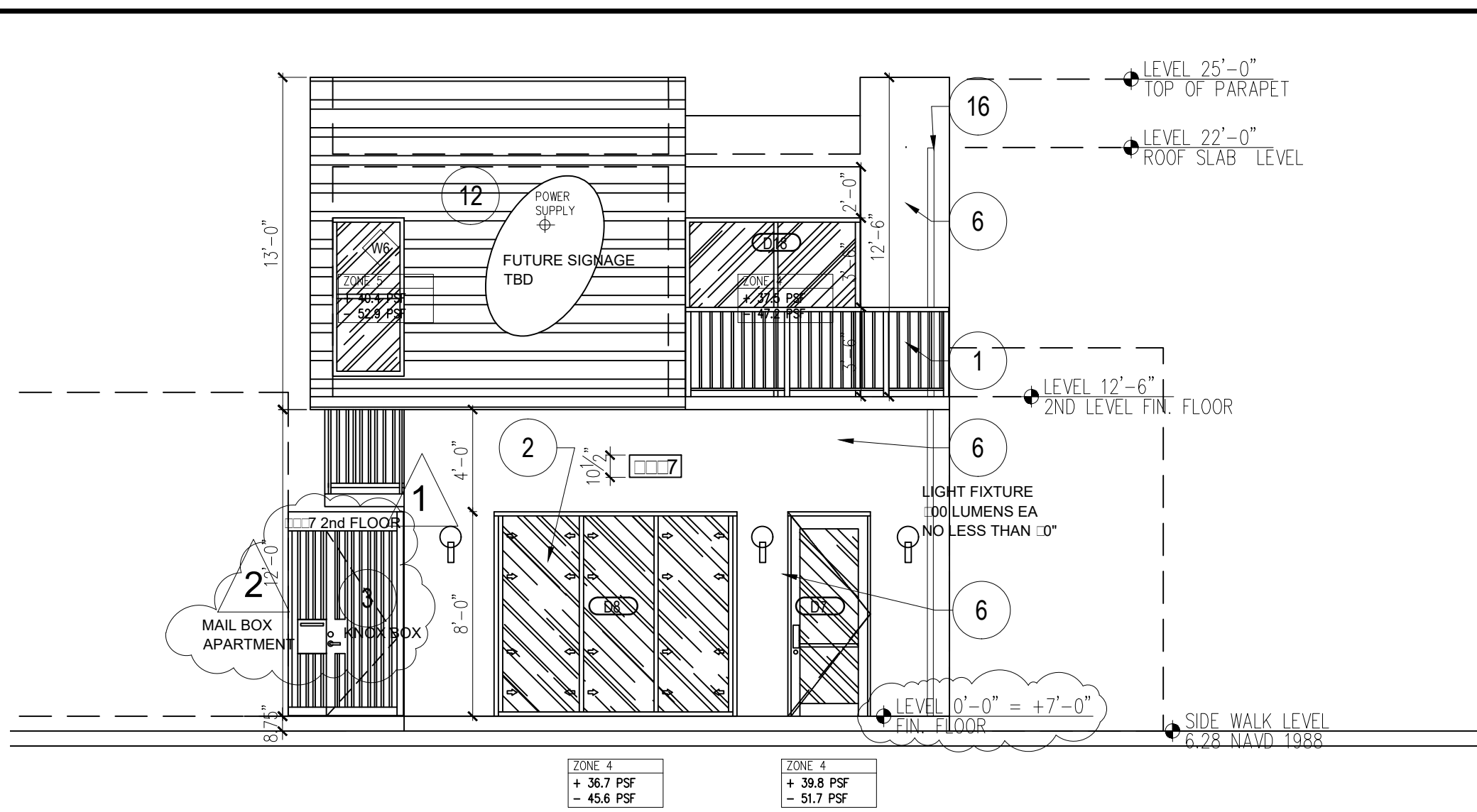


Drawn by:	JCG
Job No.:	2018-22
Date:	2019-03-12
Scale:	REFER TO PLAN

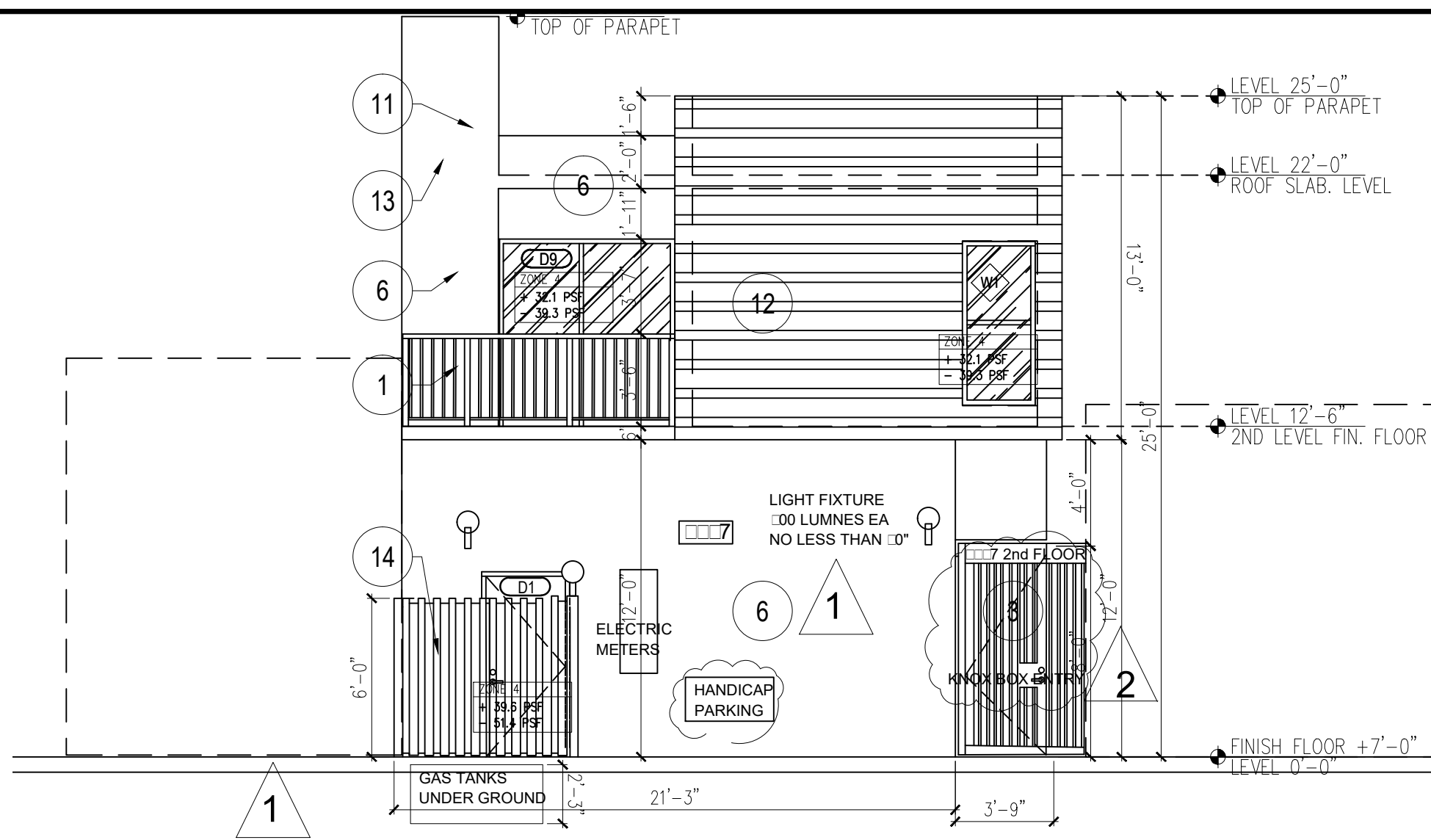
Seal
AR-00015344
Sheet No.

A-4.1

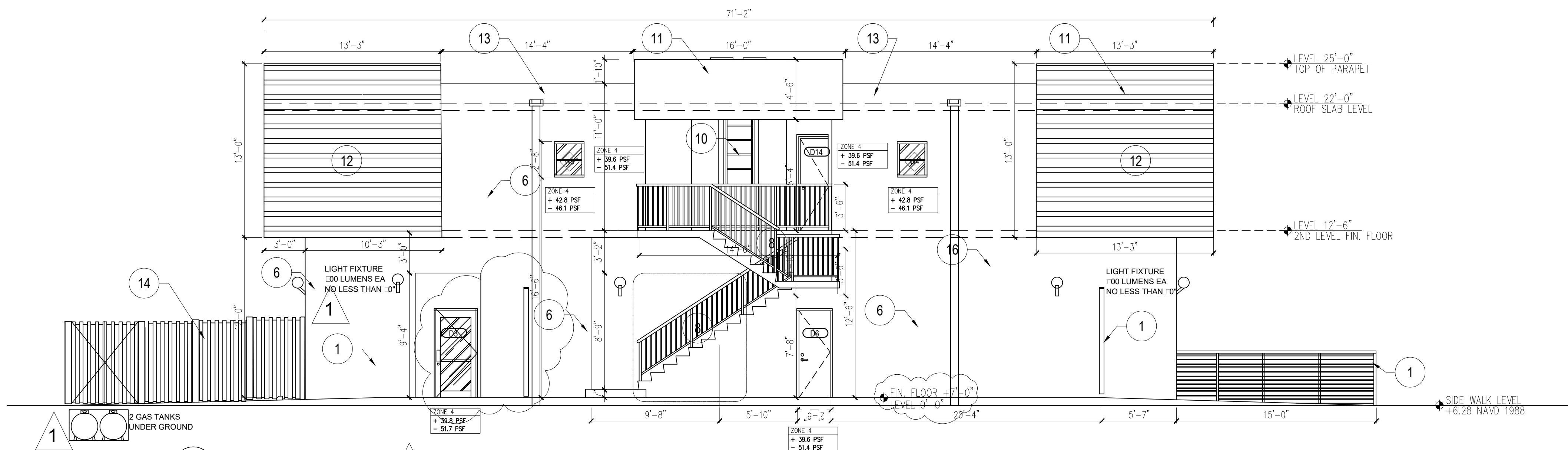
Designs are subject to modification or change as required by actual measurements, standard industry practices in light of existing structural and other conditions, applicable bldg. codes, and the law. These plans are and shall remain the property of Mr.David and shall not be sold or reproduced without its prior written consent. Mr.David shall be notified of any changes req'd by actual measurements, etc. as addressed prior to submission of any phase for bid or construction.



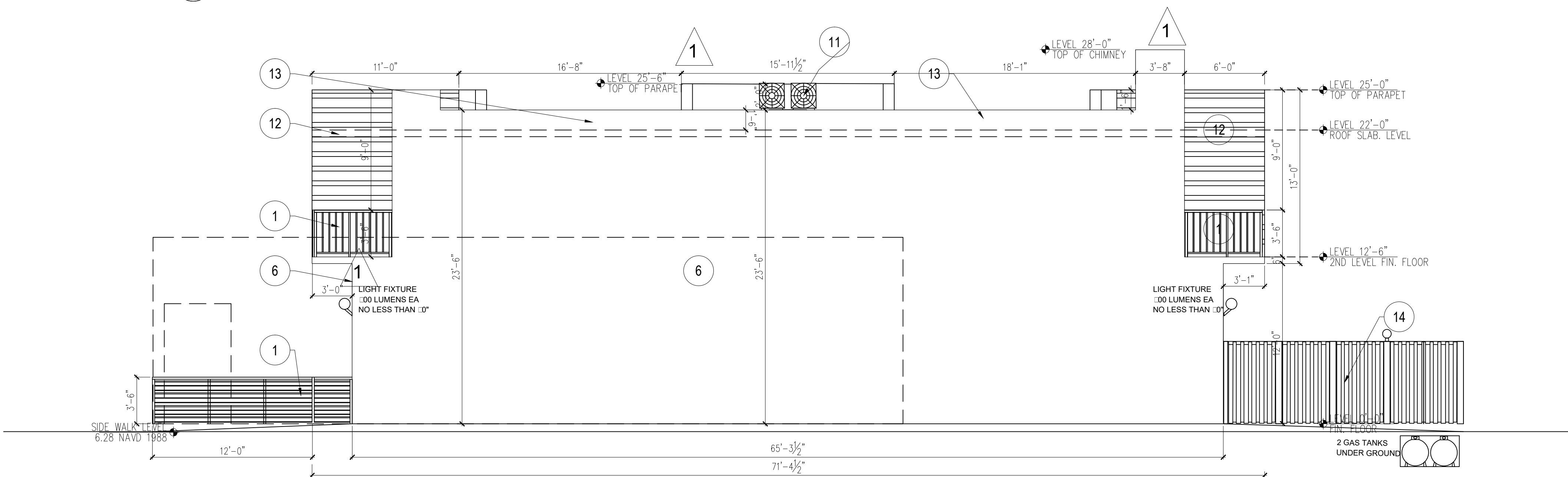
1 EAST ELEVATION
SCALE: 3/16"=1'-0"



2 WEST ELEVATION
SCALE: 3/16"=1'-0"



3 SOUTH ELEVATION
SCALE: 3/16"=1'-0"



4 NORTH ELEVATION
SCALE: 3/16"=1'-0"

PROPOSED NOTES:

1. ALUMINUM GUARDRAIL
2. SLIDING IMPACT RESISTANT WINDOW
- KEY ACCESS ALUMINUM GATE DOOR
- ADA COUNTERTOP
- ALTERNATE EGRESS DOOR
- STUCCO FINISH PAINTED
- DRYWALL PAINTED
- APARTMENT STAIRWELL
- IMPACT RESISTANT DOOR
- ACCESS LADDER TO ROOF W/LOCK
- CONCRETE PARAPET
- FIBER CEMENT PANEL FINISH
- SCUPPER AND DOWNSPOUT
- 4'-0" WOOD FENCE AND GATE
- ROOF FINISH W/MIN SLOPE
- ROOF DRAIN
- DROPPED CEILING
- CMU to be finished by Tenant
- PERMEABLE TURF BLOCK

GENERAL NOTES:

- DIMENSIONS SHOWN ARE NOMINAL. ACTUAL DIMENSIONS MAY VARY
- ANY CUTTING OF EXISTING DEMISING PARTITIONS SHALL BE PATCHED TO RESTORE FIRE RATING.
- ALL CONCRETE PATCHING MUST BE LEVEL WITH THE EXISTING CONCRETE FLOOR.
- INSIDE FINISH FLOOR ELEVATION:
+0'-0" (G.C. TO FIELD VERIFY)
- ALL INTERIOR FINISH MATERIALS SHALL COMPLY WITH WITH NFPA 10.2

Revisions	
1	08-10-2020
2	10-01-2020
1	11-12-2020

WOOD-DGW, LLC
NEW BUILDING: RESTAURANT + 2 APARTMENTS
3557 N DIXIE HIGHWAY
OAKLAND PARK, FLORIDA 33334
PH: 954 214-7574

J.C.D. ARCHITECT INC
JUAN C. DAVID R.A.
LEED ACCREDITED PROFESSIONAL
Design by: J.C. GUERRERO
Architecture Interiors Planning Construction
1481 Coral Way, Suite 407 Miami, Florida 33134 Phone: 654 779-3425 Fax: 654 779-3425



Drawn by: JCG
Job No.: 2018-22
Date: 2019-03-12
Scale: REFER TO PLAN

Seal
AR-00015344
Sheet No.

A-6.0

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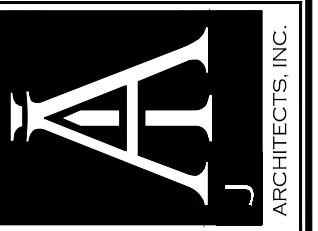


- 1 • ALL INTERIOR FINISH MATERIALS SHALL COMPLY WITH WITH NFPA 10.2
• STRUCTURAL ASPECTS ARE FOR GUIDANCE ONLY. REFER TO STRUCUTRAL PLANS ATTACHED

WOOD-DGW, LLC
NEW BUILDING: RESTAURANT + 2 APARTMENTS
3557 N DIXIE HIGHWAY
OAKLAND PARK, FLORIDA 33334
PH: 954. 214-7574

J.C.D. ARCHITECT INC
JUAN C. DAVID R.A.
LEED ACCREDITED PROFESSIONAL
Design by: J.C. GUERRERO

Architecture	Interiors	Planning	Construction
05E Costa Way, Suite 407 San Jose, CA 95128 Phone: (408) 771-2025 Fax: (408) 771-2026 E-mail: jcd@jcdai.com			



Seal
AR-00015344
Sheet No.

A-7.0

Designs are subject to modification or change as required by actual measurements, standard industry practices in light of existing structural and other conditions, applicable bldg. codes, and the like. These plans are and shall remain the property of McDavid and shall not be sold or reproduced without its prior written consent. McDavid shall be notified of any changes req'd by actual measurements, etc. as aforesaid prior to submission of any phase for bid or construction.

The background of the entire advertisement is a photograph of a park pavilion. The pavilion has a dark metal frame and a roof made of wooden slats. Underneath the pavilion, there are several picnic tables and benches. The ground is paved with light-colored, rectangular permeable interlocking concrete pavers (PICP's) arranged in a herringbone pattern. In the background, there are trees and a fence.

CALSTONE

Because Quality Matters

Permeable Pavers

Permeable Interlocking Concrete Pavements (PICP's)

- CBC Title 24/ADA Compliant
- LEED Functional
- Optimum balance of surface infiltration and joint interlock
- Available in a 6 x 9 Quarry Stone that provides a natural look
- Available in a 4 x 8 that's perfect for architectural applications
- Easily integrated with our standard paving stone lines

calstone.com

Why PICP is right for our environment...



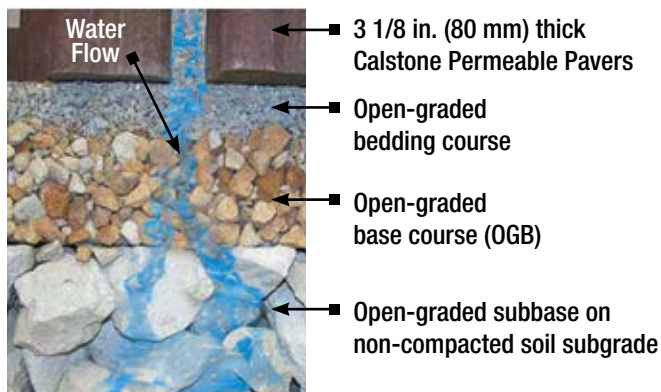
THE PROBLEM

Urbanization has increased excess storm water runoff from impervious surfaces. Impervious surfaces prevent ground water from being recharged and decrease the availability of drinking water in many communities. Increased runoff causes stream bank erosion and results in additional pollutants being transported to reservoirs, lakes, and oceans.

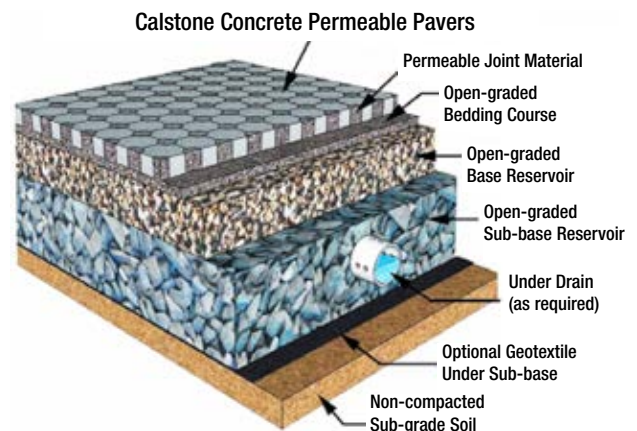
THE SOLUTION

Permeable interlocking concrete pavements are typically built on an open-graded, crushed stone base. The base offers infiltration and partial treatment of stormwater pollution and therefore, can be categorized as a structural BMP (Best Management Practice). Infiltration of rainfall helps maintain the balance of water in the soil, groundwater, and streams, thus supporting the water cycle. Besides reducing runoff, a certain degree of treatment occurs to the various pollutants in the water.

If the infiltration capacity of the soil is exceeded, or there are particularly high levels of pollutants, the pavement base can be designed to filter, partially treat, cool, and slowly release water into a storm sewer or water course. When conditions allow, channeling rainfall to the natural aquifer through infiltration is possible.



Permeable interlocking concrete pavement (PICP) with open-graded base and subbase for infiltration and storage.



Typical cross (PICP) cross section

BENEFITS OF PERMEABLE PAVING STONES

- Improved water quality
- Reduced construction costs of drainage system
- Reduces storm water runoff and flooding
- Preserves our stream beds and river banks
- Can sustain heavy loading
- Increases storm water storage
- Promotes groundwater recharge
- Can be mechanically installed
- Allows water infiltration to tree roots
- Increased lot usage

APPLICATIONS

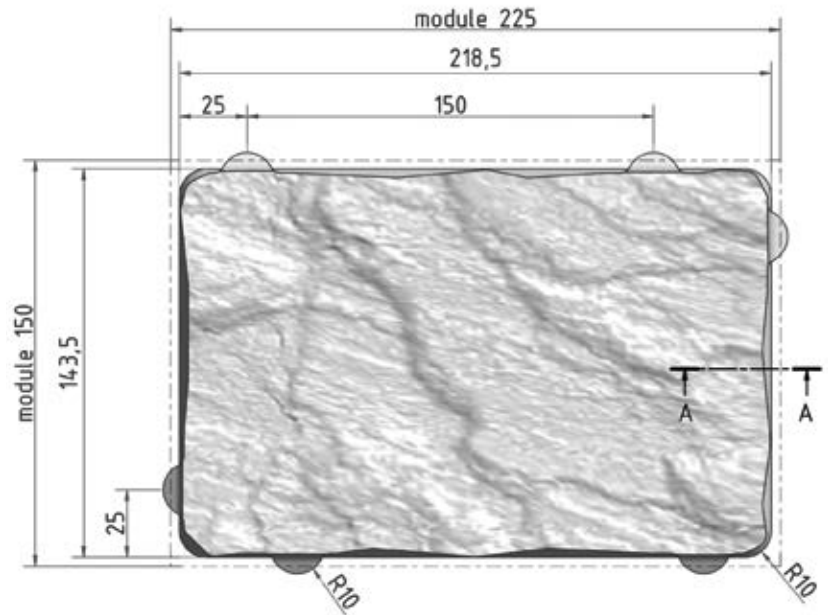
- Commercial & residential driveways
- Public parking lots
- Emergency vehicles access lanes
- Pedestrian paths
- Commercial entrances
- Plazas

The unique design of the pavers include a spacing gap that is filled with crushed stone joint material that provides very high infiltration rates to handle severe weather.



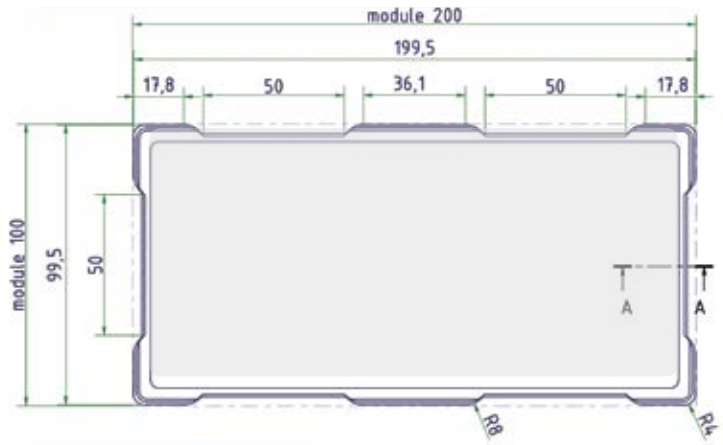
6 x 9 Quarry Stone Specifications

- 76 square feet per pallet
- 210 stones per pallet
- 5.91" x 8.86" Coverage Area
- 80 millimeter height
- 2.75 stones per square foot
- 6.0% open area
- Joint material should be stone size # 89 or # 9 and conform to ASTM D448
- 30 inches per hour initial infiltration rate

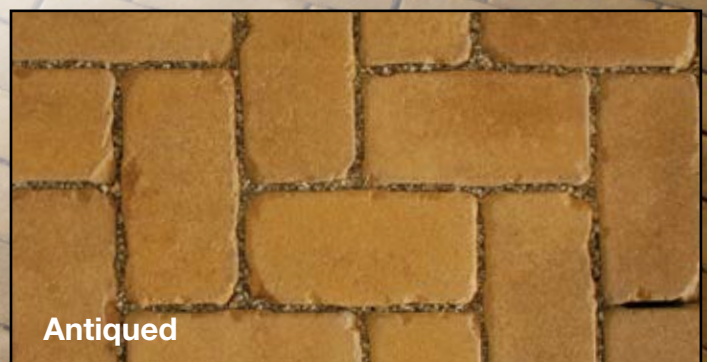
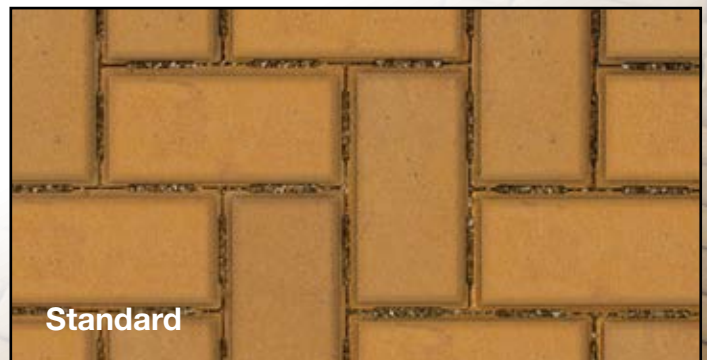


4 x 8 Product Specifications

- 88 square feet per pallet
- 400 full stones / 24 half stones per pallet
- 3.94" x 7.87" Coverage Area
- 80 millimeter height
- 4.7 stones per square foot
- 5.8% open area
- Joint material should be stone size #89 or #9 and conform to ASTM D448
- 30 inches per hour initial infiltration rate

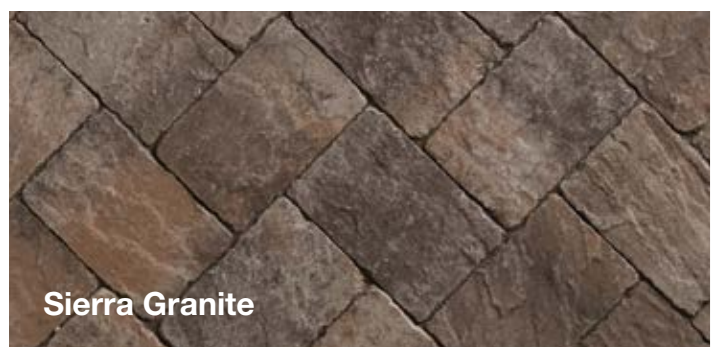
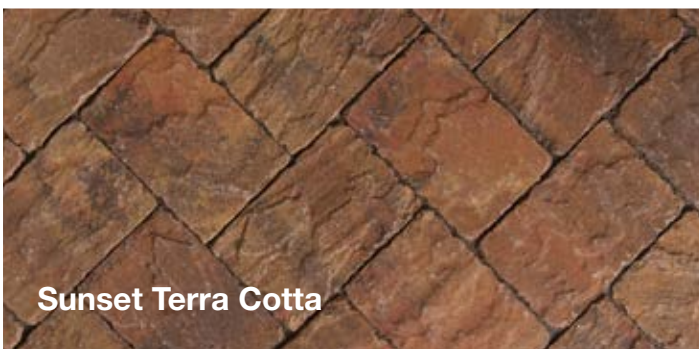
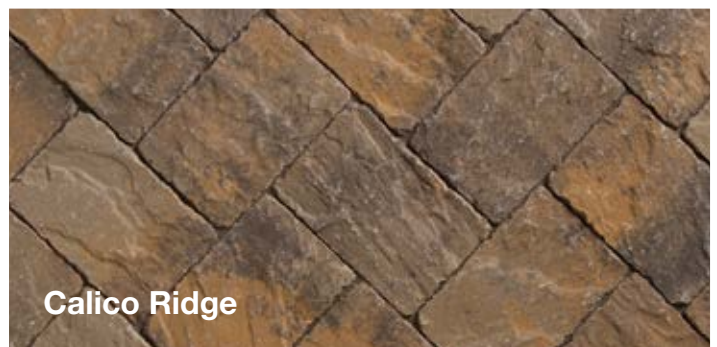
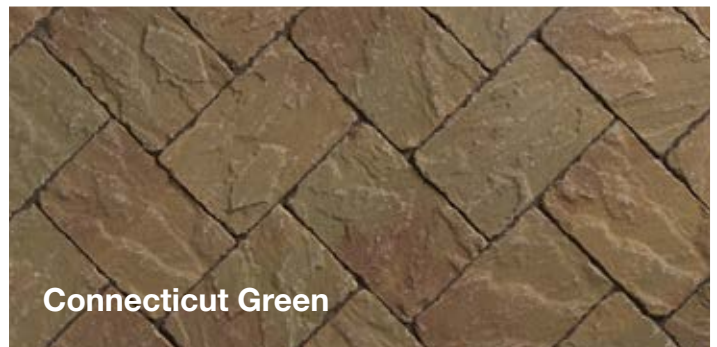


The 4x8 permeable paving stone can be manufactured in any of our Quarry Stone colors, (as shown on the next page), or our Classic Cobble colors, which can be viewed at calstone.com in the Paving Stone section.



Color Selection Guide

From a natural stone origin, using up to six blended colors, we created eight distinctively blended choices. *Permeable Pavers* come in all the Quarry Stone colors shown on this page.



Where Calstone Concrete Pavers Can Help Your Project Achieve LEED Credits:

LEED Credit	LEED Intent	How Calstone Pavers Contributes
Sustainable Sites (SS) 6.1 - Storm Water Design Quantity Control 1 Point	Limit disruption of natural water hydrology by reducing impervious cover, increasing on-site infiltration, and managing stormwater runoff.	Permeable Interlocking Concrete Pavement (PICP) captures and treats stormwater beneath the pavement. Captured stormwater can be infiltrated to ground water, released at a controlled rate to a storm drain, or harvested for use in any of 5 water efficiency credits.
Sustainable Sites (SS) 6.2 - Storm Water Design Quantity Control 1 Point	Reduce or eliminate water pollution by reducing impervious cover, increasing on-site infiltration, eliminating sources of contaminants, and removing pollutants from stormwater runoff.	PICP systems can be designed to infiltrate all stormwater on site. Water that is infiltrated on site is considered 100% treated. All PICP's reduce the Total Suspended Solids (TSS) in captured water.
Sustainable Sites (SS) 7.1 - Heat Island Effect 1 Point 50% 2 Points 100% (ID)	Reduce heat islands (thermal gradient differences between developed and undeveloped areas) to minimize impact on microclimate and human and wildlife habitat.	Calstone offers high albedo colors that reduce heat absorption. Lighter colored pavements aid in improving night time visibility and reduce site lighting requirements.
Materials and Resources (MR) 2.1 and 2.2 - Construction Waste Management 1 Point 50% 2 Points 75% 3 Points 95% (ID)	Divert construction and demolition debris from disposal in landfills. Redirect recyclable recovered resources back to the manufacturing process.	100% of the materials used in a PICP system are recyclable, and 100% of Calstone packaging materials are recyclable. All shipping pallets, excess paving stones, cut & scrap stones, and base & bedding materials, can be returned directly to Calstone for on-site recycling.
Materials and Resources (MR) 3.1 and 3.2 - Materials Reuse 1 Point 5% 2 Points 10% 3 Points 15% (ID)	Reuse building materials in order to reduce demand for virgin materials and to reduce waste, thereby reducing impacts associated with the extraction and processing of virgin resources.	Paving stones, and most of the components in a PICP system, are completely reusable. A PICP can be removed and replaced in the original or new layout with little to no additional material required.
Materials and Resources (MR) 4.1 and 4.2 - Recycled Content 1 Point 10% 2 Points 20% 3 Points 30% (ID)	Increase demand for building products that incorporate recycled content materials, thereby reducing impacts resulting from extraction and processing of virgin materials.	Calstone is constantly active in research and development of mix designs using recycled materials. Special high recycled content custom mix designs are available. Many of these designs offer additional performance advantages.
Materials and Resources (MR) 5.1 and 5.2 - Regional Materials 1 Point 10% 2 Points 20% 3 Points 40% (ID)	Increase demand for building materials and products that are extracted and manufactured within the region, thereby supporting the use of indigenous resources and reducing the environmental impacts resulting from transportation.	All Calstone manufacturing facilities service the same area within a 500 mile radius. Over 99% of the materials used in our paving stones are sourced within a 500 mile radius.
Innovation in Design (ID) 1.1 - 1.4	To provide design teams and projects the opportunity to be awarded points for exceptional performance.	Additional points as noted above for exemplary performance SS 7.1, MR 2.2, 3.2, 4.2, and 5.2

INSTALLATION

For Design, Construction, and Maintenance please refer to: ICPI - Permeable Interlocking Concrete Pavements *by David R. Smith.*

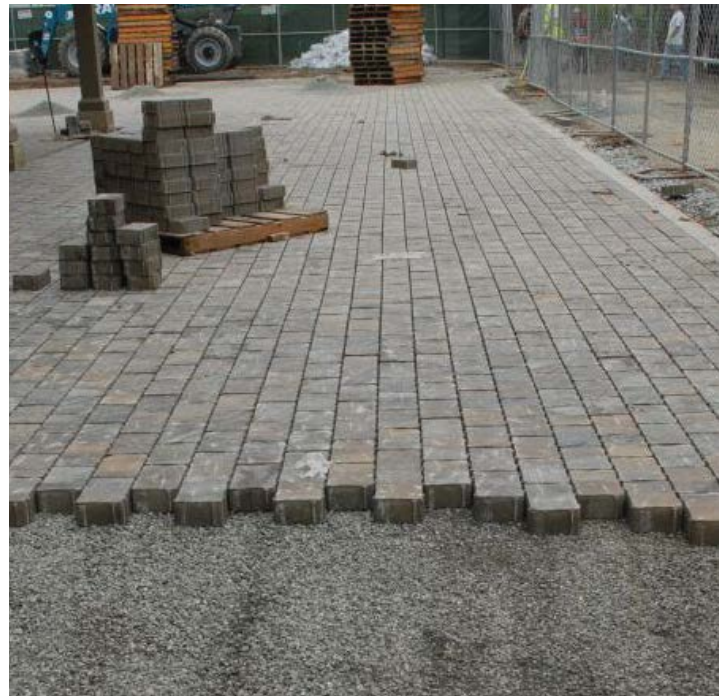
Installation drawings are available at **www.icpi.org** in the publications section.



For a complete set of specifications go to **www.calstone.com** under specifications in the paving stone section.

Technical Guidelines

- Pavers conform to ASTM C936
- Construction aggregates must conform to ASTM D448
- Joint filling stone gradation: ASTM # 89 or 9
- Base gradation: ASTM # 57
- Subbase gradation: ASTM # 2, 3 or 4 (railroad ballast)
- Soil subgrade: classified per ASTM D2487; tested for permeability per ASTM D3385
- Structural design: ICPI design chart determines minimum base thickness to support pedestrian and vehicular traffic



CALSTONE

Manufacturing Service Centers:

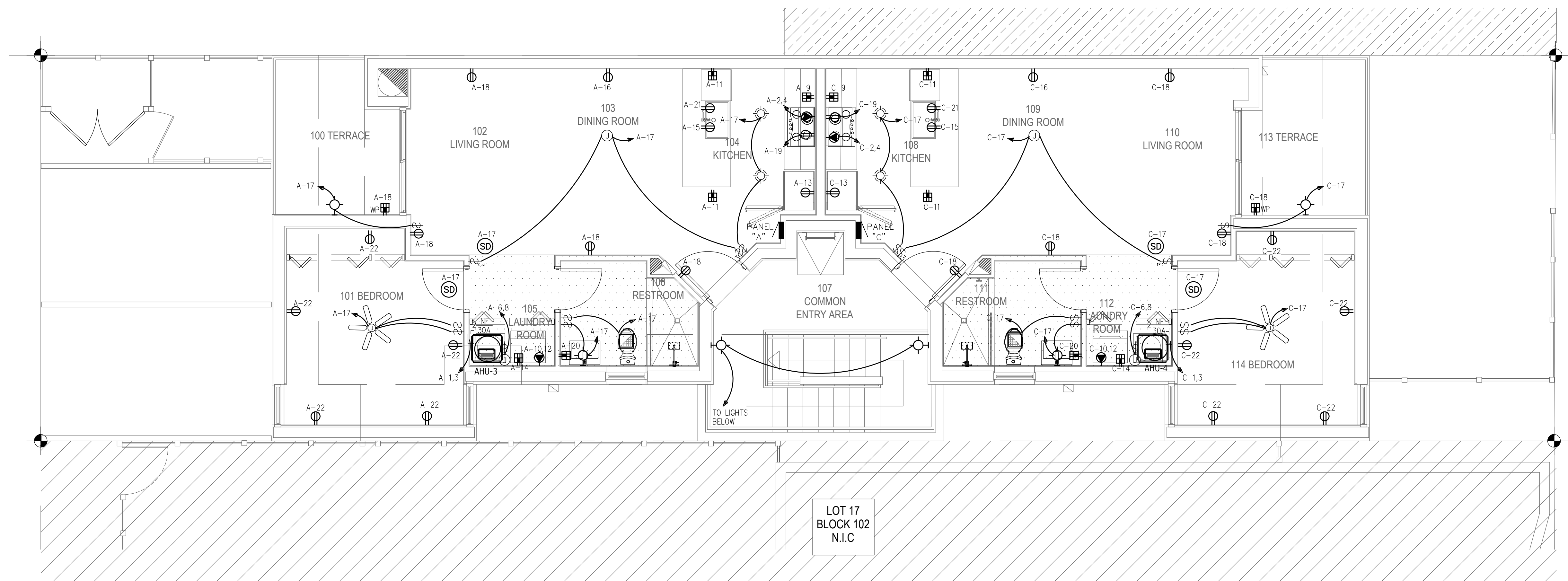
San Martin - phone (408) 686-9627
13775 Llagas Ave. San Martin, CA 95046

Sunnyvale - phone (408) 984-8800
1155 Aster Ave. Sunnyvale, CA 94086

Galt - phone (209) 745-2981
421 Crystal Way, Galt, CA 95632

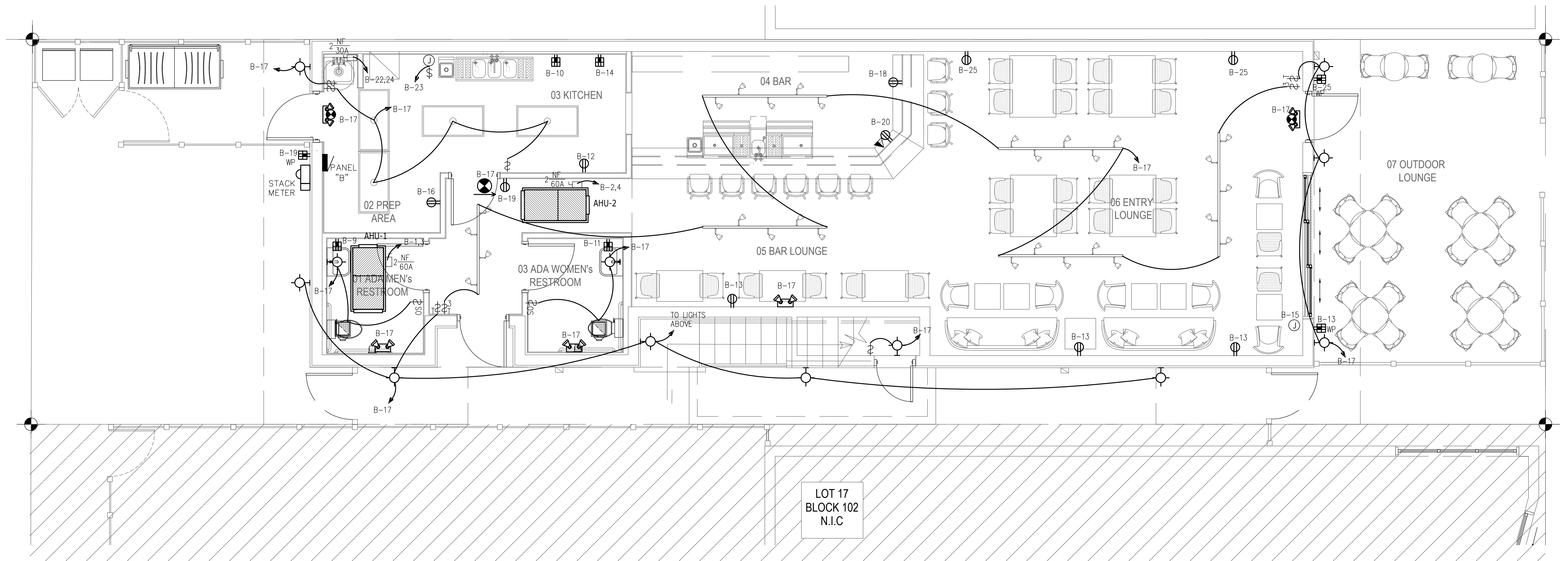
Tracy - phone (209) 833-7366
426 East Grant Line Road, Tracy, CA 95376

calstone.com



ELECTRICAL SECOND FLOOR PLAN

scale: 1/4" = 1'-0"



ELECTRICAL GROUND FLOOR PLAN

scale: 1/4" = 1'-0"



5130 N. Federal Hwy, Suite 1
Ft. Lauderdale, FL 33308
P: (954) 461-4314
bach@bachengineers.com
CA#28826
Viet Bach Nguyen, P.E.
Florida License #69753

Date: _____

Revisions

WOOD-DWG, LLC
NEW BAR-RESTAURANT + 2 APARTMENTS
3557 N DIXIE HIGHWAY
OAKLAND PARK, FLORIDA 33334
PH: 954214 7574

J.C.D. ARCHITECT INC
JUAN C. DAVID R.A.
LEED ACCREDITED PROFESSIONAL
Design by: J.C. GUERRERO



Drawn by: -
Job No.: -
Date: 2020-01-27
Scale: REFER TO PLAN

Seal

Sheet No.

E-1

Designs are subject to modification or change as required by actual measurements, standard industry practices in light of existing structural and other conditions, applicable building codes, and the like. These plans are and shall remain the property of J.C.D. Architect and shall not be sold or reproduced without the prior written consent. Mr. David shall be notified of any changes required by actual measurements, etc. as discussed prior to submission of any phase for bid or construction.

PANEL SCHEDULE "A"

Rated Voltage:240Y/120V

Rated Amps: (Cu bus)125A

Main:MLO

1PH,3W

SPACES:30

Manufacturer: SQUARE D QO OR EQUAL

Location: APARTMENT KITCHEN

Project No:

Mounting: FLUSH

Type: NEMA 1

A.I.C. Rating: 10K

KVA

KVA

NOTES	CIRCUIT DESIGNATION	O.C.P.	AWGNMS	APPL	OTHER	HVAC	LGT/REC	LINE	APPL	OTHER	HVAC	LGT/REC	AWGNMS	O.C.P.	CIRCUIT DESIGNATION		NOTES	
	1AHU-3	25/2	#10			1.80	1	4.00					#6	50/2	RANGE	2		
	3					1.80	2	4.00								4		
3	5CU-3	15/2	#14				1	2.25					#10	30/2	WATER HEATER	6		
	7						2	2.25								8		
	9KITCHEN SMALL APPLIANCE	20/1	#12	1.50			1	2.50					#10	30/2	DRYER	10		
	11KITCHEN SMALL APPLIANCE	20/1	#12	1.50			2	2.50								12		
8	13REFRIGERATOR	20/1	#12	1.20			1	1.20					#12	20/1	WASHER	14	8	
8	15DISPOSAL	20/1	#12	1.20			2						#12	20/1	DINING ROOM RECEPT.	16	2,8	
2,8	17LIGHTING	15/1	#14			0.80	1						#14	15/1	LIVING ROOM RECEPT.	18	2,8	
8	19MICROWAVE	20/1	#12	1.50			2						#12	20/1	RESTROOM RECEPT.	20	2	
8	21DISHWASHER	20/1	#12	1.20			1						#14	15/1	BEDROOM RECEPT.	22	2,8	
	23SPACE						2								SPACE	24		
	25SPACE						1								SPACE	26		
	27SPACE						2								SPACE	28		
	29SPACE						1								SPACE	30		
SUBTOTAL CONNECTED LOAD:				8.1	0.0	3.6	0.8	18.7	0.0	0.0	0.0	SUBTOTAL CONNECTED LOAD						
Apartment Area in Sq. Ft. = 570.0								A/C Load @100%				3.6	note 1	HCAR Breaker				
Total less A/C= 29.31								Appliance Load @ 100%:				26.8	note 2	Receptacle @ 3W/Sq.Ft.				
1st 10K Watts @ 100%= 10.00								Connected Additional Lighting/Receptacle Load @100%:				0.8	note 3	Non-Concurrent Load (A/C)				
Remainder @ 40%= 7.72								Other Load @100%:				0.0	note 4	G.F.C.I./Arch Fault type circuit breaker				
A/C @100%= 3.60								Receptacles @ 3W/Ft.:				1.7	note 5	Lockable circuit breaker				
TOTAL COMPUTED KVA= 21.3								TOTAL CONNECTED LOAD:				33	KVA	note 6	time switch controlled			
TOTAL COMPUTED AMPS= 89														note 7	Verify C/B size with Equipmt. Name plate			
														note 8	Arch Fault Circuit Interrupter			

NOTE: DEMAND LOAD AS PER NEC 2014 220.82

PANEL SCHEDULE "C"

Rated Voltage:

240Y/120V

Rated Amps: (Cu bus)

125A

Main:

MLO

1PH,3W

SPACES: 30

Manufacturer: SQUARE D QO OR EQUAL

Location: APARTMENT KITCHEN

Project No:

Mounting: FLUSH

Type: NEMA 1

A.I.C. Rating: 10K

1

AHU-4

25/2

#10

1.80

1

4.00

#6

50/2

RANGE

2

3

1.80

2

4.00

3

5

CU-4

15/2

#14

1

2.25

#10

30/2

WATER HEATER

6

7

2

2.25

9

KITCHEN SMALL APPLIANCE

20/1

#12

1.50

1

2.50

#10

30/2

DRYER

10

11

KITCHEN SMALL APPLIANCE

20/1

#12

1.50

2

2.50

8

13

REFRIGERATOR

20/1

#12

1.20

1

1.20

#12

20/1

WASHER

14

8

8

15

DISPOSAL

20/1

#12

1.20

2

#12

20/1

DINING ROOM RECEPT.

16

2,8

2,8

17

LIGHTING

15/1

#14

0.80

1

#14

15/1

LIVING ROOM RECEPT.

18

2,8

8

19

MICROWAVE

20/1

#12

1.50

2

#12

20/1

RESTROOM RECEPT.

20

2

8

21

DISHWASHER

20/1

#12

1.20

1

#14

15/1

BEDROOM RECEPT.

22

2,8

23

SPACE

2

25

SPACE

1

27

SPACE

2

29

SPACE

1

SUBTOTAL CONNECTED LOAD:

8.1

0.0

3.6

0.8

18.7

0.0

0.0

0.0

: SUBTOTAL CONNECTED LOAD

Apartment Area in Sq. Ft. = 570.0

Total less A/C= 29.31

1st 10K Watts @ 100%= 10.00

Remainder @ 40%= 7.72

A/C @100%= 3.60

TOTAL COMPUTED KVA= 21.3

TOTAL COMPUTED AMPS= 89

A/C Load @100% 3.6

Appliance Load @ 100%: 26.8

Connected Additional Lighting/Receptacle Load @ 100%: 0.0

Other Load @ 100%: 0.8

Receptacles @ 3W/1Ft.: 1.7

TOTAL CONNECTED LOAD: 33

KVA

note 1 H/CAR Breaker

note 2 Receptacle @ 3W/Sq.Ft.

note 3 Non-Concurrent Load (A/C)

note 4 G.F.C.I./Arch Fault type circuit breaker

note 5 Lockable circuit breaker

note 6 time switch controlled

note 7 Verify C/B size with Equipmt. Name plate

note 8 Arch Fault Circuit Interrupter

NOTE: DEMAND LOAD AS PER NEC 2014 220.82

PANEL SCHEDULE

Rated Voltage:

Rated Amps: (Cu bus)

Main:

"B"

120/240V

250A

MLO

NEW

1PH, 3W

SPACES:

42

Manufacturer:

Location:

Project No:

SQUARE D QO OR EQUAL

RESTAURANT HALL WAY

Mounting:

FLUSH

Type:

NEMA 1

A.I.C:

10K

KVA																KVA															
NOTE		CIRCUIT DESIGNATION	O.C.P.	AWG	MAX. DIST.(ft)	VOLT DROP	RCPT	LTG/CONT	KITCHEN	MOTOR/APP	PH	RCPT	LTG/CONT	KITCHEN	MOTOR/APP	MAX. DIST.(ft)	VOLT DROP	AWG	O.C.P.	CIRCUIT DESIGNATION		NOTE									
	1	AHU-1	60/2	6	140	3%				3.60	1				3.60	140	3%	6	60/2	AHU-2	2										
	3			6	140	3%				3.60	2				3.60	140	3%	6			4										
	5	CU-1	50/2	6		3%					1						3%	6	50/2	CU-2	6										
	7			6		3%					2						3%	6			8										
	9	MENS RESTROOM RECEPT.	20/1	12	110	3%	1.20				1				1.00	132	3%	12	20/1	FUTURE ICE MACHINE	10										
	11	WOMENS RESTROOM RECEPT.	20/1	12	110	3%	1.20				2				0.60	219	3%	12	20/1	FUTURE REFRIGERATOR	12										
	13	ENTRY LOUNGE RECEPT.	20/1	12	110	3%	1.20				1				0.60	219	3%	12	20/1	FUTURE FREEZER	14										
	15	ENTRY LOUNGE EQUIPMENTS	20/1	12	165	3%				0.80	2				0.60	219	3%	12	20/1	FUTURE FREEZER	16										
	17	LIGHTING	20/1	12	132	3%		1.00			1				0.30	439	3%	12	20/1	BAR COOLER	18										
	19	HALL WAY RECEPT.	20/1	12	110	3%	1.20				2	0.80				165	3%	12	20/1	POS	20										
	21	ROOFTOP RECEPT.	20/1	12	110	3%	1.20				1				2.25	96	3%	10	30/2	WATER HEATER	22										
	23	FUTURE DISHWASHER	20/1	12	110	3%				1.20	2				2.25	96	3%	10			24										
	25	ENTRY LOUNGE RECEPT.	20/1	12	110	3%	1.20				1									SPACE	26										
	27	SPACE									2									SPACE	28										
	29	SPACE									1									SPACE	30										
	31	SPACE									2									SPACE	32										
	33	SPACE									1									SPACE	34										
	35	SPACE									2									SPACE	36										
	37	SPACE									1									SPACE	38										
	39	SPACE									2									SPACE	40										
	41	SPACE									1									SPACE	42										
SUBTOTAL CONNECTED LOAD:						7.2	1.0	0.0	9.2		0.8	0.0	0.0	14.8			SUBTOTAL CONNECTED LOAD														

RECEPT. CONNECTED LOAD:

8.0

CONTINUOUS & LARGEST MOTOR @ 25%:

CONNECTED MOTOR LOADS @ 75%:

CONNECTED LIGHTING LOAD @100%:

CONNECTED KITCHEN LOADS @ 65%:

RECEPTACLE COMPUTED LOAD:

TOTAL COMPUTED LOAD

0.3

18.0

1.0

0.0

8.0

27.3 KVA

113.5 AMPS

SEE NOTES AS APPLICABLE:

Note 1: Verify max. O.C.P.D. with nameplate.

Note 2: Lockable circuit breaker.

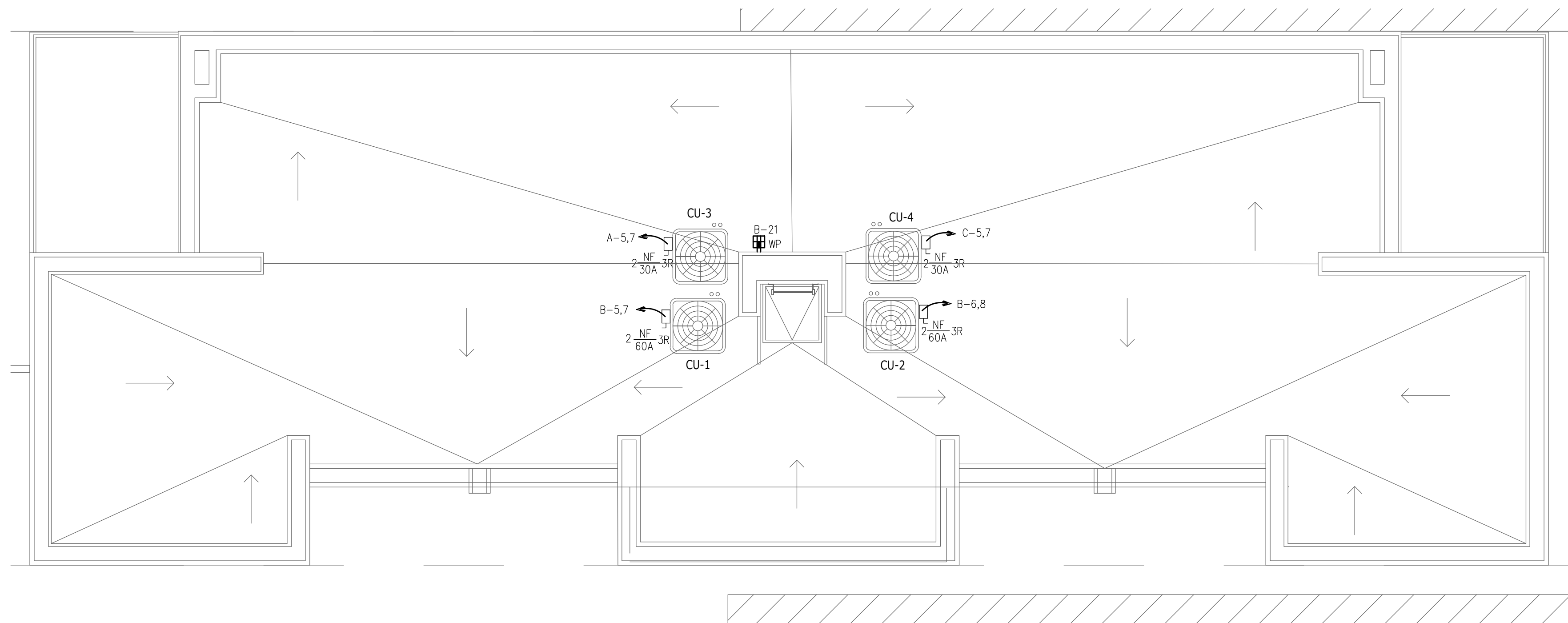
Note 3: Shunt trip C.B.

Note 4: G.F.C.I. type circuit breaker.

Note 5: Haer C.B.

Note 6: Non concurrent load.

Note 7: Run though lighting relay panel.



ELECTRICAL ROOF PLAN

scale: 1/4" = 1'-0"

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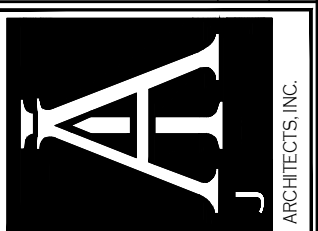
Viet Bach Nguyen, P.E.
Florida License #69753

Date: _____

Revisions

WOOD-DWG, LLC
NEW BAR-RESTAURANT + 2 APARTMENTS
3557 N DIXIE HIGHWAY
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PH: 954214 7574

J.C.D. ARCHITECT INC
JUAN C. DAVID R.A.
LEED ACCREDITED PROFESSIONAL



Drawn by:

Job No.:

Date: 2020-01-27

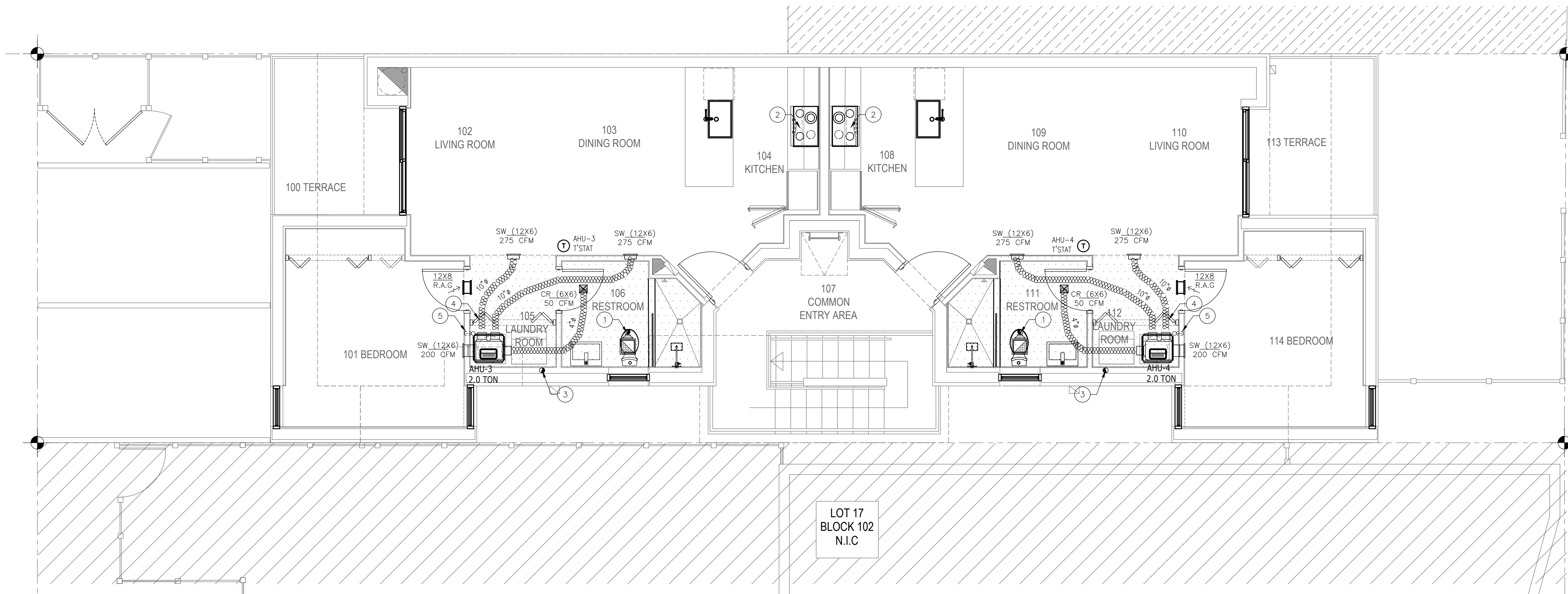
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Seal

Sheet No.

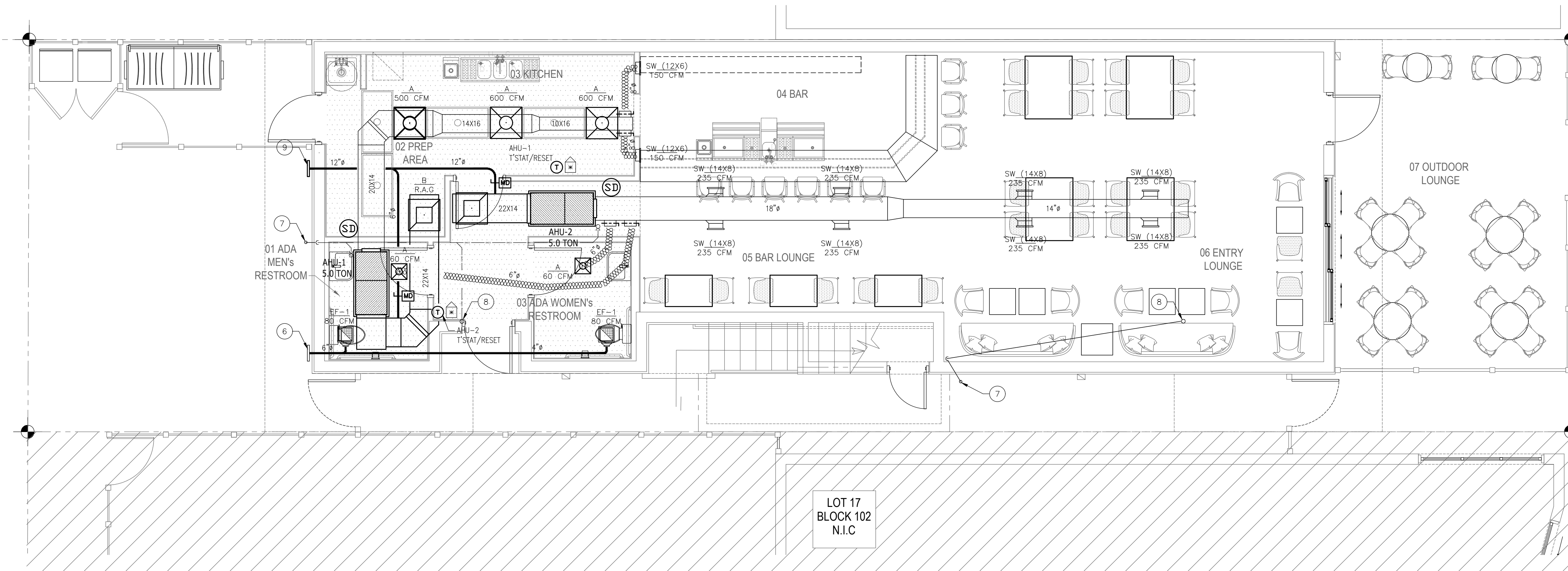
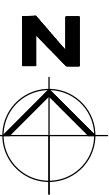
E-2

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MECHANICAL PLAN - SECOND FLOOR

scale: 1/4" = 1'-0"




MECHANICAL PLAN - GROUND FLOOR

scale: 1/4" = 1'-0"



DRAWING KEYNOTES	
①	4" SHEETMETAL (28 GA) BATHROOM EXHAUST THRU ROOF WITH INSECT SCREEN AND ROOFCAP.
②	RECIRCULATING KITCHEN HOOD.
③	4" DRYER EXHAUST THRU ROOF WITH ROOF CAP AND BACK DAMPER. MINIMUM 26 GAUGE SMOOTH SHEET METAL DUCT. INSECT SCREEN IS NOT ALLOW.
④	PROVIDE LOUVERED DOOR.
⑤	2" CONDENSATE DOWN.
⑥	6" SHEETMETAL (28 GA) BATHROOM EXHAUST THRU WALL WITH INSECT SCREEN AND WALLCAP.
⑦	2" CONDENSATE SPILL TO NEW DRY WELL.
⑧	2" CONDENSATE UP.
⑨	12" O/A DUCT THRU WALL WITH WALL CAP AND INSECT SCREEN. MUST BE MINIMUM 10' FROM EXHAUST DISCHARGE.



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Date: 2020-01-27

Scale: REFER TO PLAN

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Sheet No. M-1

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HVAC GENERAL NOTES

- GENERAL
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND WITH ALL APPLICABLE REGULATIONS.
 - DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE HVAC WORK.
 - ARRANGE AND PAY FOR ALL PERMITS LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
 - GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR. ALL COMPRESSORS SHALL BE GUARANTEED FOR 5 YEARS MINIMUM.
- SHOP DRAWINGS: CONTRACTORS SHALL SUBMIT FOR APPROVAL, WITHIN 30 DAYS AFTER SIGNING CONTRACT. A MINIMUM OF FIVE COPIES OF FULLY DESCRIPTIVE LITERATURE, INCLUDING BUT NOT LIMITED TO: AIR CONDITIONING UNITS, FANS AND AIR OUTLETS. NO WORK SHALL PROCEED WITHOUT APPROVAL OF THESE SUBMITTALS.
- DESIGN PARAMETERS:
 - INDOOR DESIGN TEMPERATURE (SUMMER): 78° DB
 - INDOOR DESIGN TEMPERATURE (WINTER): 72° DB
- ALL THERMOSTATS SHALL HAVE HEATING MODE MAXIMUM SETTING OF 75 F, AND COOLING MODE MINIMUM SETTING OF 70 F. THE THERMOSTAT SHALL BE ARRANGED TO PREVENT THE SIMULTANEOUS OPERATION OF HEATING AND COOLING.
- ELECTRICAL CONTROLS AND POWER WIRING: UNDER ELECTRICAL CONTRACT.
- EQUIPMENT SPECIFIED BY MANUFACTURER'S NUMBER SHALL INCLUDE ALL ACCESSORIES, CONTROLS, ETC., LISTED IN THE CATALOG AS STANDARD WITH THE EQUIPMENT. OPTIONAL OR ADDITIONAL ACCESSORIES SHALL BE FURNISHED AS SPECIFIED.
- MATERIALS:
 - REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
 - INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.
 - DUCTWORK:
 - ALL SUPPLY AIR DUCTWORK SHALL BE 1-1/2" THICK FIBERGLASS DUCTBOARD, FABRICATED AND INSTALLED AS PER LATEST EDITION OF SMACNA "FIBROUS GLASS DUCT MANUAL". R-6.0 MIN.
 - ALL OUTDOOR AND EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL OR ALUMINUM DUCT NOT LIGHTER THAN 24 GAGE.
 - ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.
 - FLEXIBLE INSULATED DUCTWORK WITH 1-1/2" THICK FIBERGLASS INSULATION WITH FRK VAPOR BARRIER. R-6.0 MIN.
- CONTROLS: AIR CONDITIONING UNITS SHALL BE STARTED AND STOPPED THRU INDIVIDUAL PROGRAMMABLE THERMOSTAT. INDIVIDUAL THERMOSTATS SHALL START/STOP FANS AND ACTIVATE COOLING/HEATING SYSTEMS AS SELECTED.
- TEST AND BALANCE: CONTRACTOR SHALL TEST AND BALANCE ALL VENTILATION AND AIR CONDITIONING SYSTEMS. SUBMIT FOUR COPIES OF TEST AND BALANCE REPORT, TO OWNER FOR APPROVAL.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO OWNER.

AIR DISTRIBUTION SCHEDULE

TAG	MANUFACTURER & MODEL NO.	NECK SIZE	CFM	NOTES
A	TITUS TDC-AA	6 8 10 12	0-100 101-299 300-450 451-600	ALUMINUM CEILING DIFFUSER LOUVERED FACE OPPOSED BLADE DAMPER 12x12 MODULE BORDER TYPE 1 (SURFACE) NC LEVEL < 30
B	TITUS 50F	24x24 6 8	0-800 801-1000 1001-1299	ALUMINUM EGGCRATE RETURN GRILLE 12x12/24x24 CORE BORDER TYPE 1 (SURFACE) NC LEVEL < 30
CR	TITUS 300/350	SEE PLAN	SEE PLAN	ALUMINUM CEILING DIFFUSER LOUVERED FACE OPPOSED BLADE DAMPER
SW	TITUS 300/350	SEE PLAN	SEE PLAN	ALUMINUM SIDE DIFFUSER LOUVERED FACE OPPOSED BLADE DAMPER
R.A.G.	TITUS 300/350	SEE PLAN	SEE PLAN	ALUMINUM RETURN GRILLE LOUVERED FACE OPPOSED BLADE DAMPER

NOTES:
1. ALL FINISHES TO BE WHITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ARCHITECT.

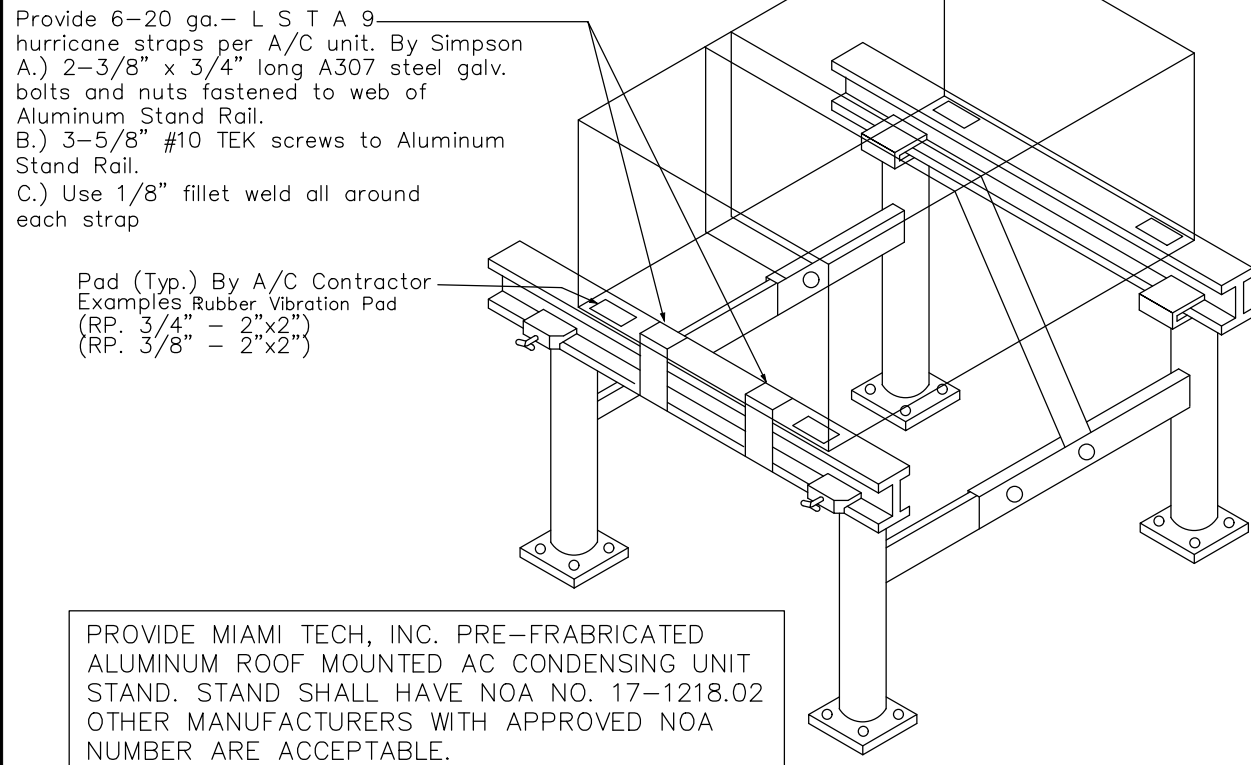
SPLIT SYSTEM SCHEDULE

AIR HANDLING UNIT										AIR COOLED CONDENSING UNIT										SYSTEM DATA						
MARK	MODEL	CFM		ESP	FAN	HEATER		UNIT	MAX	WT	MARK	MODEL	WT	ELECTRICAL	COMPRESSOR			FAN		UNIT	MAX	COOLING CAPACITY		SEER	REF. LINES	
		NO.	TOTAL		OA	HP	KW								STEP	MCA	MOCPP	LBS	NO.			LBS	VOLTS-PH-HZ		QTY.	TONS
AHU-1	TRANE TEM6AOC60	2000		.4	3/4	7.2	1	52	60	180	CU-1	TRANE 4TTR6061	275	240-1-60	1	5.0	23.7	1	2.8	32	50	58.0	41.3	16.0	1-1/8	3/8
AHU-2	TRANE TEM6AOC60	2000		.4	3/4	7.2	1	52	60	180	CU-1	TRANE 4TTR6061	275	240-1-60	1	5.0	23.7	1	2.8	32	50	58.0	41.3	16.0	1-1/8	3/8
AHU-3	TRANE TEM6A0B24	800		.4	1/3	3.6	1	25	25	125	CU-3	TRANE 4TTR6024	175	240-1-60	1	2.0	6.8	1	0.74	9	15	24.4	18.3	16.5	3/4	3/8
AHU-4	TRANE TEM6A0B24	800		.4	1/3	3.6	1	25	25	125	CU-4	TRANE 4TTR6024	175	240-1-60	1	2.0	6.8	1	0.74	9	15	24.4	18.3	16.5	3/4	3/8

SPLIT SYSTEM NOTES:

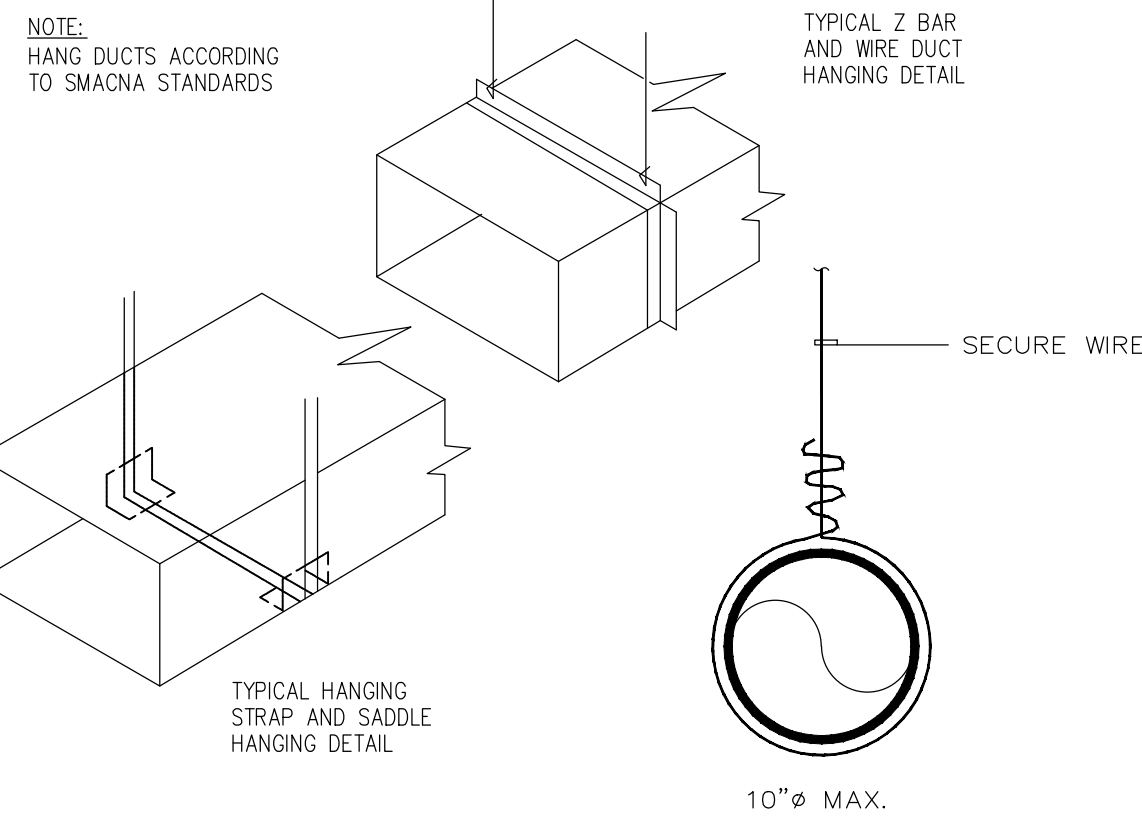
- OUTSIDE AIR DESIGN CONDITIONS: 91°FDB - 79°FDB.
- PROVIDE A/C UNITS WITH PROGRAMMABLE HEATING AND COOLING THERMOSTAT WITH ON-OFF SWITCH SUB-BASE, (WIRED AND INSTALLED BY ELECTRICAL CONTRACTOR)
- PROVIDE PROPER VIBRATION ISOLATORS AS PER ISOLATION MANUFACTURER'S RECOMMENDATIONS. PROVIDE FILTER RACK UNDER AHU. RETURN AIR THRU LOUVERED DOOR UNLESS OTHERWISE NOTED.
- INSTALL CHEMICAL DRYER AND STRAINER IN REFRIGERANT LIQUID LINES.
- PROVIDE BUILT-IN DISCONNECT WITH ALL AIR HANDLING UNITS.
- MATERIALS:
 - REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
 - INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.

IMPORTANT NOTE: CONDENSING UNIT SHALL BE ORDERED WITH HAIL GUARD WHEN MOUNTED ON BALASTED ROOFS.



CONDENSING UNIT MOUNTING DETAIL

N.T.S.



METHODS OF HANGING DUCTS DETAIL

N.T.S.

OUTSIDE AIR SUMMARY (ASHRAE 62.1-2010 TABLE 6-1)

AREA	SYSTEM	GR/NET SQ. FT.	PERS./1000 SF	TOTAL PERS.	CFM/PERPERS	CFM/ SQ. FT.	CFM REQ'D	CFM PROVIDED	EXHAUST REQUIRED	EXHAUST PROVIDED
BAR	AHU-1	155	100	2*	7.5	0.18	43	50	-	-
DINING	AHU-2	635	70	46*	7.5	0.18	460	465	-	-

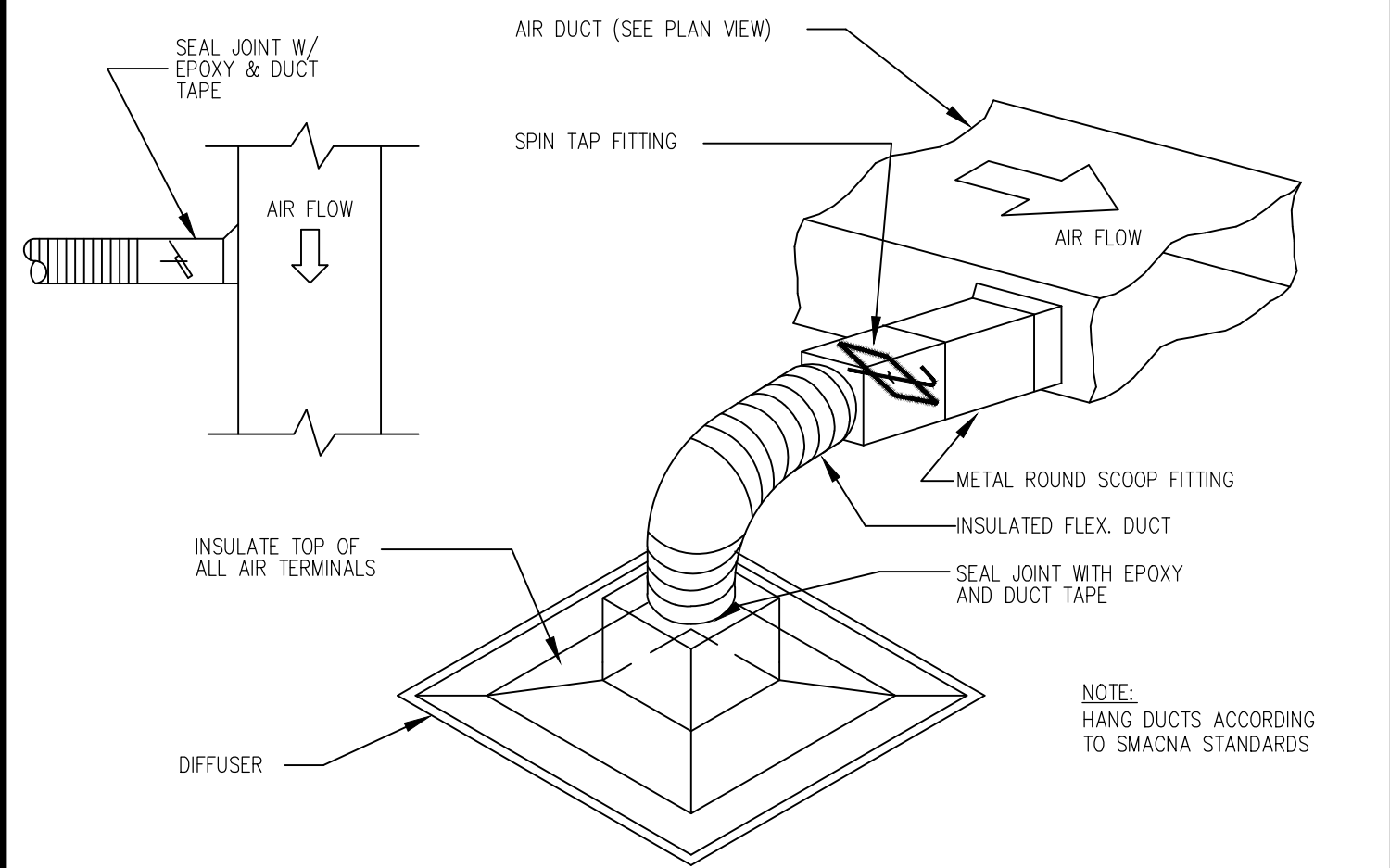
ADJUST OUTSIDE AIR TO VALUE AS SHOWN

FAN SCHEDULE

MARK	SELECTION BASED ON	TYPE/MAKE	CFM	MOTOR DATA WATTS	AMP	VOLTS	DRIVE	SDNES DR NC	UNIT WEIGHT
EF-1	BROAN A80	BATHROOM/JANITOR CLOSET	80	43	0.37	120	DRIVE	0.3	12.1

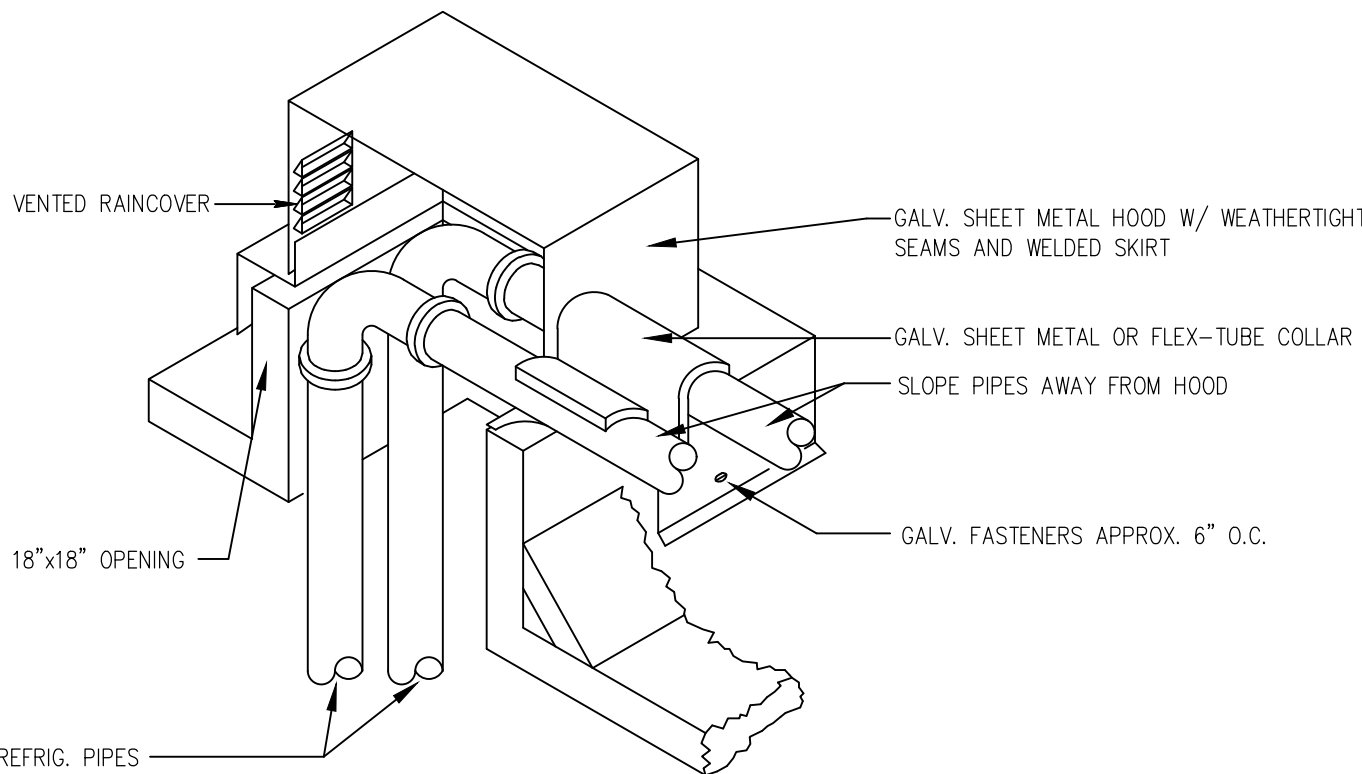
GENERAL FAN NOTES:

- PROVIDE MOTOR STARTERS, DISCONNECTS AND ALL ASSOCIATED CONTROLS ON ALL FANS.
- PROVIDE BACKRAFT FOR ALL EXHAUST FANS.
- FIELD ADJUST OPENINGS WITH STRUCTURE.
- PROVIDE BIRDSCREEN ON ALL INLETS AND OUTLETS.
- SWITCH WITH LIGHTS



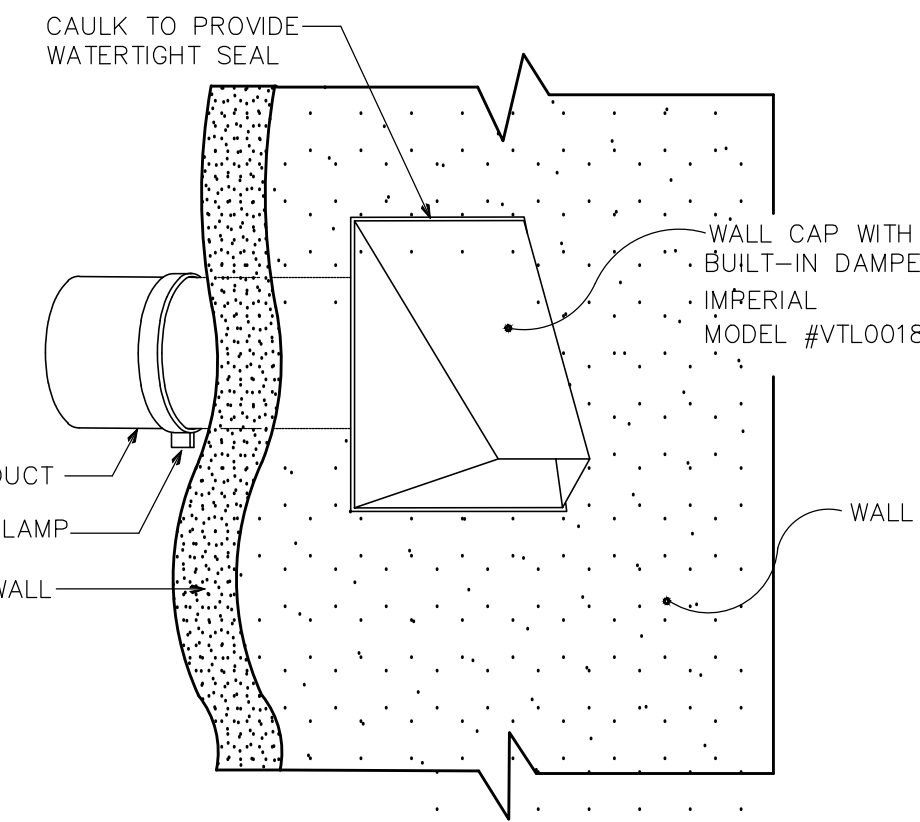
FLEXIBLE DUCT CONNECTION DETAIL

N.T.S.



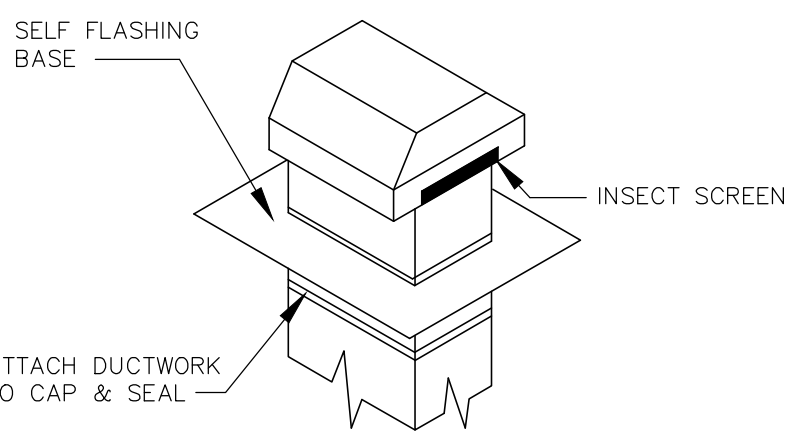
ROOF REFRIGERANT LINE COVER DETAIL

N.T.S.



WALL CAP DETAIL

NOT TO SCALE



ROOF CAP DETAIL

NOT TO SCALE

81281122995

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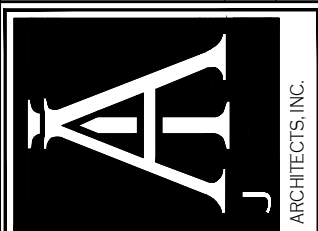
Date: _____

Revisions

NO.	DESCRIPTION

WOOD-DWG, LLC
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PH: 954214 7574

J.C.D. ARCHITECT INC
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LEED ACCREDITED PROFESSIONAL
Design by: **J.C. GUERRERO**



Drawn by: -
Job No.: -
Date: 2020-01-27
Scale: REFER TO PLAN

Seal

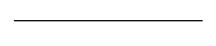
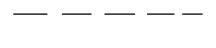
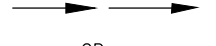

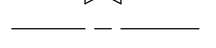
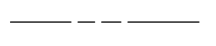




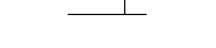
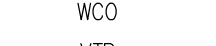
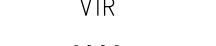
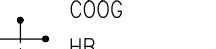

Sheet No.

M-2

GENERAL PLUMBING NOTES:

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FBC (PLUMBING 2017 6TH ED.) AND WITH ALL APPLICABLE REGULATIONS.
- B. DRAWINGS REFER TO ALL DRAWINGS FOR COORDINATION OF THE PLUMBING WORK.
- C. ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
- D. GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR.
- E. ALL HORIZONTAL SANITARY PIPING SHALL SLOPE AT 1/8 INCH PER FOOT MINIMUM FOR 3" AND LARGER AND AT 1/4" SLOPE FOR 2" PIPES AND SMALLER.
2. ADD PANS UNDER EXPOSED SOIL OR WASTE PIPING AND CONDENSATION PIPES ABOVE FOOD OR DRINK PREPARATION OR STORAGE AREAS
3. PLUMBING FIXTURES: FIXTURES SHALL BE AS SELECTED BY OWNER AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR. FIXTURES SHALL BE COMPLETE WITH DRAINS, TRAPS, SUPPLIES AND ANY OTHER ACCESSORY REQUIRED. FIXTURES AND FAUCETS SHALL COMPLY WITH THE FBC WATER SAVING STANDARDS.
4. MATERIALS:
 - PIPEING:
 - STORM, SOIL, WASTE AND VENT: SANITARY PIPE, PVC, DWV, SCHEDULE 40.
 - DOMESTIC WATER: COPPER PIPE, TYPE L WITH SWEAT WROUGHT CPVC FLOWGUARD IS ACCEPTABLE
 - COPPER FITTINGS, TYPE "M" IN CONCEALED SPACES IS ACCEPTABLE ISOLATE PIPING FROM CONCRETE WITH INSULATING MATERIAL.
 - DOMESTIC WATER SUPPLY ASSEMBLY: STAINLESS STEEL BRAIDED SUPPLY LINE WITH ANGLE SHUT OFF VALVES.
 - INSULATION: INSULATE ALL HOT WATER AND HOT RETURN WITH 1" FIBERGLASS INSULATION. THE FIRST 8' OF PIPING IN NON HOT WATER SUPPLY SYSTEMS SHALL BE INSULATED WITH 1/2" MATERIAL HAVING A CONDUCTIVITY NOT EXCEEDING 0.27 BTU
5. ALL AUTOMATIC ELECTRIC WATER HEATERS SHALL MEET THE STANDARDS OF THE LATEST ENERGY EFFICIENCY CODE.
6. PIPING TEST AND DISINFECTIONS:
 - TEST: ALL SANITARY AND DOMESTIC WATER SUPPLY PIPING SHALL BE TESTED FOR LEAKS BEFORE PIPING IS CONCEALED OR CONNECTED TO EQUIPMENT AND PLUMBING FIXTURES.
 - DISINFECTION: ALL DOMESTIC WATER PIPING SHALL BE DISINFECTED BY INTRODUCING A SOLUTION OF CALCIUM HYPOCHLORITE OF 50 PARTS PER MILLION OF CHLORIDE AND AS PER AWWA STANDARDS.
7. HOSE BIBBS: SHALL BE 1/2 INCH, ROUGH BRASS CONSTRUCTION WITH SHUT OFF VALVE AND VACUUM BREAKER.
8. ALL OUTDOORS FLOOR CLEAN OUTS SHALL BE TERMINATED UP TO GRADE AND SHALL BE MARKED.
9. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF SANITARY AND DOMESTIC WATER PIPING BEFORE STARTING ANY WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DEVIATIONS FROM DESIGN DRAWINGS.

PLUMBING SYMBOL LEGEND

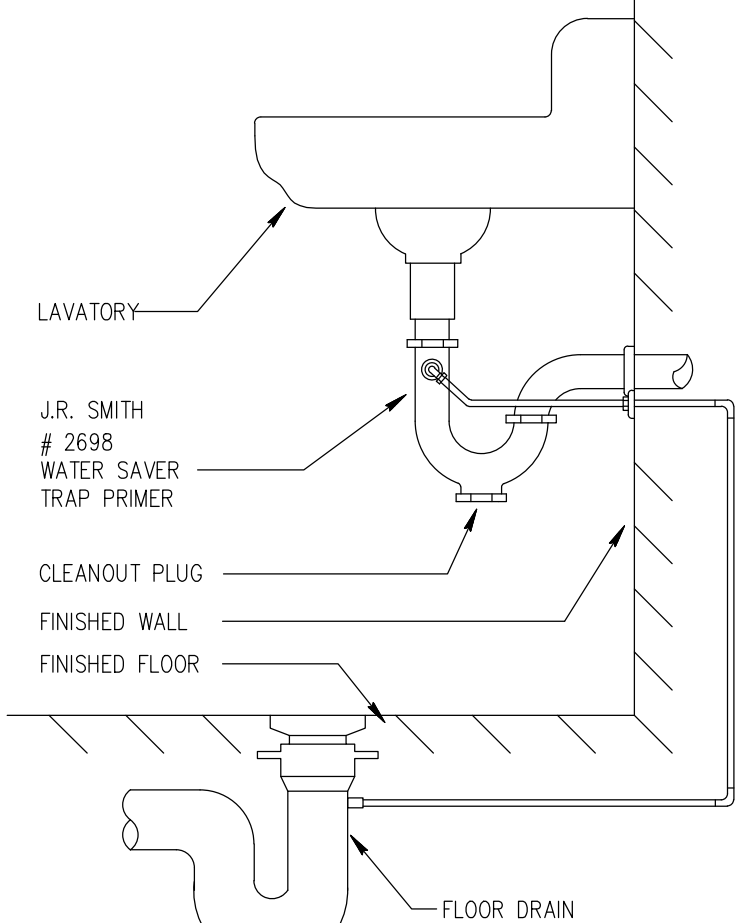
SYMBOL	DESCRIPTION
	SANITARY LINE
	VENT LINE
	SAFEWASTE LINE
	CONDENSATE LINE
	GATE VALVE
	COLD WATER LINE
	HOT WATER LINE
	PLUMBING FIXTURE DESIGNATION
	FLUSH CLEAN OUT
	FLOOR PENETRATION
	AIR CHAMBER
	WALL CLEANOUT
	VENT THRU ROOF
	CLEANOUT ON GRADE
	HOSE BIBB W/VB

PLUMBING FIXTURE SCHEDULE

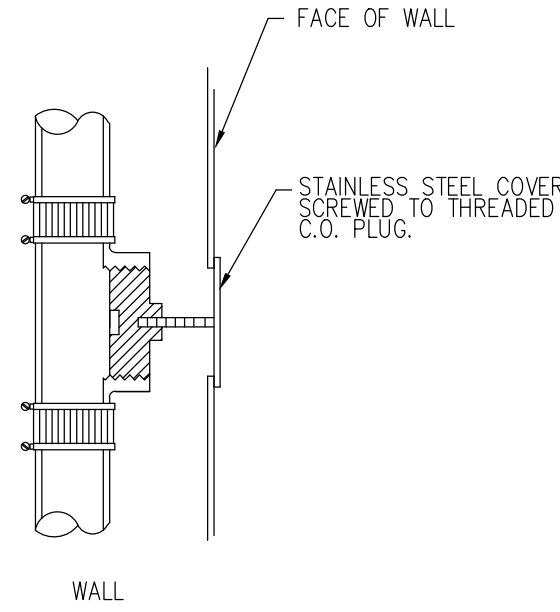
NAME	FIXTURE	MODEL #	ACCESSORIES
WC	HANDICAPPED WATER CLOSET (TANK)	AMERICAN STANDARD CADAT PRO PRESSURE ASSISTED FLUSH ELONGATED WATER SAVER (1.28 G.P.F.)	CHURCH OPEN FRONT SEAT, SUPPLY PIPE, MCQUIRE ANGLE STOP AND 2 BOLT CAPS.
LAV	WALL HUNG LAVATORY	LUCERNE #0355.012	ZURN #2-7440 FAUCET 3/8" W # S-3440 DRAIN FAUCET 3/8" FLEXIBLE SUPPLY PIPE, MCQUIRE ANGLE STOPS & ADJUSTABLE "P" TRAP.

FIXTURE	WATER PIPE SIZE	NOMINAL SAN. SIZE	MAXIMUM FLOW RATES
WATER CLOSET (TANK)	1/2"	3"	128 GPF
LAVATORY	1/2"	1 1/4"	5 GPM

* ALL PLUMBING FIXTURES SHALL BE SELECTED BY AND INSTALL BY CONTRACTOR

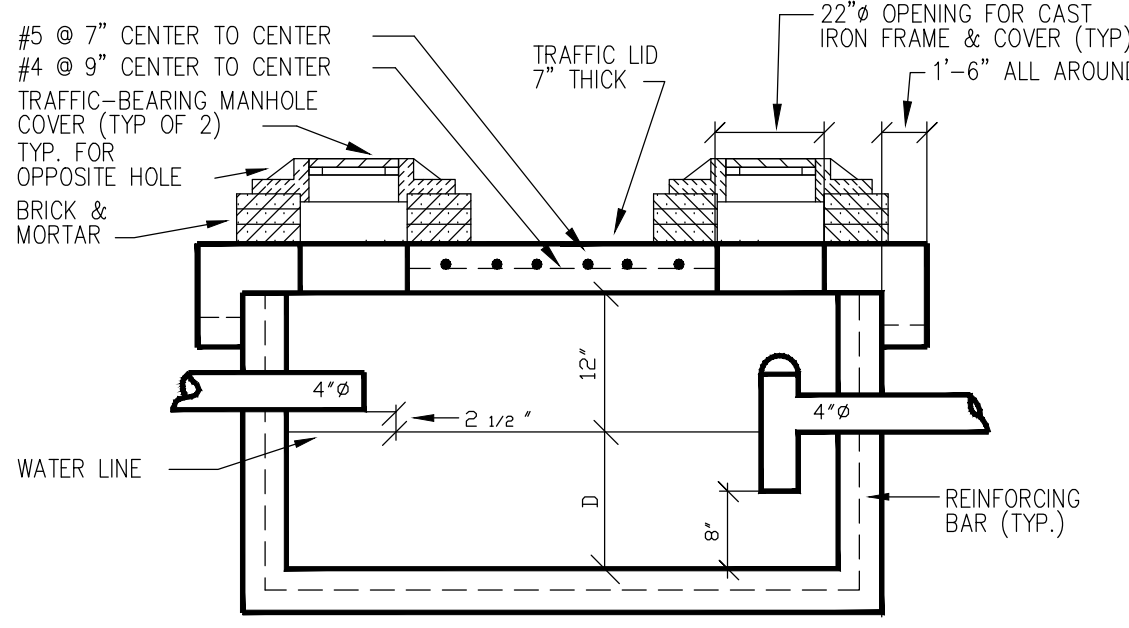
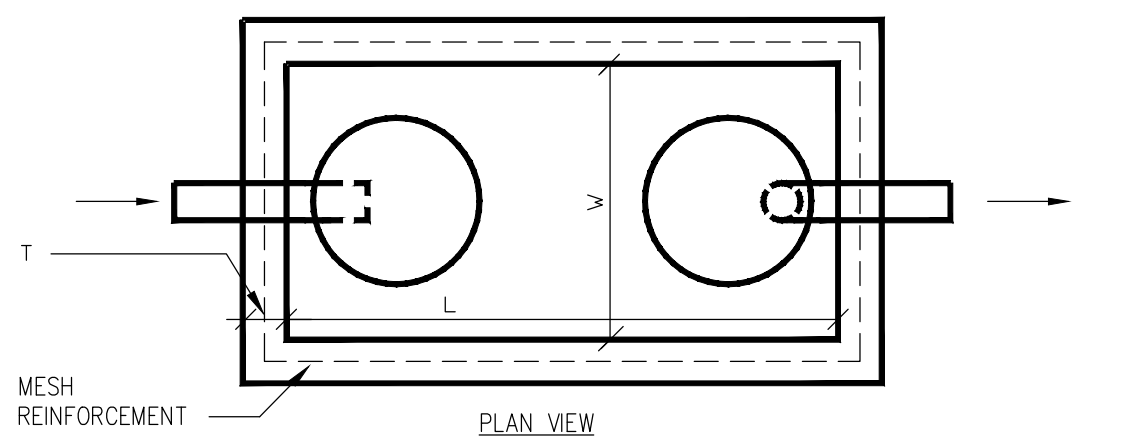


TRAP PRIMER DETAIL
NO SCALE

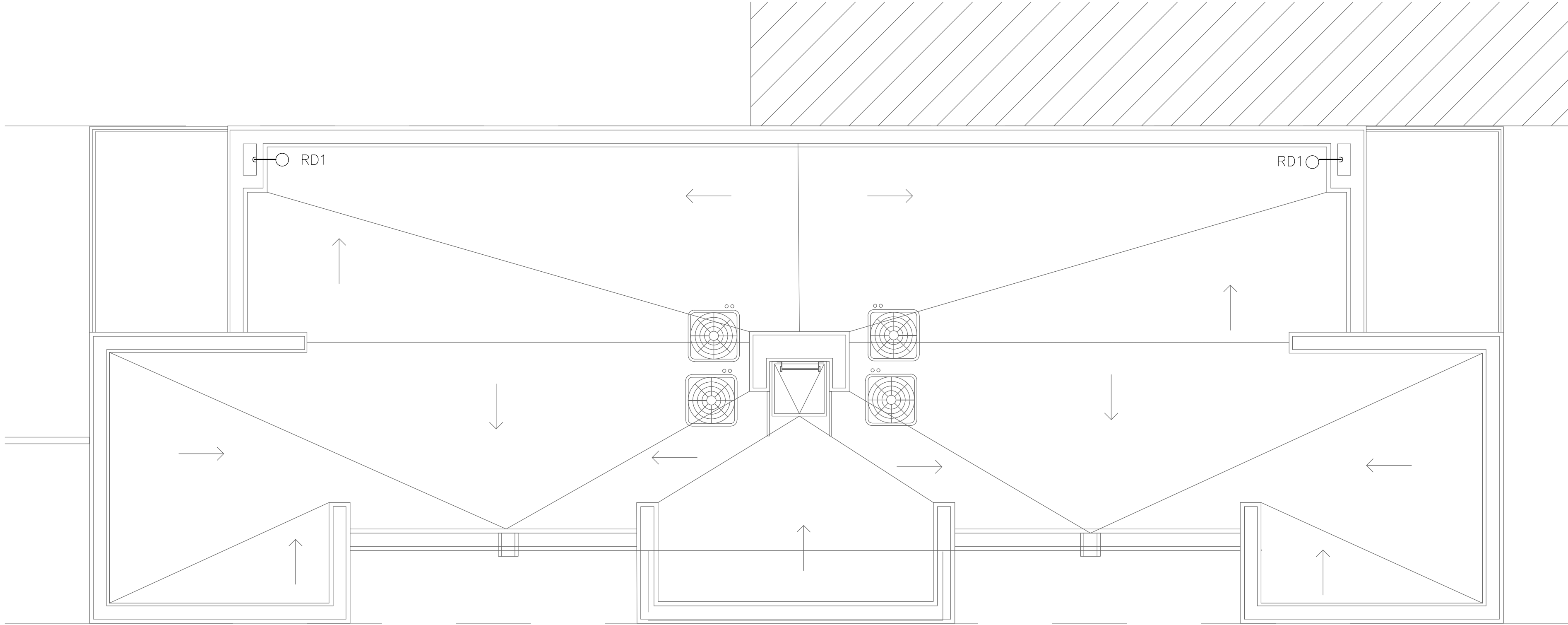


CLEANOUT DETAIL

GAL.	750	900 & 1050	1200	1600	2000
W	3-6	3-9	4-0	4-0	5-0
L	7-2	8-0	10-0	12-0	12-0
D	4-8	4-0	4-0	4-6	4-6
T MIN.	4	4	4	4	4
REINF.	6x6	10/10	4x4	4/4	
CONC.	3000 PSI.28 DAY				



GREASE TRAP
DETAIL (1050 GAL.)
N.T.S.



PLUMBING ROOF PLAN

scale: 1/4" = 1'-0"



bd bach design
engineers

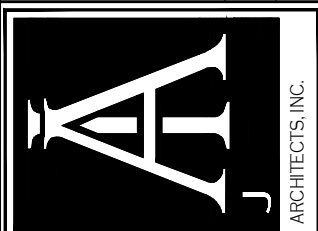
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Date: _____

Revisions

WOOD-DWG, LLC
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OAKLAND PARK, FLORIDA 33334
PH: 954214 7574

J.C.D. ARCHITECT INC
JUAN C. DAVID R.A.
LEED ACCREDITED PROFESSIONAL
Design by: J.C. GUERRERO



Drawn by: -
Job No.: -
Date: 2020-01-27
Scale: REFER TO PLAN

Seal

Sheet No.

P-2

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