PROPOSED TOWNHOMES FOR:
URBANA LOFTS
1027 - 1047 N.E. 34th COURT
OAKLAND PARK, FLORIDA

SITE PLAN APPROVAL SET

GENERAL

T-001	COVER PAGE
	SURVEY
AS-100	SITE PLAN NOTES
AS-101	SITE PLAN
C-1	PAVING & GRADING
C-2	CIVIL DETAILS
C-3	POLLUTION PREVENTION PLAN
TD-1	TREE DISPOSITION PLAN
LS-1	LANDSCAPE PLAN
LS-2	LANDSCAPE NOTES/ DETAIL
IR-1	IRRIGATION PLAN
IR-2	IRRIGATION NOTES/DETAILS
PH-101	SITE PHOTOMETRIC PLAN
A-101	BUILDING #1 - FLOOR PLANS
A-102	BUILDING #1 - ROOF PLAN
A-103	BUILDING #2 - FLOOR PLANS
A-104	BUILDING #2 - ROOF PLAN
A-201	BUILDING #1 - NORTH AND SOUTH ELEVATIONS
A-202	BUILDING #1 - EAST AND WEST ELEVATIONS
A-203	BUILDING #2 - NORTH AND SOUTH ELEVATIONS
A-204	BUILDING #2 - EAST AND WEST ELEVATIONS

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AA26002444

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OAKLAND PARK, FLORIDA

CLIENT:

REV	DATE	DESCRIPTION
1	01/11/2019	DRC COMMENTS
2	03/21/2019	P&Z

DESIGN DELIVERABLE:

ISSUE DATE: 05/28/2018

PROJECT NUMBER: 18-018

DRAWN BY: KW

CHECKED BY: R.E.T

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SHEET TITLE:

COVER SHEET AND SHEET INDEX

SHEET NUMBER:

T-001

UNITS NO.1 & 5	UNIT NO.2,3&4	
GARAGE — 417 SQ. FT.	GARAGE — 417 SQ. FT.	TOTAL BUILDING LIVING AREA: 9,683 SQ. FT.
1ST. FLOOR — 770 SQ. FT.	1ST. FLOOR — 753 SQ. FT.	TOTAL BUILDING AREA: 11,768 SQ. FT.
2ND FLOOR — 1,187 SQ. FT.	2ND FLOOR — 1,170 SQ. FT.	
TOTAL LIVING AREA: 1,957 SQ. FT.	TOTAL LIVING AREA: 1,923 SQ. FT.	
TOTAL AREA: 2,374 SQ. FT.	TOTAL AREA: 2,340 SQ. FT.	
BALCONY: 63 SQ. FT.	BALCONY: 30 SQ. FT.	

UNITS NO.6 & 10	UNIT NO.7,8 &9	
GARAGE — 417 SQ. FT.	GARAGE — 417 SQ. FT.	TOTAL BUILDING LIVING AREA: 9,653 SQ. FT.
1ST. FLOOR — 767 SQ. FT.	1ST. FLOOR — 750 SQ. FT.	TOTAL BUILDING AREA: 11,738 SQ. FT.
2ND FLOOR — 1,184 SQ. FT.	2ND FLOOR — 1,167 SQ. FT.	
TOTAL LIVING AREA: 1,951 SQ. FT.	TOTAL LIVING AREA: 1,917 SQ. FT.	
TOTAL AREA: 2,368 SQ. FT.	TOTAL AREA: 2,334 SQ. FT.	
BALCONY: 30 SQ. FT.	BALCONY: 30 SQ. FT.	

BUILDING DATA

OCCUPANCY GROUP:
GROUP R-3 (RESIDENTIAL) AS PER F.B.C. 6TH EDITION-2017 BUILDING
TYPE OF CONSTRUCTION:
TYPE V-B. AS PER F.B.C. 6TH EDITION-2017 BUILDING.

2 BUILDING DATA

-

BUILDING #1		
SIDE	REQUIRED	PROVIDED
NORTH REAR	30'-0"	92'-7"
SOUTH FRONT	5'-0"	6'-8" MIN.
WEST SIDE	15'-0"	22'-8" MIN.
EAST SIDE	15'-0"	22'-8" MIN.

BUILDING #2		
SIDE	REQUIRED	PROVIDED
NORTH REAR	30'-0"	26'-7"
SOUTH FRONT	5'-0"	72'-8"
WEST SIDE	15'-0"	22'-5" MIN.
EAST SIDE	15'-0"	23'-0" MIN.

1

3 SETBACK TABLE

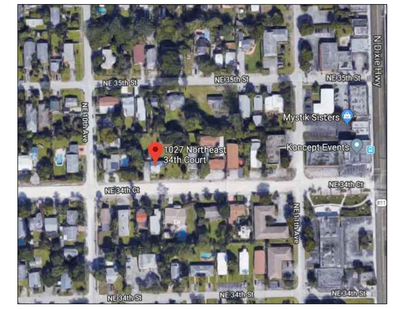
-

1 NOT USED

-

4 NOT USED

-



5 LOCATION MAP

SCALE: NTS

NORTH

Legal Description

Lots 23, 24, 25, 26, and 27, Block 47, OAKLAND PARK SECOND ADDITION, according to the plat thereof, as recorded in Plat Book 1, Page 39, of the public records of Broward County, Florida.

6 LEGAL DESCRIPTION

-

ZONING: — OAKLAND PARK DOWNTOWN MIXED USE DISTRICT (FREE STANDING RESIDENTIAL USE)
EXISTING USE: — SINGLE STORY RESIDENTIAL/VACANT
PROPOSED UNITS: — (10) FEE SIMPLE TOWNHOUSE DWELLING UNITS
BUILDING HEIGHT: — 3-STORIES MAX. 36 FT. (ALLOWED)
BUILDING HEIGHT: — 23'-2" TOP OF ROOF DECK (2-STORY DWELLING UNITS)
BUILDING LENGTH: — 154'-8"
SEWER PROVIDER: — CITY OF OAKLAND PARK
WATER PROVIDER: — CITY OF OAKLAND PARK
GARBAGE PROVIDER: — CITY OF OAKLAND PARK (ROLL OUT CARTS)
TOTAL SITE AREA NET: — 27,509 SQ. FT. OR 0.63 AC
TOTAL SITE AREA GROSS: — 34,510 SQ. FT. OR 0.79 AC
BUILDING FOOTPRINT: — 11,751 SQ. FT. OR 42.7%% OF SITE

1

WALKS/ENTRY — 290 SQ. FT. OR 1.0% OF SITE
BIKE RACKS:

VEHICULAR USE AREA:
BRICK PAVERS: — 5,562 SQ. FT.
PERVIOUS PAVER: — 96 SQ. FT. **
PERVIOUS PARKING: — 288 SQ. FT. **

TOTAL VUA: — 5,946 SQ. FT. OR 21.6% OF SITE

PAVER WALKWAY: — 276 SQ. FT. OR 1.0% OF SITE
LANDSCAPED AREA: — 9,246 SQ. FT. OR 33.7% OF SITE **

2

PARKING REQUIRED: — (2) SPACES / DWELLING UNIT/20 SPACES
PARKING PROVIDED: — (20) SPACES IN GARAGES + 2 SURFACES PARKING SPACES
LOT FAR: — 23,506 SQ. FT. / 27,509 SQ. FT. = .85
DENSITY NET: — 27,509 SQ. FT. = 0.63 AC. x 16 UNITS = 10.08 UNITS (ALLOWED)
10 D.U./.63 = 15.8 UNITS/ACRE (PROVIDED)

DENSITY GROSS: — 34,510 SQ. FT. = 0.79 AC. x 16 UNITS = 12.64 UNITS (ALLOWED)
10 D.U./.79 = 12.6 UNITS/ACRE (PROVIDED)

FLOOD ZONE: — AH BASE FLOOD ELEV =5.0' & "X"

2

**
35% PERVIOUS AREA REQ'D OR 9,628 SQ. FT.
9,632 SQ. FT. PERVIOUS PROVIDED OR 35.0% OF SITE

PERVIOUS AREAS INCLUDES:
LANDSCAPED AREAS, PERVIOUS PAVERS &
PERVIOUS PARKING AREAS

7 SITE DATA

-

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AA26002444

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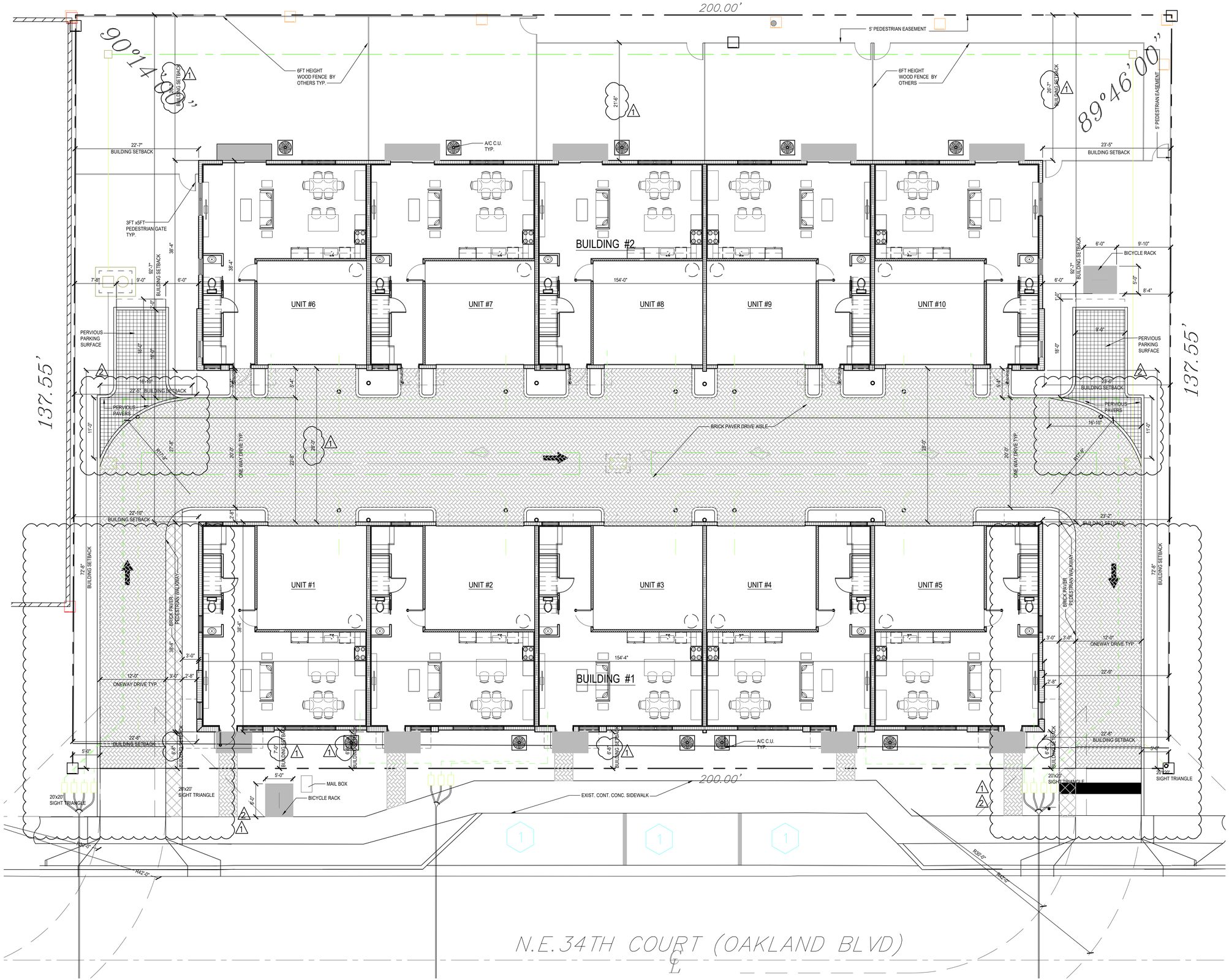
SHEET TITLE:

SHEET NUMBER:
AS-100



2 SITE PLAN
SCALE: 1/8" =1'-0"

NORTH

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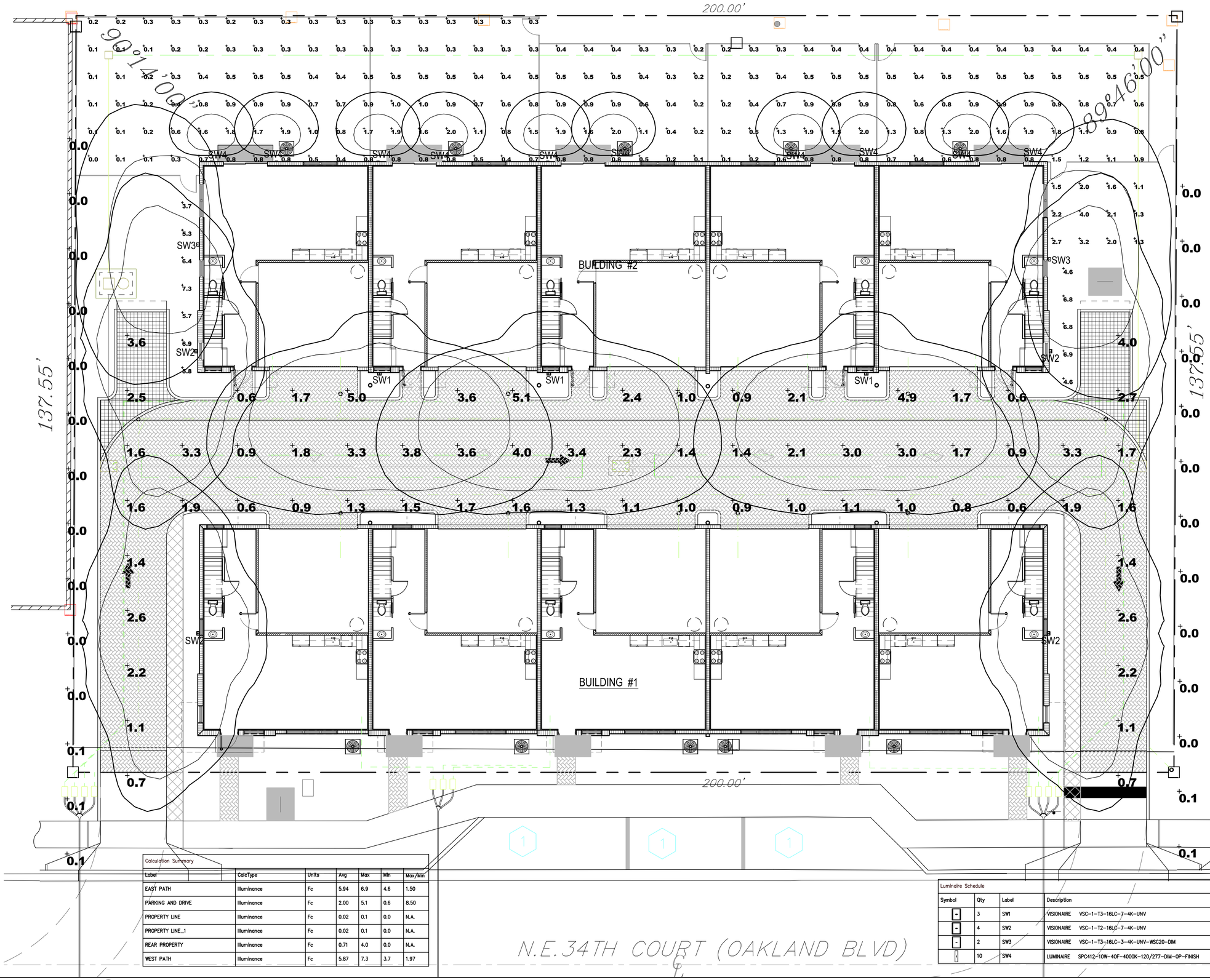
SHEET TITLE:

SHEET NUMBER:

AS-101



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Max/Min
EAST PATH	Illuminance	Fc	5.94	6.9	4.6	1.50
PARKING AND DRIVE	Illuminance	Fc	2.00	5.1	0.6	8.50
PROPERTY LINE	Illuminance	Fc	0.02	0.1	0.0	N.A.
PROPERTY LINE_1	Illuminance	Fc	0.02	0.1	0.0	N.A.
REAR PROPERTY	Illuminance	Fc	0.71	4.0	0.0	N.A.
WEST PATH	Illuminance	Fc	5.87	7.3	3.7	1.97

Luminaire Schedule

Symbol	Qty	Label	Description	LLF	Lum. Watts
	3	SW1	VISIONAIRE VSC-1-T3-16LC-7-4K-UNV	0.900	37
	4	SW2	VISIONAIRE VSC-1-T2-16LC-7-4K-UNV	0.900	37
	2	SW3	VISIONAIRE VSC-1-T3-16LC-3-4K-UNV-WSC20-DIM	0.900	18
	10	SW4	LUMINAIRE SPC412-10W-40F-4000K-120/277-DIM-OP-FINISH	0.900	10

1 SITE PHOTOMETRIC PLAN
SCALE: 1/8" =1'-0"

NORTH

rta
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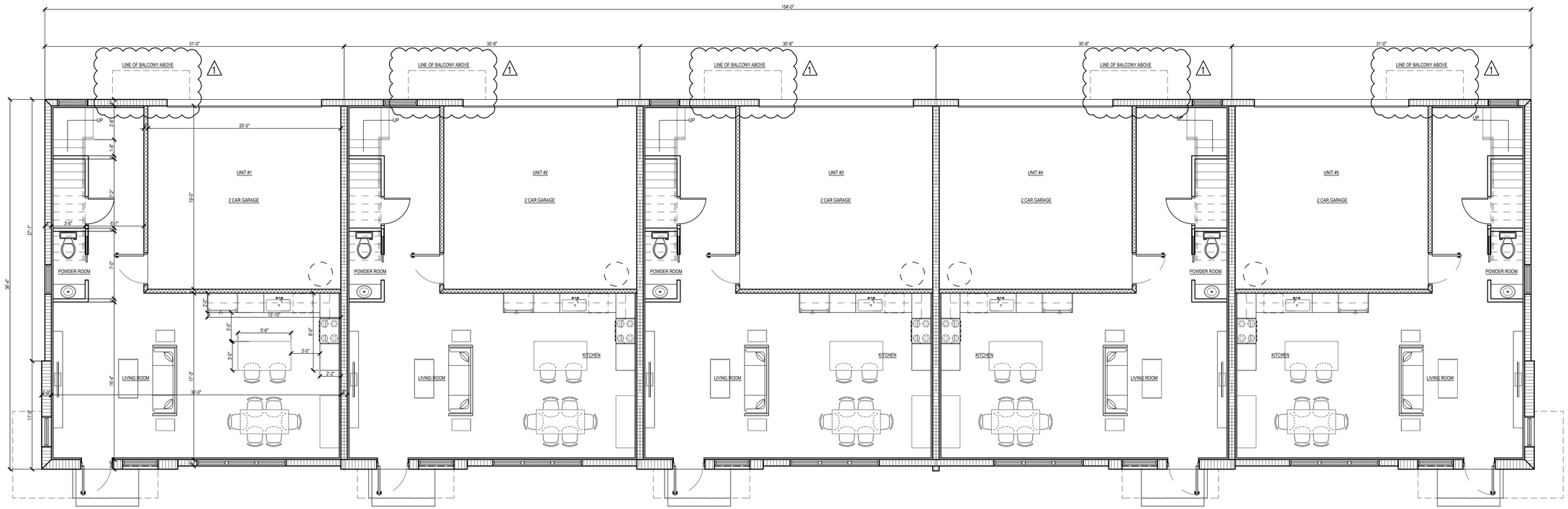
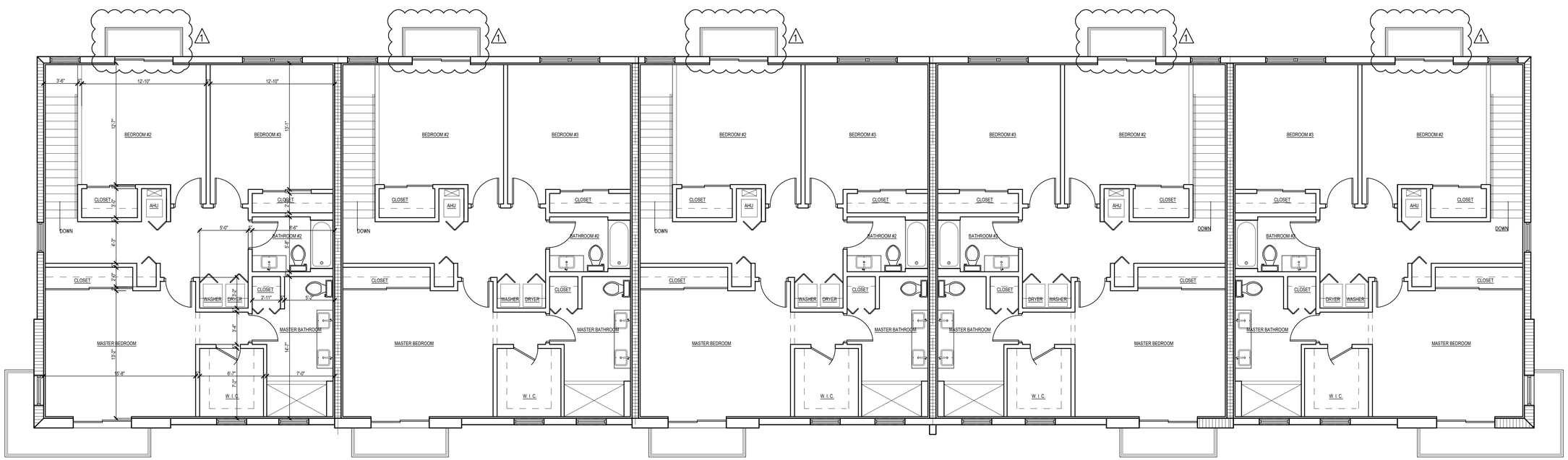
PH-101



1 1ST FLOOR PLAN (BUILDING #1) NORTH
SCALE: 3/16" =1'-0"



2 2ND FLOOR PLAN (BUILDING #1) NORTH
SCALE: 3/16" =1'-0"

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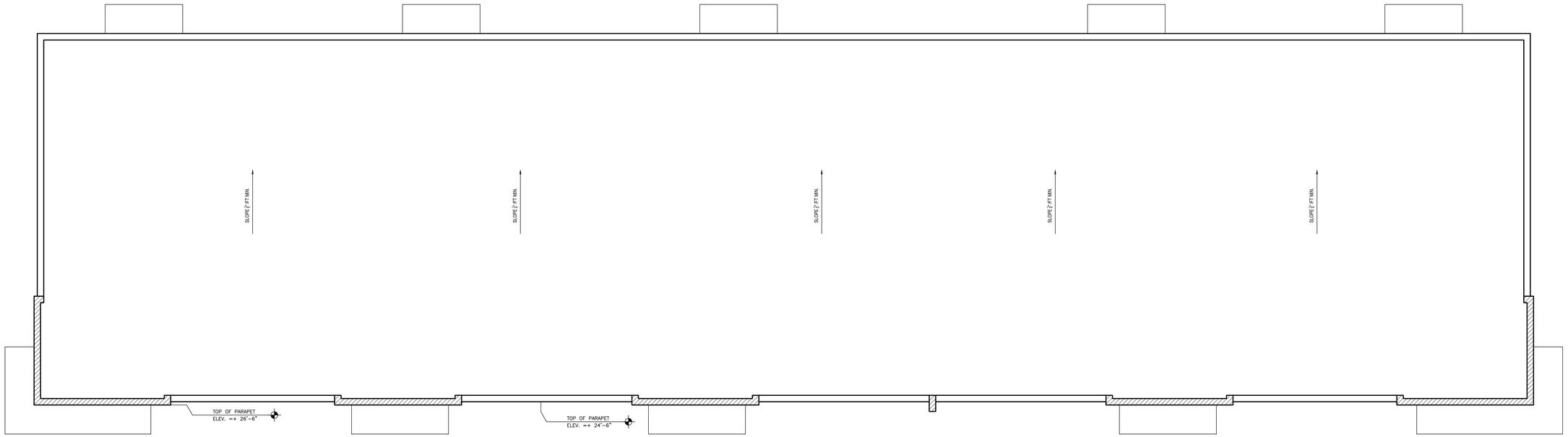
A-101



1 BUILDING #1'S ROOF PLAN
SCALE: 3/16" =1'-0"

NORTH

2 NOT USED

NORTH

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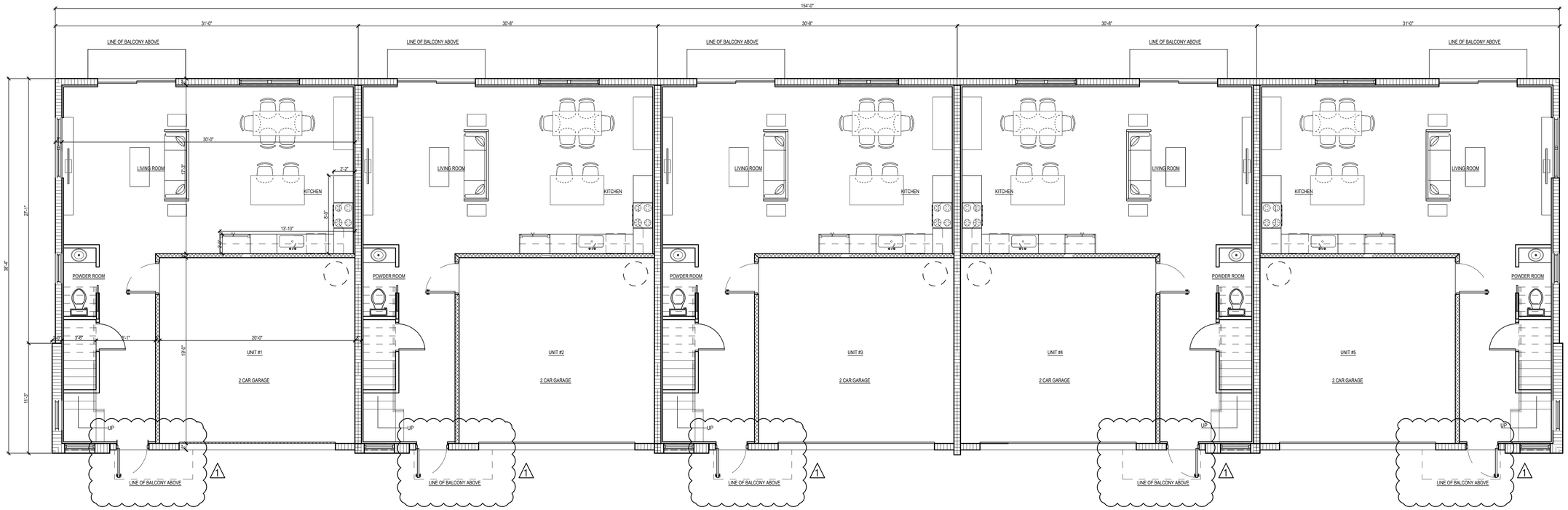
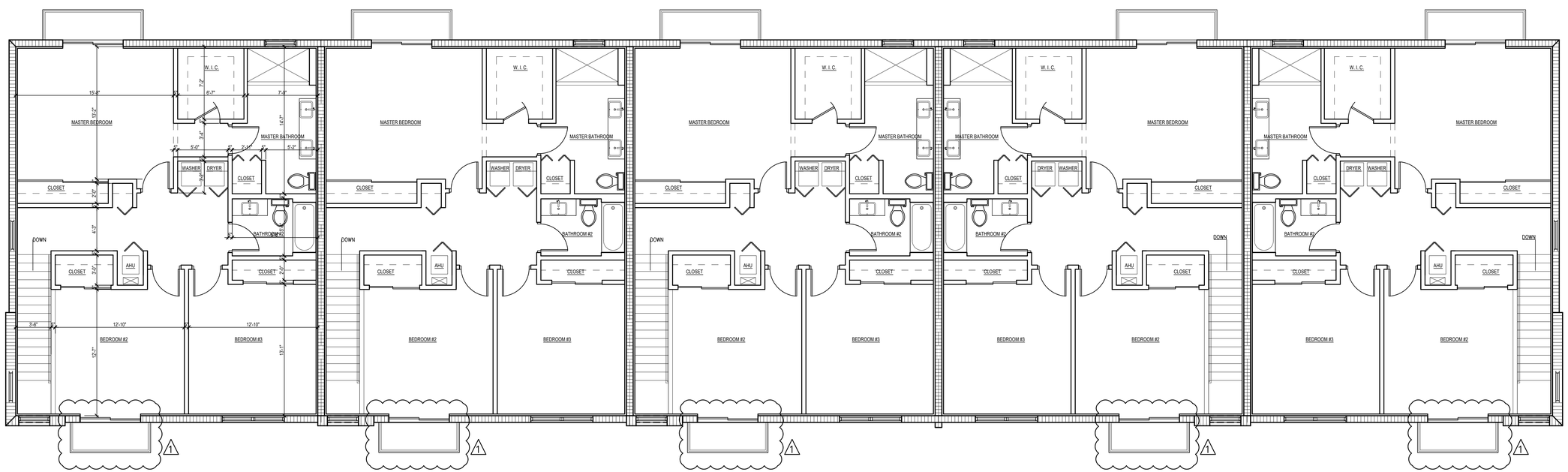
SHEET NUMBER:

A-102



1 1ST FLOOR PLAN (BUILDING #2) NORTH
SCALE: 3/16" =1'-0"



2 2ND FLOOR PLAN (BUILDING #2) NORTH
SCALE: 3/16" =1'-0"

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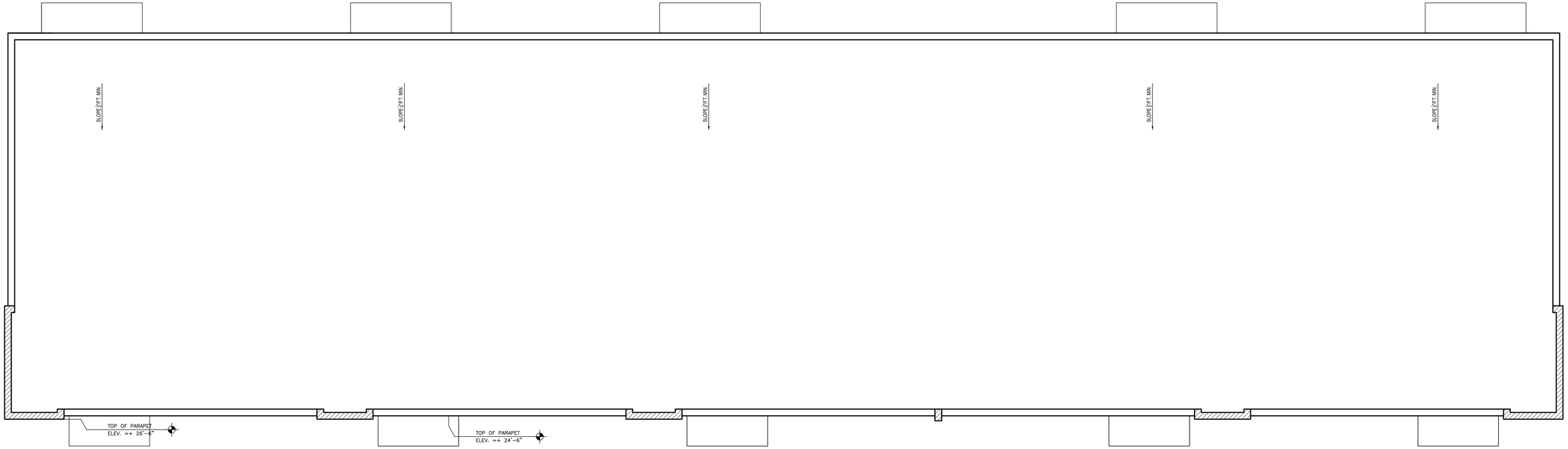
A-103



1 BUILDING #2'S ROOF PLAN
SCALE: 3/16" =1'-0"

NORTH

2 NOT USED

NORTH

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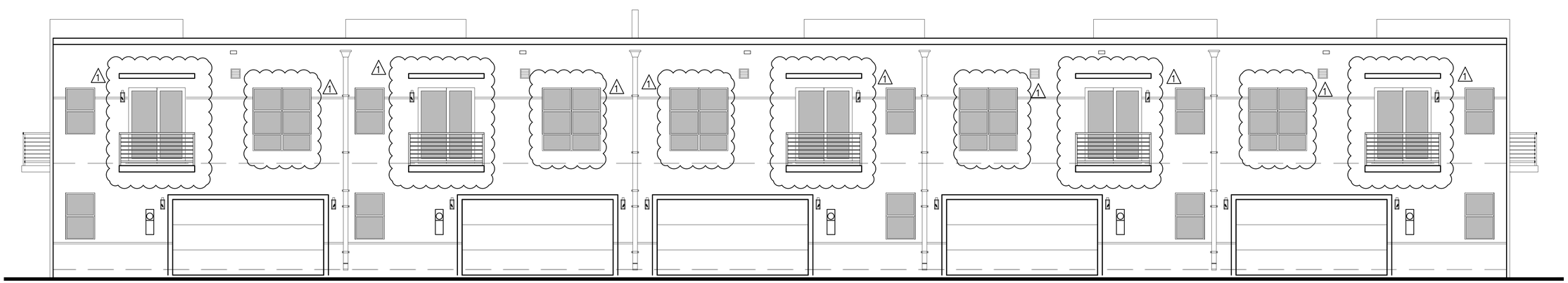
SHEET TITLE:

SHEET NUMBER:

A-103

1 SOUTH ELEVATION (BUILDING #1)
SCALE: 3/16" =1'-0"



2 NORTH ELEVATION (BUILDING #1)
SCALE: 3/16" =1'-0"

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SHEET TITLE:

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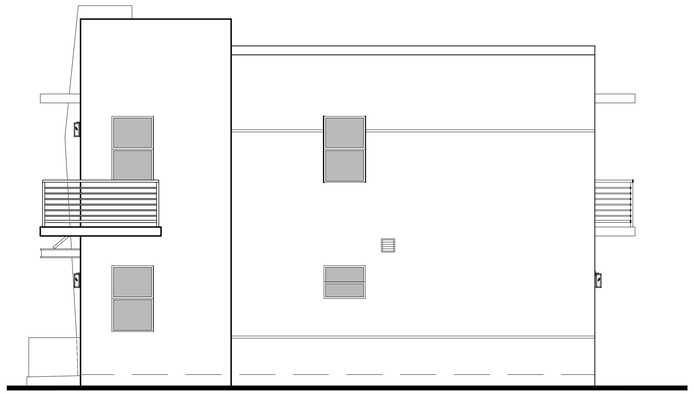
A-201



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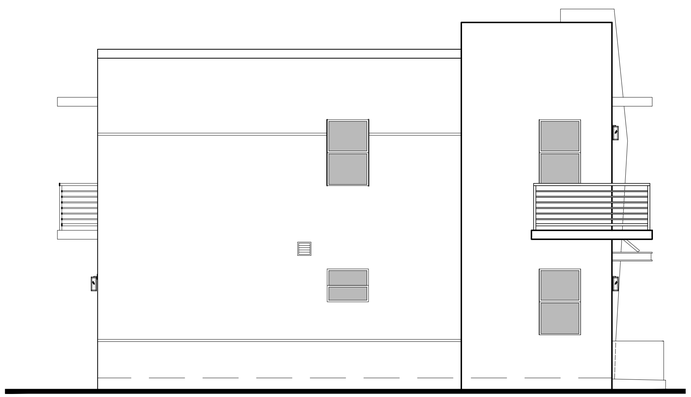
SCALE: 3/16" =1'-0"



2 WEST ELEVATION (BUILDING #1)
SCALE: 3/16"=1'0

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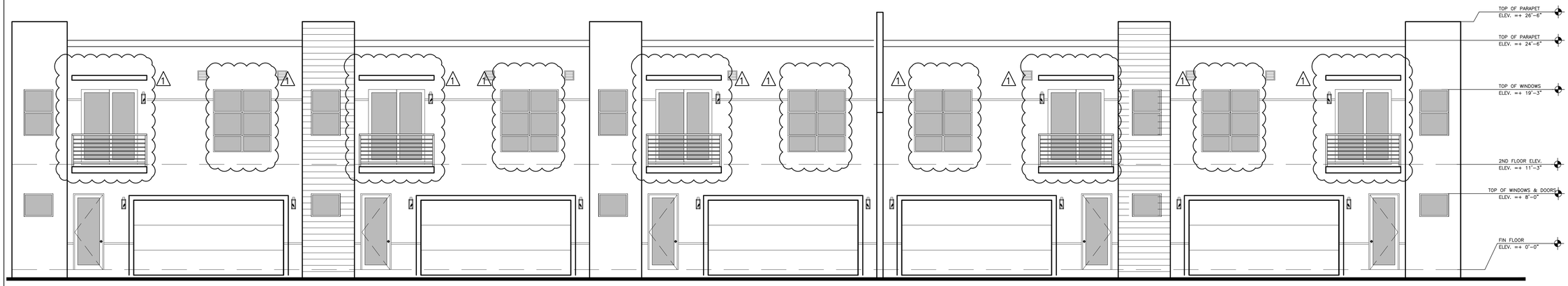
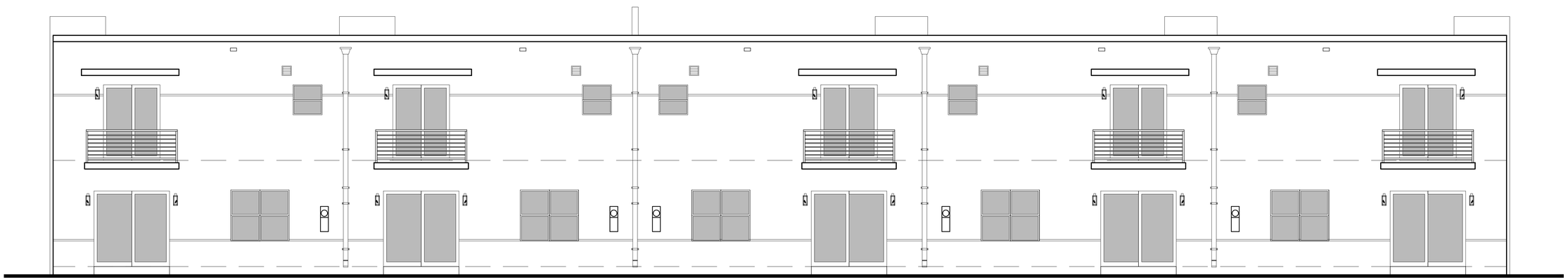
SHEET TITLE:

SHEET NUMBER:

A-202



1 SOUTH ELEVATION (BUILDING #2)
SCALE: 3/16" =1'-0"



2 NORTH ELEVATION (BUILDING #2)
SCALE: 3/16" =1'-0"

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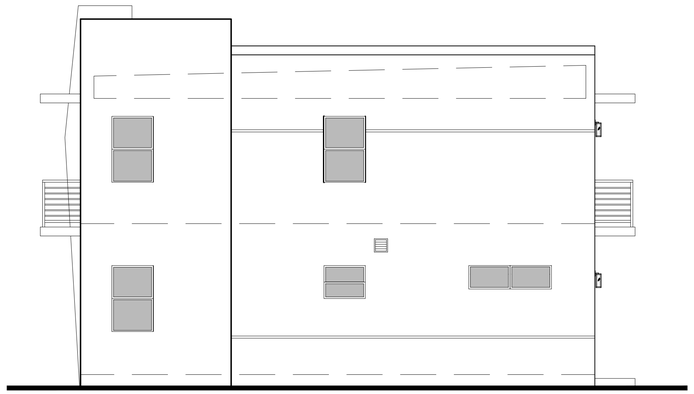
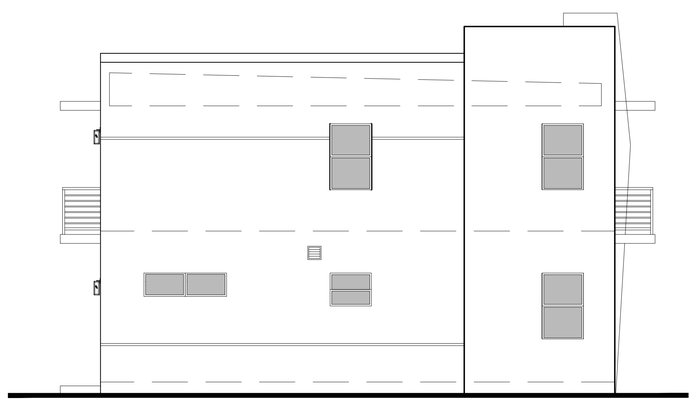
A-203



1 EAST ELEVATION (BUILDING #2)
SCALE: 3/16" =1'-0"



2 WEST ELEVATION (BUILDING #2)
SCALE: 3/16" = 1'0

RALPH TAIT ARCHITECT, INC.
11820 Miramar Parkway, Suite 121
Miramar, Florida 33025
(P) 954-592-2841
(Fax) 954-392-7502
Email: rtait@rtarchitectinc.com
www.rtarchitectinc.com

SEAL: AR NO. 95832

AA26002444

PROPOSED TOWNHOMES FOR: URBANA LOFTS

1027 - 1047 N.E. 34th COURT
OAKLAND PARK, FLORIDA

CLIENT:

REV	DATE	DESCRIPTION
1	01/11/2019	DRC COMMENTS
2	03/23/2019	PB2

DESIGN DELIVERABLE:

ISSUE DATE: **05/28/2018**

PROJECT NUMBER: **18-018**

DRAWN BY: R.E.T

CHECKED BY: RET

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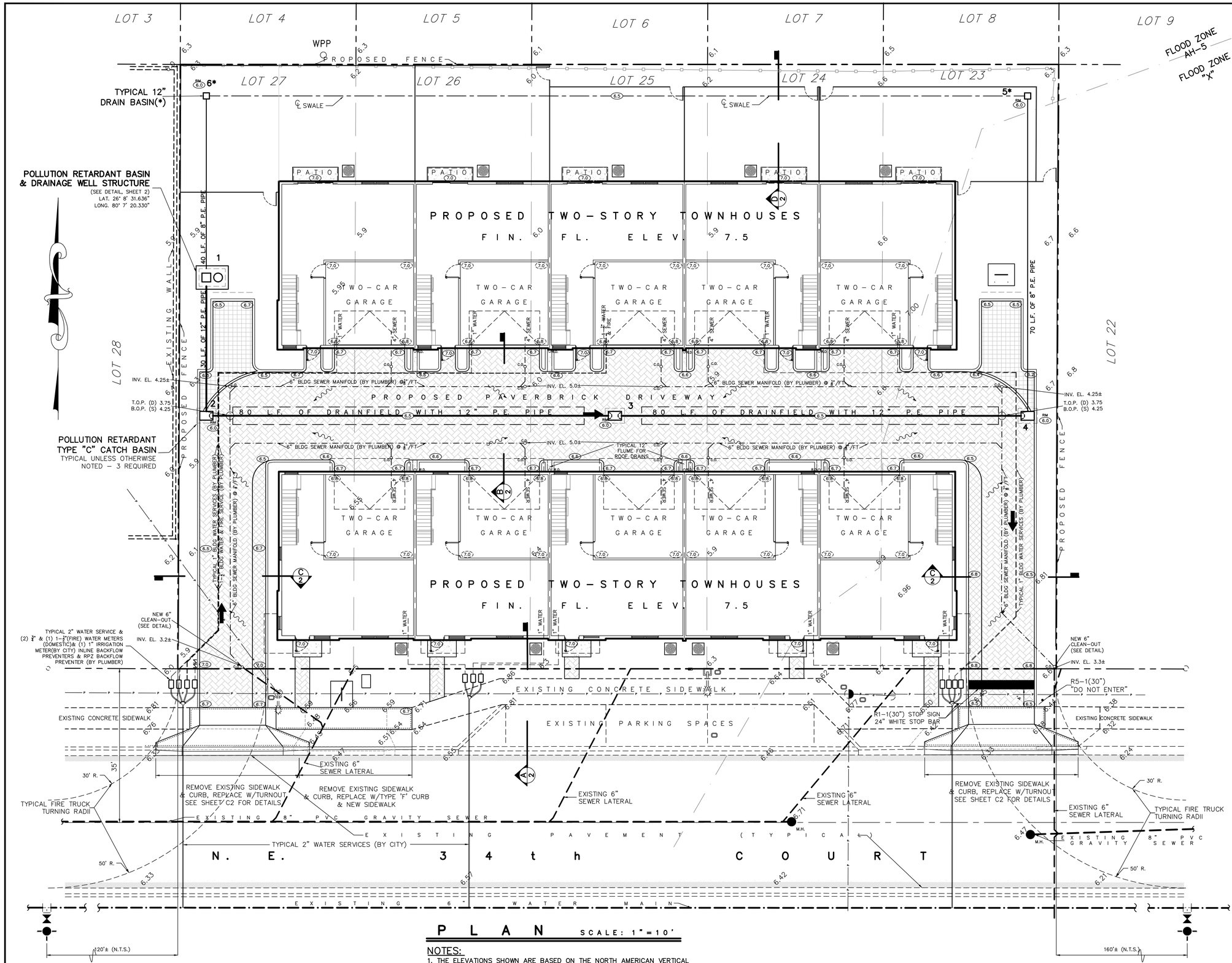
All Rights Reserved.

SHEET TITLE:

SHEET NUMBER:

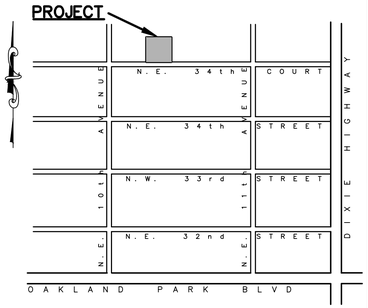
A-204



PLAN SCALE: 1"=10'

NOTES:

1. THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM – NAVD 1988
2. PROPERTY LIES IN FLOOD ZONE AH 5 & X – AUG., 18, 2014
3. THIS PLAN IS FOR PAVING AND DRAINAGE ELEVATIONS & DETAILS, AND UTILITIES LOCATIONS ONLY. FOR EXACT LAY-OUT, SEE SITE PLAN PREPARED BY ARCHITECT.



LOCATION PLAN N. T. S.

LEGAL DESCRIPTION:
LOTS 23–27, BLOCK 47, "OAKLAND PARK 2nd ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 39, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND:

- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING SEWER MAIN
- PROPOSED SEWER MAIN
- EXISTING DRAINAGE
- PROPOSED DRAINAGE
- PROPOSED PAVER BRICK PAVEMENT
- PROPOSED PERVIOUS PAVEMENT
- EXISTING PAVEMENT
- EXISTING ELEVATIONS
- PROPOSED ELEVATIONS
- DIRECTION OF RUN-OFF
- EXISTING TEE
- PROPOSED TEE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT

CATCH BASIN TABLE

STRUCTURE NO.	STRUCTURE TYPE	RIM ELEVATION	INVERT ELEVATIONS N	S	E	W
1	WELL BOX 4'X6'	7.0	2.5	2.5	–	–
2	"C"	6.0	2.5	–	2.5	
3	"C"	6.0	–	–	2.5	2.5
4	"C"	6.0	2.5	–	–	2.5
5*	12"øDB	6.0	–	3.0	–	–
6*	12"øDB	6.0	–	3.0	–	–

ø – DENOTES DIAMETER
"C" – TYPE "C" CATCH BASIN
DB – DRAIN BASIN
MH – MANHOLE

PAVING, GRADING, AND DRAINAGE
WATER AND SEWER SERVICE CONNECTIONS
PLAN

I'LL DO IT, INC
FORT LAUDERDALE, FLORIDA

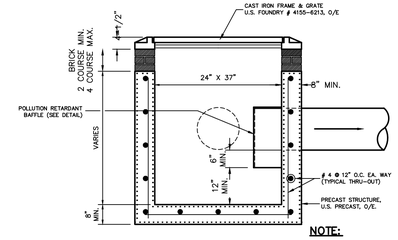
URBANA LOFTS

JOHN B. SMITH ENGINEERS, INC.
250 S.W. 6th PLACE
POMPANO BEACH, FLORIDA 33060
PHONE: (954) 763-4177
CERTIFICATE OF AUTHORIZATION NO. 1688

DESIGN	DRAWN	DATE	FILE
R.C.S.	RCS	AUG., 2018	18-148

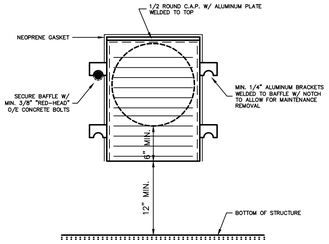
Approved By _____
Robert C. Smith, P.E.
Registered Engineer No. 31177 State of Florida

SHEET C 1 OF 3

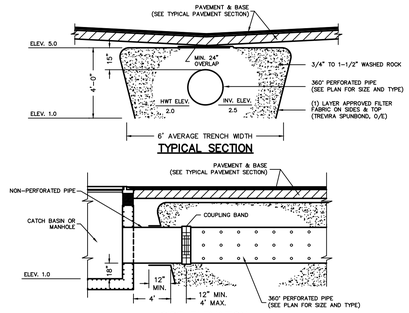


NOTE:
CONCRETE SHALL BE MIN. 4000 P.S.I. AT 28 DAYS TYPE II CEMENT

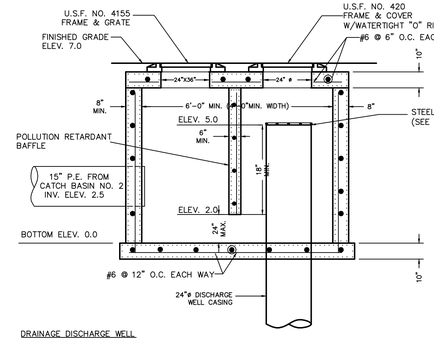
POLLUTION RETARDANT
TYPE "C" CATCH BASIN DETAIL



POLLUTION RETARDANT BAFFLE DETAIL



DRAINFIELD DETAILS(ON-SITE)



DRAINAGE DISCHARGE WELL

1. DEPTH OF WELL SHALL BE DETERMINED BY WATER QUALITY AT THE DISCHARGE LEVEL. WATER QUALITY SHALL BE MIN. OF 3,000 P.P.M. CHLORIDE AND 10,000 P.P.M. TDS. APPROX. DEPTH 80-100 FEET. WELL CONTRACTOR SHALL SUBMIT WATER QUALITY ANALYSIS CERTIFYING THAT MINIMUM WATER QUALITY PARAMETERS ARE MET.
2. LENGTH OF UNCASED PORTION OF WELL SHALL BE SUFFICIENT TO ALLOW FOR A DISCHARGE FLOW OF A MINIMUM OF 200 G.P.M./FT-HEAD BASED ON A STARTING ELEVATION OF 3.5. WELL CONTRACTOR TO SUPPLY TESTING AND CERTIFICATION AS TO WELL'S CAPACITY.
3. WELL CASING SHALL BE STANDARD WEIGHT BLACK STEEL (ASTM) A53/A53M-99b, A 135-01, A252-98, A589-96
4. WELL CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS IN THE CONSTRUCTION OF THE CLASS V WELL.
5. DRAINAGE WELL CAPACITY TEST SHALL BE WITNESSED BY THE CITY AND THE ENGINEER AND A CERTIFIED COPY SHALL BE SUPPLIED TO THE ENGINEER OF RECORD.

D R A I N A G E W E L L D E T A I L S

NOTES:

GENERAL

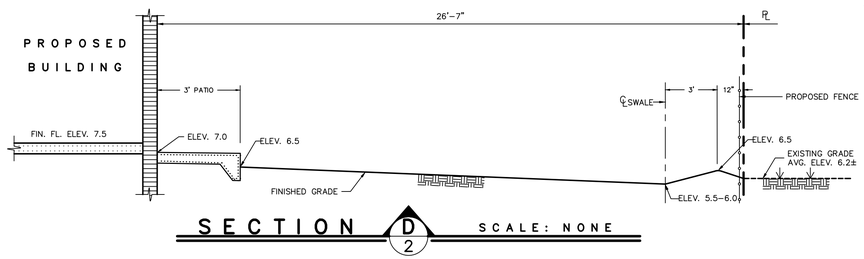
1- ALL CONSTRUCTION, MATERIALS AND INSPECTIONS SHALL COMPLY WITH CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF OAKLAND PARK, BROWARD COUNTY ENGINEERING DIVISION'S "MINIMUM STANDARDS", AND FLORIDA DEPARTMENT OF TRANSPORTATION, WHERE APPLICABLE.
2- LOCATION OF EXISTING UTILITIES ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL LOCATE AND EXPOSE PRIOR TO CONSTRUCTION ALL EXISTING UTILITIES TO BE CONNECTED TO AND BRING TO THE ATTENTION OF THE ENGINEER ANY DEVIATIONS FROM THAT AS SHOWN ON THE PLANS.
3- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL HOLD A PRECONSTRUCTION MEETING TO INCLUDE THE ENGINEER OF RECORD, CITY, AND ANY OTHER UTILITIES AND/OR AGENCIES INVOLVED.
4- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
5- ALL UTILITIES AND DRAINAGE INSTALLATIONS UNDER PROPOSED PAVEMENT SHALL BE COMPLETED PRIOR TO COMMENCING PAVEMENT SUB-GRADE CONSTRUCTION.
6- THE CONTRACTOR IS REQUIRED TO HAVE INSPECTIONS MADE ON EACH OF THE FOLLOWING ITEMS BY THE ENGINEER AND CITY:
   A) UTILITIES AND DRAINAGE
   B) SUB-GRADE
   C) ROCK BASE
   D) PRIME COAT
   E) ASPHALT
   F) FINAL
   CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO REQUESTED INSPECTIONS.
7- SHOP DRAWINGS OF ALL MATERIALS TO BE USED SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. APPROVAL FROM ALL APPROPRIATE AGENCIES SHALL BE OBTAINED PRIOR TO INSTALLATION.
8- CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION PLANS ON THE JOB SITE AT ALL TIMES.

PAVING

1- REMOVE MUCK, OVERBURDEN AND ROOT MATERIAL WITHIN 10 FEET OF ANY EDGE OF PAVEMENT OR BUILDING. BACKFILL TO REQUIRED SUB-GRADE WITH CLEAN, GRANULAR MATERIAL IN MAXIMUM 12 INCH LIFTS, COMPACTED TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-180.
2- STABILIZED SUB-GRADE (MINIMUM L.B.R. 40) SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-180.
3- LIMEROCK BASE SHALL MEET FLORIDA D.O.T. STANDARD SPECIFICATIONS, SECTION 911, AND INSTALLED PER SECTION 200. DENSITY TESTS SHALL BE TAKEN AT A MINIMUM OF EVERY 5,000 S.F. FOR EACH LIFT WITH COPIES TO THE ENGINEER FOR APPROVAL. LIMEROCK BASE TO BE PRIMED IN ACCORDANCE WITH SECTION 300. BASE SHALL HAVE A COMPACTED THICKNESS AS SPECIFIED ON THE PLAN BUT IN NO CASE LESS THAN 6 INCHES.
4- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III CONFORMING TO SECTION 311, FLORIDA D.O.T. STANDARD SPECIFICATIONS. THE MINIMUM COMPACTED THICKNESS TO BE AS NOTED ON PLANS.
5- FINISHED ROCK "AS-BUILT" GRADES BY A REGISTERED SURVEYOR SHALL BE SUBMITTED TO THE ENGINEER AND CITY FOR APPROVAL PRIOR TO PLACING ASPHALT.
6- PAVEMENT MARKINGS SHALL BE THERMOPLASTIC (T.P.) IN ACCORDANCE WITH FLORIDA D.O.T. SPECIFICATION SECTION 711. REFLECTIVE PAVEMENT MARKER (R.P.M.) SHALL BE IN ACCORDANCE WITH SECTION 706. BOTH PAVEMENT MARKINGS AND R.P.M. SHALL BE INSTALLED IN ACCORDANCE WITH THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS. ALL TRAFFIC SIGNS SHALL BE HIGH INTENSITY REFLECTIVE MATERIAL.

DRAINAGE

1- DRAINAGE PIPE SHALL BE ONE OF THE FOLLOWING:
   A) CORRUGATED POLYETHYLENE PIPE (P.E.) FABRICATED TO ASTM 405 AND AASHTO-M294. PIPE SHALL BE ADS N-12, OR APPROVED EQUAL.
   B) HELICAL CORRUGATED ALUMINUM (C.A.P.) FABRICATED TO ASTM B209 AND AASHTO-196. PIPE SHALL HAVE 2-2/3" X 1/2" CORRUGATIONS AND SHALL HAVE A MINIMUM THICKNESS OF:
      1) 24" AND SMALLER - 16 GAUGE
      2) OVER 24" - 14 GAUGE
   PIPE COUPLING BANDS SHALL BE SPLIT BANDS OF THE SAME ALLOY AS THE PIPE. POLYURETHANE OR OTHER MANUFACTURED SUPPLIED SEALANT SHALL BE USED WITH THE COUPLINGS. THE BANDS SHALL BE A MINIMUM OF 12 INCHES WIDE.
   C) REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE CLASS III AND MEET THE REQUIREMENTS OF ASTM C-76. THE PIPE JOINT SHALL BE OF THE BELL-AND-SPIGOT TYPE.
2- PRECAST DRAINAGE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF ASTM C-478 WITH A CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I. AT 28 DAYS. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO MANUFACTURE.
3- ALL CONCRETE USED SHALL DEVELOP A MINIMUM OF 3000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS.
4- CONTRACTOR SHALL PROVIDE THE ENGINEER "AS-BUILTS" OF THE PROJECT GIVING ALL HORIZONTAL DIMENSIONS AND VERTICAL INFORMATION BY A REGISTERED



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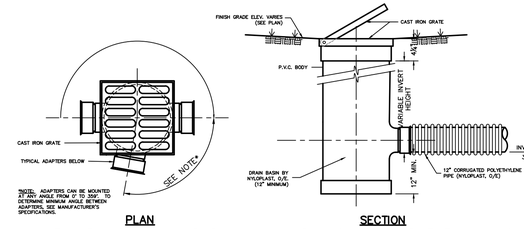
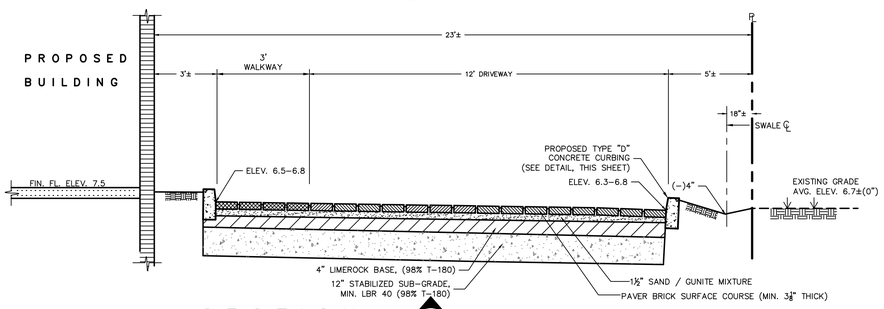


T Y P I C A L D R A I N B A S I N D E T A I L S



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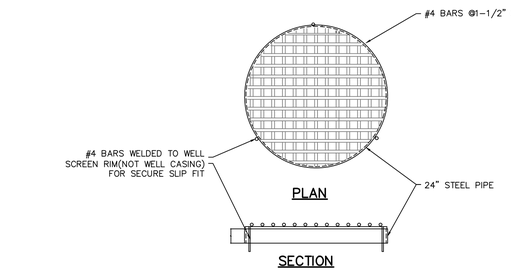
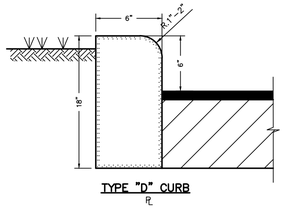
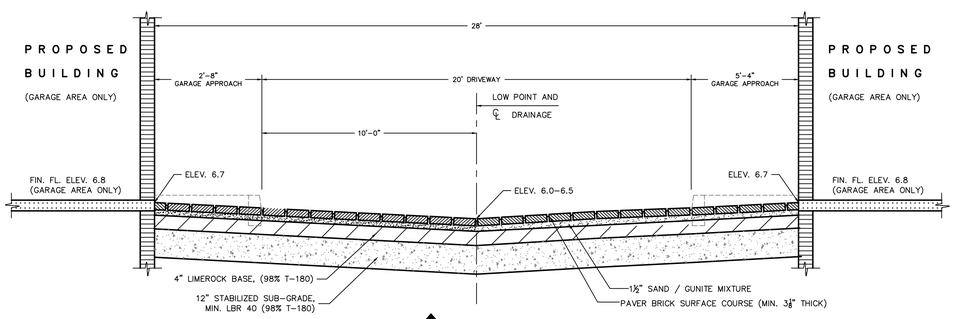


STEEL WELL GRATE DETAIL





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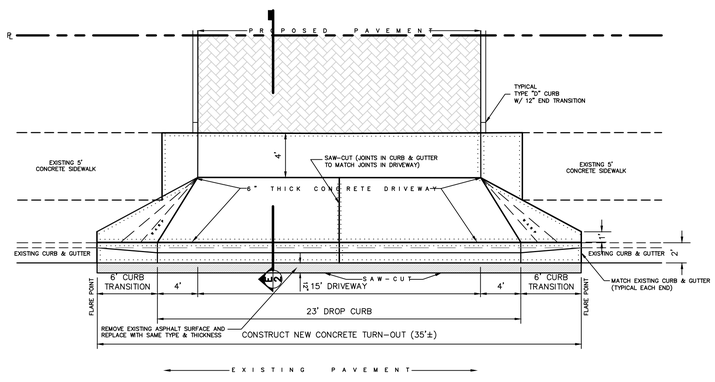
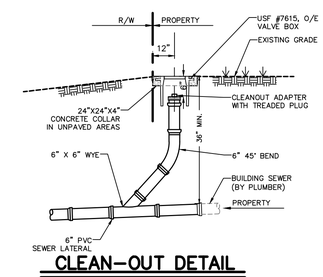
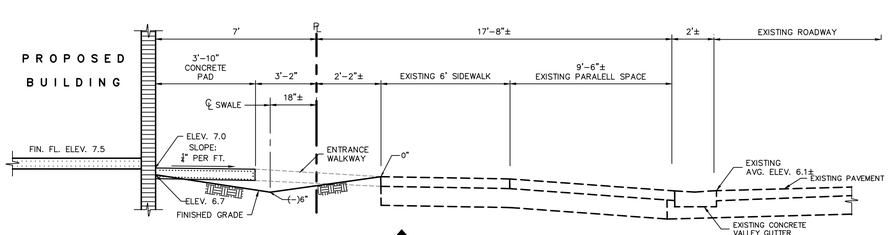


T U R N - O U T C O N S T R U C T I O N SCALE: 1"=5'

NOTE: TURNOUT CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 515



CLEAN-OUT DETAIL
SCALE: NONE



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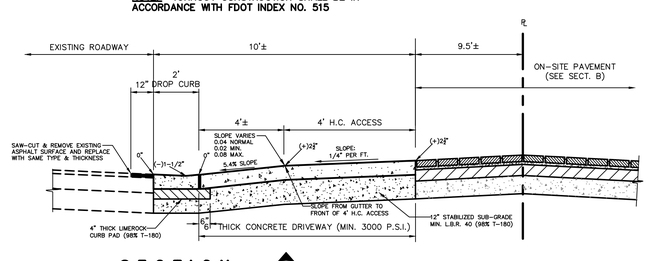
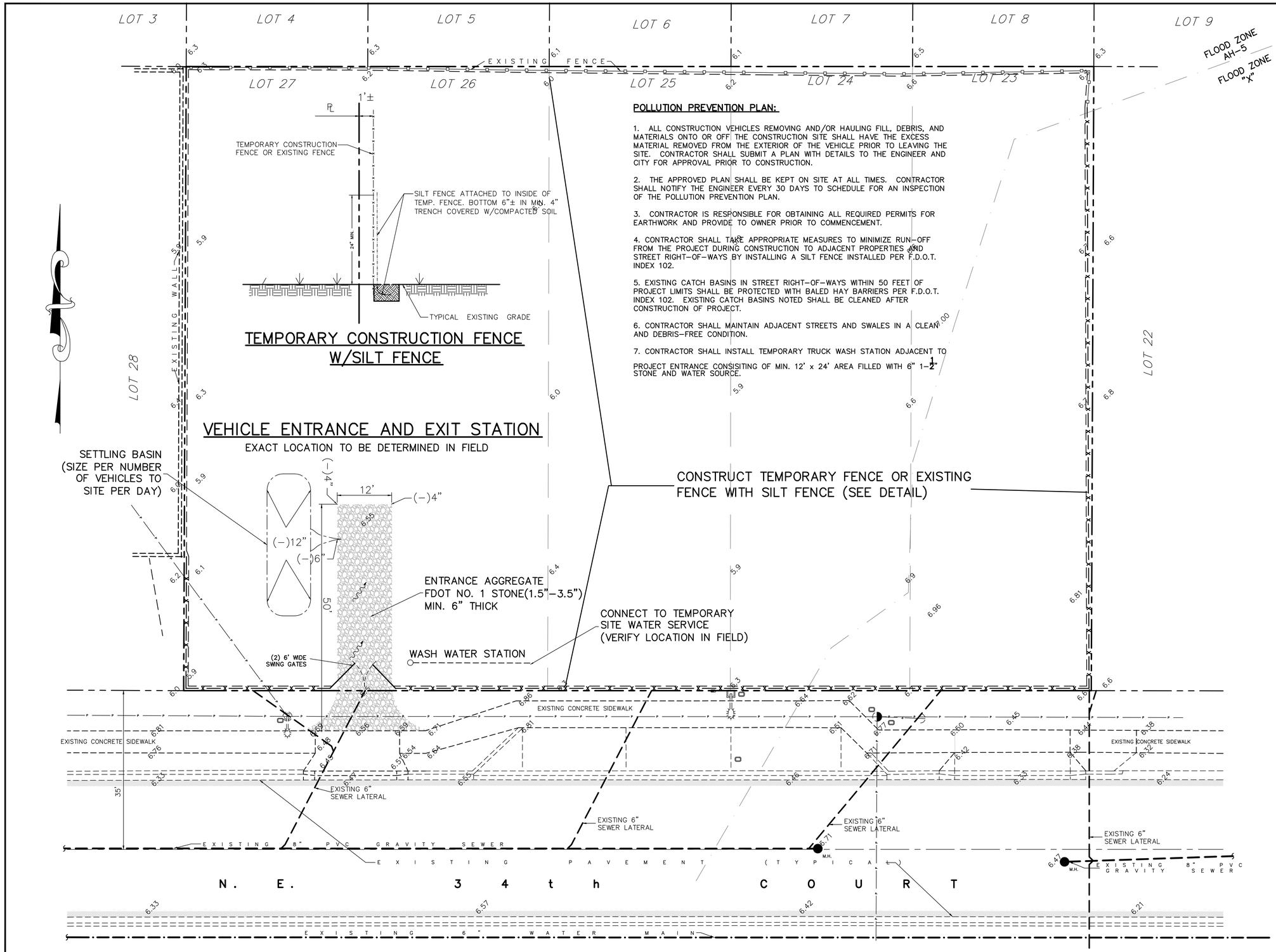


S E C T I O N E/2 SCALE: NONE

PAVING, GRADING, AND DRAINAGE WATER AND SEWER SERVICE CONNECTIONS PLAN			
I'LL DO IT, INC FORT LAUDERDALE, FLORIDA			
URBANA LOFTS			
JOHN B. SMITH ENGINEERS, INC. 250 S.W. 6th PLACE POMPANO BEACH, FLORIDA 33060 PHONE: (954) 763-4177 CERTIFICATE OF AUTHORIZATION NO. 1688			
DESIGN R.C.S.	DRAWN RCS	DATE AUG., 2018	FILE 18-148
Approved By _____ Robert C. Smith, P.E. Registered Engineer No. 31177 State of Florida			SHEET C2 OF 3



PLAN SCALE: 1"=10'

NOTES:
1. THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM – NAVD 1988

POLLUTION PREVENTION PLAN:

1. ALL CONSTRUCTION VEHICLES REMOVING AND/OR HAULING FILL, DEBRIS, AND MATERIALS ONTO OR OFF THE CONSTRUCTION SITE SHALL HAVE THE EXCESS MATERIAL REMOVED FROM THE EXTERIOR OF THE VEHICLE PRIOR TO LEAVING THE SITE. CONTRACTOR SHALL SUBMIT A PLAN WITH DETAILS TO THE ENGINEER AND CITY FOR APPROVAL PRIOR TO CONSTRUCTION.

2. THE APPROVED PLAN SHALL BE KEPT ON SITE AT ALL TIMES. CONTRACTOR SHALL NOTIFY THE ENGINEER EVERY 30 DAYS TO SCHEDULE FOR AN INSPECTION OF THE POLLUTION PREVENTION PLAN.

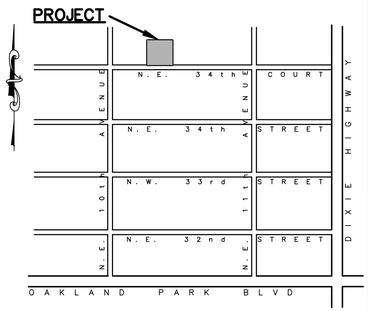
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR EARTHWORK AND PROVIDE TO OWNER PRIOR TO COMMENCEMENT.

4. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO MINIMIZE RUN-OFF FROM THE PROJECT DURING CONSTRUCTION TO ADJACENT PROPERTIES AND STREET RIGHT-OF-WAYS BY INSTALLING A SILT FENCE INSTALLED PER F.D.O.T. INDEX 102.

5. EXISTING CATCH BASINS IN STREET RIGHT-OF-WAYS WITHIN 50 FEET OF PROJECT LIMITS SHALL BE PROTECTED WITH BALED HAY BARRIERS PER F.D.O.T. INDEX 102. EXISTING CATCH BASINS NOTED SHALL BE CLEANED AFTER CONSTRUCTION OF PROJECT.

6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS AND SWALES IN A CLEAN AND DEBRIS-FREE CONDITION.

7. CONTRACTOR SHALL INSTALL TEMPORARY TRUCK WASH STATION ADJACENT TO PROJECT ENTRANCE CONSISITING OF MIN. 12' x 24' AREA FILLED WITH 6" 1-½" STONE AND WATER SOURCE.



LOCATION PLAN N. T. S.

LEGAL DESCRIPTION:
LOTS 23-27, BLOCK 47, "OAKLAND PARK 2nd ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 39, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND:

- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING SEWER MAIN
- PROPOSED SEWER MAIN
- EXISTING DRAINAGE
- PROPOSED DRAINAGE
- PROPOSED PAVER BRICK PAVEMENT
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- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- DENOTES BACTERIOLOGICAL SAMPLING POINTS

POLLUTION PREVENTION PLAN

I'LL DO IT, INC
FORT LAUDERDALE, FLORIDA

URBANA LOFTS

JOHN B. SMITH ENGINEERS, INC.
250 S.W. 6th PLACE
POMPANO BEACH, FLORIDA 33060
PHONE: (954) 763-4177
CERTIFICATE OF AUTHORIZATION NO. 1688

DESIGN	DRAWN	DATE	FILE
R.C.S.	RCS	AUG., 2018	18-148

Approved By _____
Robert C. Smith, P.E.
Registered Engineer No. 31177 State of Florida

SHEET C3 OF 3

prepared by:
McLAUGHLIN ENGINEERING COMPANY (LB#285)
1700 N.W. 64th STREET, SUITE 400
FORT LAUDERDALE, FLORIDA 33309
PHONE: (954) 763-7611
FAX: (954) 763-7615

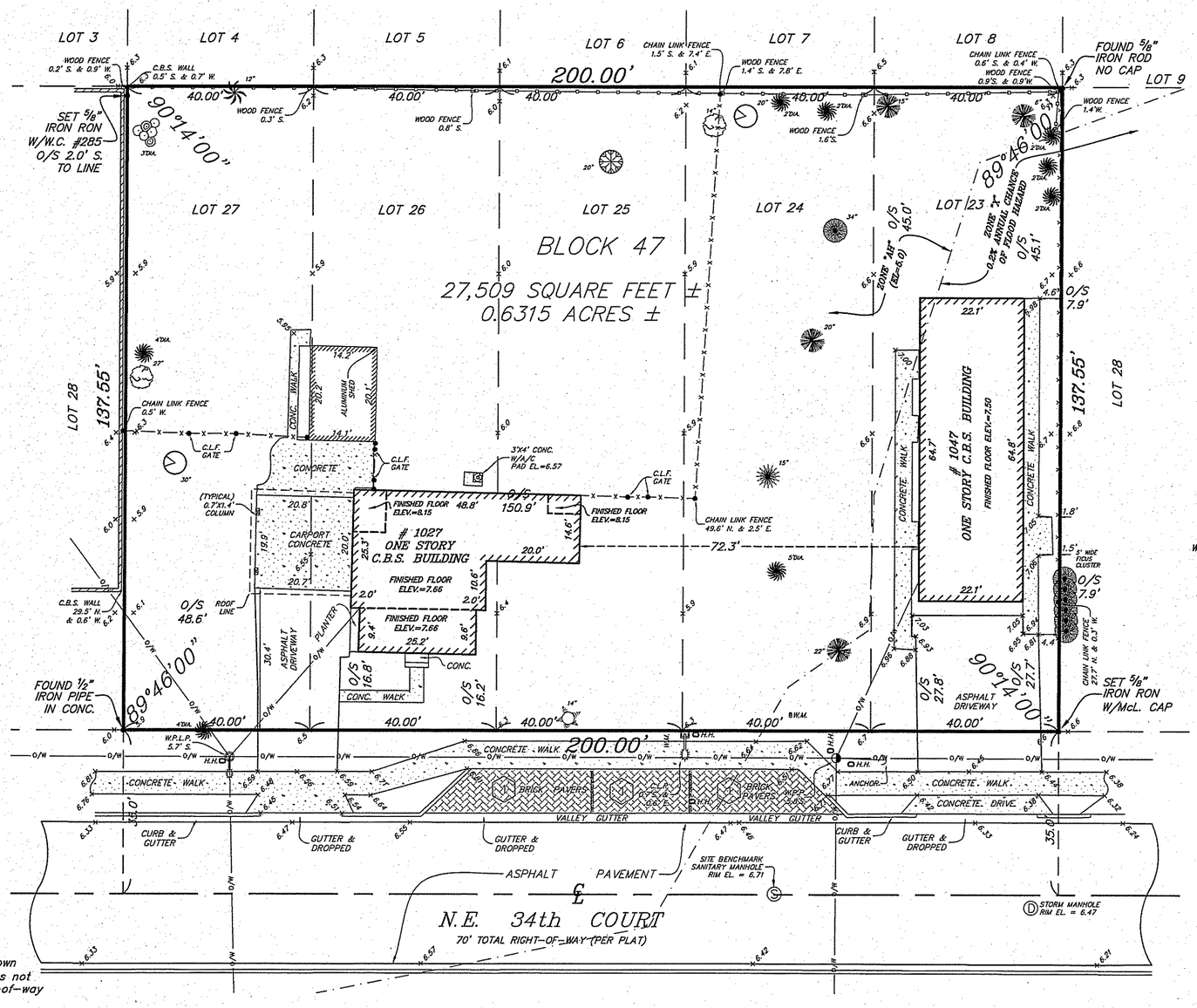
RECORD LAND SURVEY

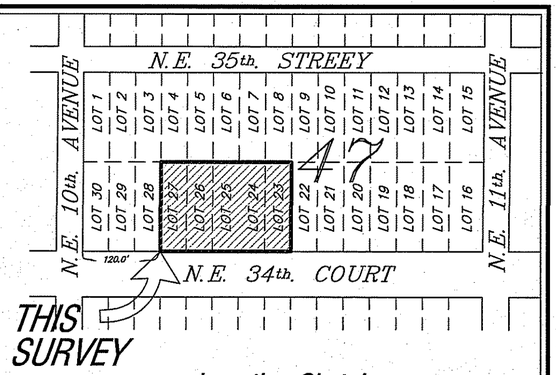
LOTS 23, 24, 25, 26, & 27 BLOCK 47, OAKLAND PARK 2nd ADDITION, PLAT BOOK 1, PAGE 39, B.C.R.

GRAPHIC SCALE

20 0 10 20 40

(IN FEET)
1 inch = 20 ft.





Location Sketch
Not To Scale

Legal Description

Lots 23, 24, 25, 26, and 27, Block 47, OAKLAND PARK SECOND ADDITION, according to the plat thereof, as recorded in Plat Book 1, Page 39, of the public records of Broward County, Florida.

Said land situate, lying and being in the City of Oakland Park, Broward County, Florida and containing 11,004 square feet or 0.2526 acres, more or less.

LEGEND

A = CENTRAL ANGLE (DELTA)
R = RADIUS
A OR L = ARC LENGTH
CH.BRG. = CHORD BEARING
CH. = CHORD
TAN. = TANGENT
TAN.BRG. = TANGENT BEARING
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.I.V. = POST INDICATOR VALVE
W/McL. CAP = WITH MCLAUGHLIN ENGINEERING CO. CAP
P.R.M. = PERMANENT REFERENCE MONUMENT
CONC. = CONCRETE
C.B.S. = CONCRETE, BLOCK AND STUCCO
I.C.V. = IRRIGATION CONTROL VALVE
DIA. = DIAMETER
W.M. = WATER METER
W.V. = WATER VALVE
W.L.P. = WOOD STREET LIGHT POLE
W.P.L.P. = WOOD POWER STREET LIGHT POLE
M.L.P. = METAL LIGHT POLE
W.P.P. = WOOD POWER POLE
B.F.P. = BACK FLOW PREVENTOR
C.A.T.V. = CABLE TV TERMINAL OR BOX
ELEC. = ELECTRIC
S.V. = SEWER VALVE
FT. = FEET
LB = LICENSE BUSINESS
F.H. = FIRE HYDRANT
S.T.L. = SURVEY TIE LINE
D.B.H. = DIAMETER AT BREAST HEIGHT
DESC. = DESCRIPTION FROM FORMER DESCRIPTION
MHW = MEAN HIGH WATER
N.S.I.D. = NORTH SPRINGS IMPROVEMENT DISTRICT
NAVD88 = NORTH AMERICA VERTICAL DATUM (1988)
ALTA = AMERICAN LAND TITLE ASSOCIATION
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
8 = PARKING SPACES

ELEV. OR EL. = ELEVATION
O/S = OFFSET
A/C = AIR CONDITIONING
℄ = CENTERLINE OF RIGHT-OF-WAY
± = MORE AND LESS
F.P.L. = FLORIDA POWER AND LIGHT CO.
S.B.T. = SOUTHERN BELL TELEPHONE
B.C.R. = BROWARD COUNTY RECORDS
M.D.C.R. = MIAMI DADE COUNTY RECORDS
P.B.R. = PALM BEACH COUNTY RECORDS
O.R.B. = OFFICIAL RECORDS BOOK
P.B. = PLAT BOOK
D.B. = DEED BOOK
PG. = PAGE
P.C. = POINT OF CURVE
P.R.C. = POINT OF REVERSE CURVE
R/W = RIGHT-OF-WAY
C/O = CLEAN OUT
H.H. = HAND HOLE
C.L.F. = CHAIN LINK FENCE
C.P.P. = CONCRETE POWER POLE
A.L.P. = ALUMINUM LIGHT POLE
C.L.P. = CONCRETE LIGHT POLE
W/F = WET FACE OF BULKHEAD
O/W = OVERHEAD UTILITY LINES
W/W.C. = WITH WITNESS CAP # 285
CO. = COMPANY
NO. = NUMBER
INV. = INVERT
MAG. = MAGNET
MEAS. = FIELD MEASURE
CALC. = CALCULATED
MISC. = MISCELLANEOUS
P.C.D. = POLLUTION CONTROL DEVICE
DIA = DIAMETER
NGVD29 = NATIONAL GEODETIC VERTICAL DATUM (1929)
P.I. = POINT INTERSECTION
NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
= HANDICAPPED PARKING SPACE

TREE SYMBOLS

INDICATES DIAMETER± (D.B.H.)
PINE TREE
PALM CLUSTER
FICUS TREE
OAK TREE
MANGO
ARBOR VITAE

NOTES:

1) This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements road reservations or rights-of-way of record by McLaughlin Engineering Company.

2) Underground improvements if any not located.

3) Boundary survey information does not infer Title or Ownership.

4) Reference Bench Mark: Broward County Engineering Department, BM # 0581, Elevation= 7.390 (NGVD29) converted to 5.800 (NAVD88).

5) Elevations shown refer to North American Vertical Datum (1988), and are indicated thus+ 6.33 , Elev. = 6.33

6) This property lies in Flood Zones "AH", Elev.=5.0 and "X", 0.2% Annual Chance of Flood Hazard Per Flood Insurance Rate Map No. 12011C0367 H, Dated: August 18, 2014. Community Panel No. 120050.

7) Underground Utility locations shown hereon, if any, are based upon paint marks on the ground provided by others. McLaughlin Engineering Company did not confirm the accuracy of this data. The exact location of all utilities should be confirmed prior to design or construction.

8) Elevations per North American Vertical Datum (1988) derived from National Geodetic Vertical Datum (1929) data and converted using U.S. Army Corps of Engineers software (Corpscon 6.0.1) obtained from http://www.tech.army.mil/

CERTIFIED TO:

Robert Saporiti
Ralph Disalvo
Chicago Insurance Company;
Coral Ridge Title Co.;
Tyler A. Gold P.A.

CERTIFICATION

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 14th day of June, 2018.
Topography added this 25th day of July, 2018.

McLAUGHLIN ENGINEERING COMPANY

JERALD A. McLAUGHLIN
Registered Land Surveyor No. 5269
State of Florida.

"NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL"

FILE NO.: 18-2-049

FIELD BOOK NO. LB# 373/18, TDS, PRINT
JOB ORDER NO. V-3393, V-3590

FILE NO.: 18-2-049

CHECKED BY:
DRAWN BY: KT

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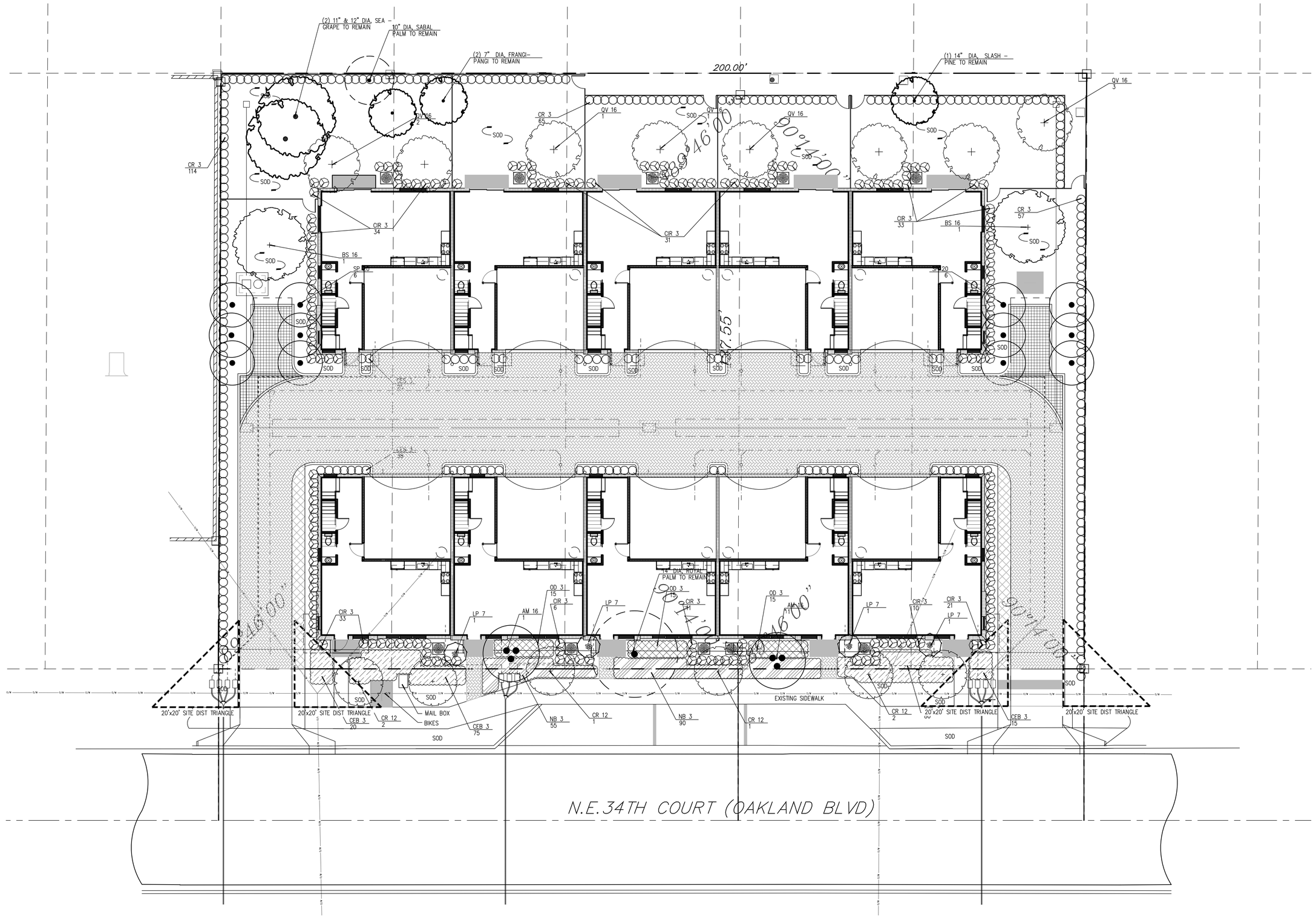

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URBAN LOFTS
1027 - 1047 NE 34TH COURT
OAKLAND PARK, FLORIDA
LANDSCAPE PLAN

DATE: 09-03-18
DRAWN BY: GWK

SCALE: 1/8"=1'-0"

REVISIONS:
1. SITE/LS/PLANTS 01/05/19
2. P&Z 03/23/19

SEAL:

SHEET:
LS-1

PLANTING NOTES

SPECIES AND SIZE shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, 1942 edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly knit plant, so trained or favored in its development that first appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

GENERAL REQUIREMENTS

All plants shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted form the plant list, the plants furnished shall be normal for the variety. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

SOIL

Planting soil for use in preparing backfill for plant pits shall be added at a rate of seventy–five (75%) percent to twenty–five (25%) percent existing soil. This soil mix shall be used in all plant pits except Sabal palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and shall be gfree from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses (such as Bermuda or nut grass) and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

COMMERCIAL FERTILIZER

Two fertilizer shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the Manufacturer's statement of analysis, and shall meet the following requirements: sixteen (16%) percent nitrogen, seven (7%) percent phosphorus, twelve (12%) percent potassium, plus iron. Tablet fertilizer ("Agriform" or equal) in 21 gram size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorous, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:

PLANT SIZE	16–7–12	"AGRIFORM" TABLET (21 Grams)
1 gal.	1/4 lb.	1
3 gal.	1/3 lb.	2
7–15 gal.	1/2 lb.	4
1"–6" caliper	2 lbs./1" caliper	2/1" caliper
6" and larger	3 lbs./1" caliper	2/1" caliper

"Florida East Coast Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper unless otherwise specified.

MULCH

Mulch material shall be three (3) inches of shredded NON CYPRESS mulch (sterilized and free of seeds) or approved equal, moistened at the time of application to prevent wind displacement.

SUBSTITUTIONS

No substitutions of plant material types or size will be allowed without written consent of the Landscape Architect. B&B material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.

CONTAINER GROWN STOCK

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The plants shall have tops which are good quality and in a healthy growing condition.

An established container grown plant shall be grown in that cotainer sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.

MISC. NOTES

All plant material, unless specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of PLant Industry.

All plant materials and sod shall have an automatic irrigation system providing 100% coverage. – Maintain positive drainage away from residence.

All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan. Landscape Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscape Architect.

Landscape Contractor will be responsible for obtaining all necessary permits, licences, inspections, and insurance as required by the State and local agencies.

PLANT MATERIAL SCHEDULE

SYM	BOTANICAL NAME	DESCRIPTION	SPECIFICATION	NATIVE
AM 16	ADONIDIA MERILLII	ADONIDIA PALM - TRIPLE	16' c.t. = 3 canes	
BS 16	BURSERA SIMARUBA	GUMBO LIMBO TREE	16' o.a. ht., 8' spr. 8' c.t.	Y
CEB 3	CARISSA MICROCARPA	EMERALD BLANKET CARISSA	3 gal., 18" ht., 18" spr., 18" o.c.	
CES 3	COCOCARPUS ERECTUS	SILVER BUTTONWOOD	3 gal. 24" ht., 24" o.c. full	Y
CIR 3	CHRYSOBALANUS ICACO	RED TIP COCOPLUM	3 gal. 24" ht., 24" o.c. full	Y
CR 3	CLUSIA ROSEA	CLUSIA HEDGE	3 gal. 24" ht., 24" o.c. full	Y
CR 12	CLUSIA ROSEA DWF	DWF. CLUSIA STANDARD	12' o.a. ht., 6' spr.	
LP 7	RAPHIS EXCELSA	RAPHIS PALM	15 gal., multi stem full	
NB 3	NEPHROLEPSIS BISSERATA	SWORD FERN	3 gal., 18" ht., 18" spr., 18" o.c.	Y
OD 3	ODONTENEMA STRICTA	PURPLE FIRE SPIKE	3 gal., 18" ht., 18" spr., 24" o.c.	
QV 16	QUERCUS VIGINIANA	LIVE OAK	16' o.a. ht., 8' spr. 8' c.t.	Y
SOD	ST AUGUSTINE SOD	STENOTAPHRUM SECUNDATUM	Weed free solid staggered sod	
SP 20	SABAL PALMETTO	SABAL PALM - BOOTED	20' c.t., matched - booted	Y

DATA TABLE

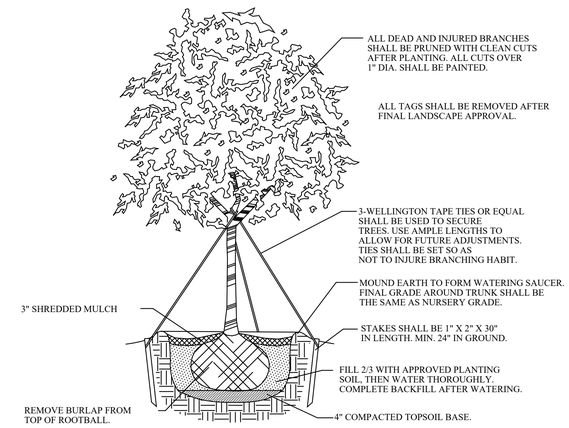
LANDSCAPE REQUIREMENT TABLE

1. TOTAL SITE TREES
   REQUIRED = 1/4000. 27509 / 4000 = 7 TREES REQUIRED
   PROVIDED = 2 EXIST. SEAGRAPE. 5, NEW QV16 PROVIDED
   2= EXISTING FRANGI PANGI

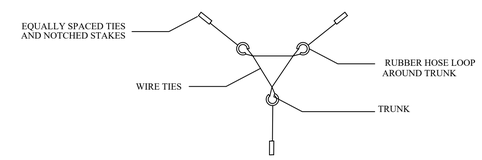
2. PARKING
   REQUIRED = 1 TREE / SPACE = 2 TREES REQUIRED
   PROVIDED = 2, BS16 PROVIDED

3. PERIMETER
   REQUIRED = 1 TREE / 40 L.F. 675' / 40 = 17 TREES REQUIRED
   PROVIDED: 6, CL12
   2, AM16
   3 QV16
   12, SP20 = 4
   1 EXIST. 10" SABAL
   1 EXIST. 15" SLASH PINE
   17 TOTAL TREES PROVIDED

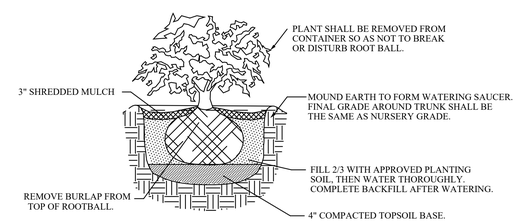
PLANT DETAILS



PLANTING AND STAKING DETAIL-UP TO 6" CALIPER

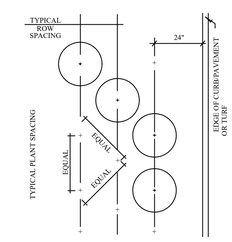


MULTI-TRUNK PLAN



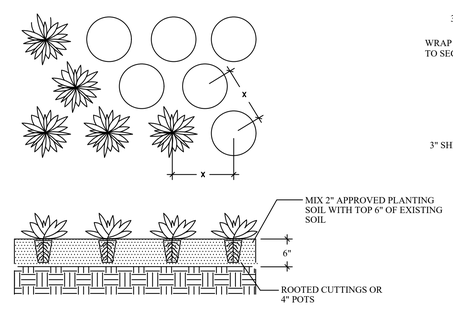
PLANTING DETAIL–CONTAINER GROWN SHRUBS

SHRUB PLANTING DETAIL

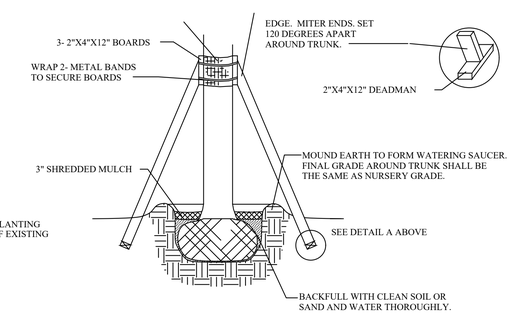


PLANT SPACING	ROW SPACING
12"	10.4"
18"	15.6"
24"	20.8"
30"	26.0"
36"	31.2"
48"	41.6"
60"	52.0"

PLANT: TRIANGULAR SPACING



PLANTING DETAIL-GROUNDCOVER BEDS



PLANTING AND STAKING DETAIL-PALMS

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URBAN LOFTS
1027 - 1047 NE 34TH COURT
OAKLAND PARK, FLORIDA
LANDSCAPE NOTES / DETAILS

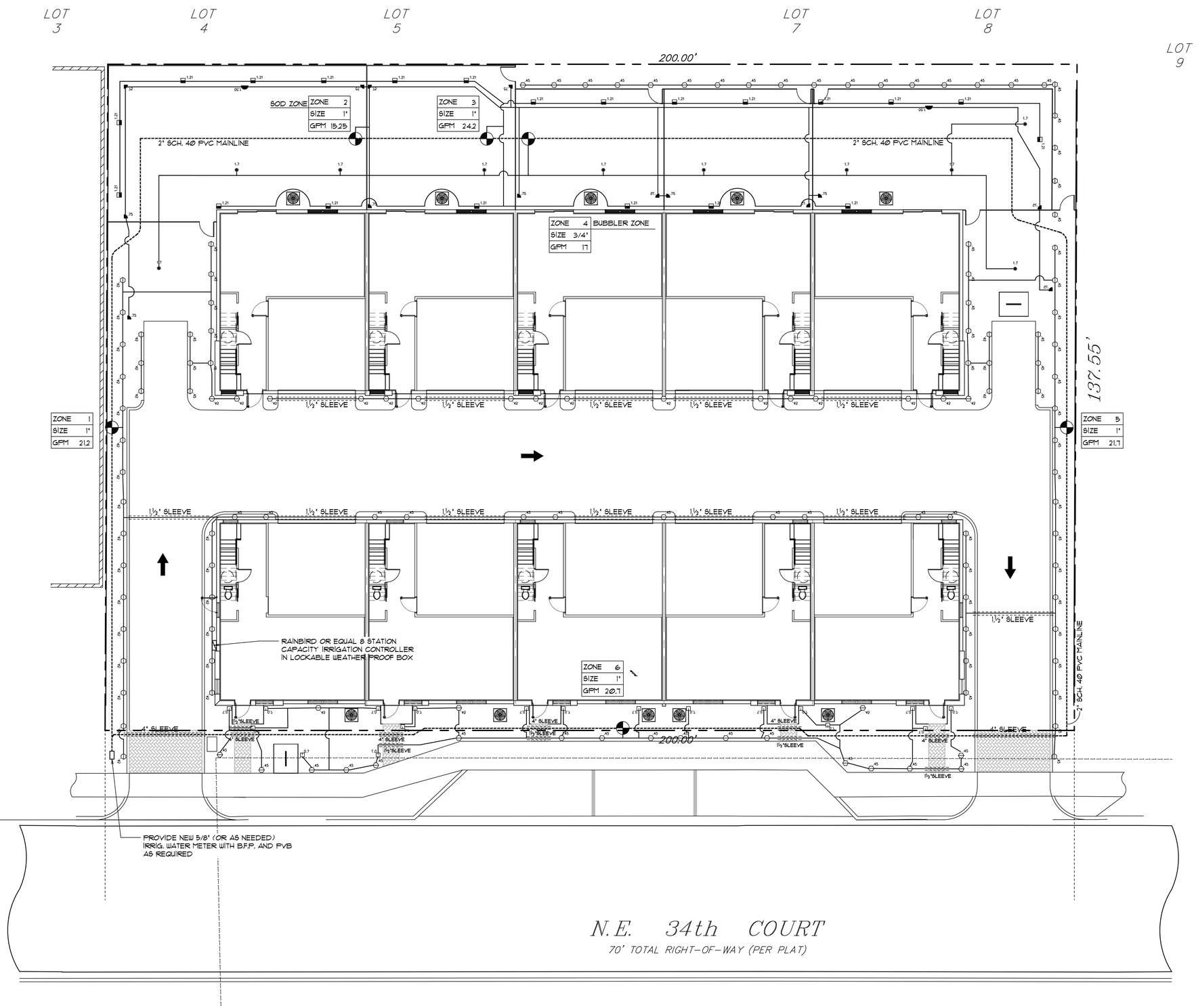
DATE: 09-03-18
DRAWN BY: GWK

SCALE: N.T.S.

REVISIONS:
1. SITE/LS/PLANTS 01/05/19

SEAL:

SHEET:
LS-2



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URBAN LOFTS
1027 - 1047 NE 34TH COURT
OAKLAND PARK, FLORIDA

IRRIGATION PLAN

DATE: 09-03-18
DRAWN BY: GWK

SCALE: 1/8"=1'-0"

REVISIONS:

SEAL:

SHEET:
IR-1

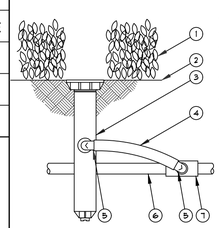
	RAINBIRD 1800 18 VAN 360 DEG. SPRAY
	RAINBIRD 1800 18 VAN 270 DEG. SPRAY
	RAINBIRD 1800 18 VAN 180 DEG. SPRAY
	RAINBIRD 1800 18 VAN 90 DEG. SPRAY
	RAINBIRD 1800 15 VAN 360 DEG. SPRAY
	RAINBIRD 1800 15 VAN 270 DEG. SPRAY
	RAINBIRD 1800 15 VAN 180 DEG. SPRAY
	RAINBIRD 1800 15 VAN 90 DEG. SPRAY
	RAINBIRD 1800 12 VAN 360 DEG. SPRAY
	RAINBIRD 1800 12 VAN 270 DEG. SPRAY
	RAINBIRD 1800 12 VAN 180 DEG. SPRAY
	RAINBIRD 1800 12 VAN 90 DEG. SPRAY
	RAINBIRD 1800 10 VAN 360 DEG. SPRAY
	RAINBIRD 1800 10 VAN 270 DEG. SPRAY
	RAINBIRD 1800 10 VAN 180 DEG. SPRAY
	RAINBIRD 1800 10 VAN 90 DEG. SPRAY
	RAINBIRD 1800 8 VAN 360 DEG. SPRAY
	RAINBIRD 1800 8 VAN 270 DEG. SPRAY
	RAINBIRD 1800 8 VAN 180 DEG. SPRAY
	RAINBIRD 1800 8 VAN 90 DEG. SPRAY
	RAINBIRD 1800 4 VAN 360 DEG. SPRAY
	RAINBIRD 1800 4 VAN 270 DEG. SPRAY
	RAINBIRD 1800 4 VAN 180 DEG. SPRAY
	RAINBIRD 1800 4 VAN 90 DEG. SPRAY
	RAINBIRD 1800 - 15' END STRIP SPRAY
	RAINBIRD 1800 - 15' SIDE STRIP SPRAY
	RAINBIRD 1800 - 15' CENTER STRIP SPRAY
	RAINBIRD PGA SERIES, ELEC. ZONE VALVE, SEE PLAN FOR SIZE
	PVC SLEEVE, SEE DETAIL FOR INSTALLATION SPEC'S.
	RAINBIRD OR EQUAL 8 STATION IRRIGATION CONTROLLER
	PVC MAIN LINE TO BE 2" SCHEDULE 40

CONTROLLER LOCATION AT HOUSE WALL BY OWNER OR G.C.
FIELD VERIFY METER LOCATION, SIZE AND CAPACITY.
FIELD LOCATE ALL UTILITIES

IRRIGATION SYMBOL LEGEND

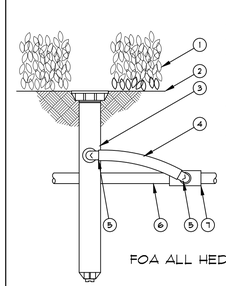
IRRIGATION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UNDERGROUNG UTILITIES TO VERIFY LOCATIONS. THE CONTRACTOR SHOULD VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ALSO STATE AND/OR LOCAL CODES.
3. IRRIGATION PLANS ARE SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. ALL PIPING BELOW PAVEMENT SHALL BE SLEEVED. LAYOUT OF IRRIGATION SYSTEM SHALL BE COORDINATED WITH CORRESPONDING LANDSCAPE PLAN.
4. SPRINKLER LOCATIONS ADJACENT TO PAVEMENT, STRUCTURES, FENCES, ETC. SHALL BE OFFSET AS FOLLOWS: 12" MIN FOR POP-UP MIST HEADS, 18" FOR SHRUB RISERS, 18" FOR ROTOR HEADS, AND TYPICALLY 5 FEET FOR ROTORS ALONG UNCURBED ROADWAYS.
5. ALL HEADS ON RISERS SHALL BE SET AT THE HEIGHT OF ADJACENT PLANT MATERIAL.
6. PIPING IN NARROW PLANTING AREAS, PARKING ISLANDS AND PLANTERS SHALL BE SET TO ONE SIDE TO ALLOW ROOM FOR ROOT BALLS. PIPE AS INDICATED ON PLAN IS SCHEMATIC AND SHOULD BE ADJUSTED FOR FIELD CONDITIONS.
7. PIPING SHALL BE SIZED TO MINIMIZE FRICTION LOSS AND MAINTAIN FLOW VELOCITY BELOW 5 FPS.
8. ALL SLEEVING SHALL BE SCH 40 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN SUPPLY LINE CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 24" BELOW FINISH GRADE.
9. THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR SHALL BE INSTALLED TO OVER-RIDE THE CONTROLLER.
10. CONTROL WIRES SHALL BE UL APPROVED PE IRRIGATION CONTROL WIRE. USE 14 GAGE CONTROL WIRE AND 12 GAGE GROUND WIRE. WIRE SHALL BE BUNDLED AND ATTACHED TO THE MAIN LINE IN TRENCH OR THROUGH WIRE SLEEVES AT PAVEMENT CROSSINGS 24" BELOW FIN. GRADE. ALL SPLICES SHALL BE MADE WITH WATERPROOF DIRECT-BURIAL SPLICE KITS AND CONTAINED IN VALVE BOXES. TWO EXTRA CONTROL WIRES SHALL BE INSTALLED TO THE FURTHEST VALVES IN EACH DIRECTION FROM THE CONTROLLER.
11. VALVE LOCATIONS ARE SCHEMATIC ONLY AND WILL BE ADJUSTED FOR SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A AMETEK OR CARSON VALVE BOX. THE FLOW ADJUSTMENT FEATURE WILL BE USED TO BALANCE PRESSURE THROUGHOUT THE SYSTEM.
12. WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
13. SYSTEM PIPE SIZE ¾" SHALL BE CLASS 200 PVC; SYSTEM PIPE SIZE 1" OR GREATER SHALL BE CLASS 160 PVC. SYSTEM MAIN WILL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN. ALL FITTINGS WILL BE SOLVENT WELD SCH 40 PVC. MAIN LINE SHALL HAVE 24" MINIMUM COVER; ALL OTHER PIPING WILL HAVE 12" MIN. COVER. ALL BACKFILL FOR PIPE TRENCHES SHALL BE CLEAN AND FREE OF FOREIGN DEBRIS AND SHARP OBJECTS; BACKFILLED TRENCHES SHALL BE PROPERLY COMPACTED. ALL MAIN LINES WILL BE INSTALLED A MIN. OF 3' FROM ANY TREE OR PALM.
14. IRRIGATION CONTRACTOR SHALL PROVIDED A RAIN-SWITCH AUTOMATIC SHUT-OFF DEVICE.
15. ALL GLUE JOINTS SHALL BE CLEANED, SANDED, AND TREATED WITH A COLORED HIGH ETCH PRIMER AND JOINED USING A SOLVENT CONFORMING WITH ASTM D2564.
16. AS-BUILT DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR AND GIVEN TO THE OWNER PRIOR TO FINAL ACCEPTANCE.
17. IRRIGATION CONTACTOR SHALL INSTALL 4" POP-UPS FOR ALL LAWN AREA, 12" POP UPS FOR ALL SHRUB AREAS, 6" POP UPS FOR GROUND COVER, AND 12"'RISERS FOR ALL HEDGE AREAS. IRRIG. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE PLAN FOR CORRECT HEIGHTS AND HEAD PLACEMENT.
18. IRRIGATION CONTRACTOR SHALL CONECT SYSTEM TO EXISTING WATER METER AND B.F.P. LOCATED ON PLAN, WITH RAIN SENSOR AND RUST INHIBITOR SYSTEM. TIME CLOCK SHALL BE A RAINBIRD OR EQUAL 8 STATION CONTROLLER, LOCATION AS DETERMINED BY OWNER ON RESIDENCE WALL IN WEATHERPROOF BOX.
19. IRRIGATION SYSTEM SHALL INCORPORATE A RAINBIRD MINI-CLICK RAIN SENSOR – AUTOMATIC SHUT OFF DEVICE LOCATED AT THE ROOF FASCIA BY THE IRRIGATION CONTRACTOR
20. IRRIGATION CONTRACTOR SHALL INSTALL ALL IRRIG. HEADS A MINIMUM OF 4" FROM ALL EDGES OF PAVEMENT AND A MINIMUM OF 12" FROM ALL BUILDING WALLS.



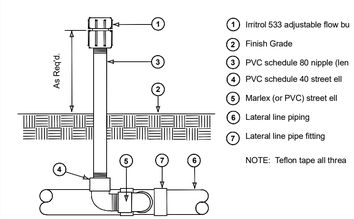
FOR ALL GROUND COVER AREAS

6" POP-UP SPRAY/ROTARY SPRINKLER

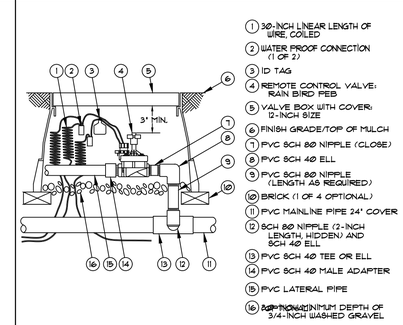


FOA ALL HEDGE AREA

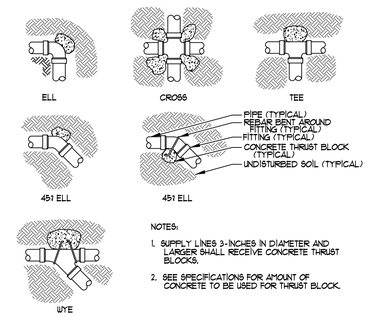
12" POP-UP SPRAY/ROTARY SPRINKLER



IRRITROL FLOOD BUBBLER

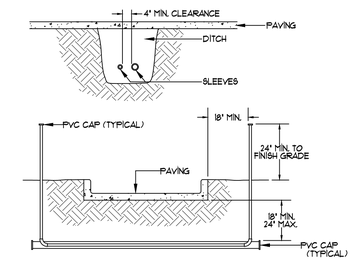


REMOTE CONTROL VALVE



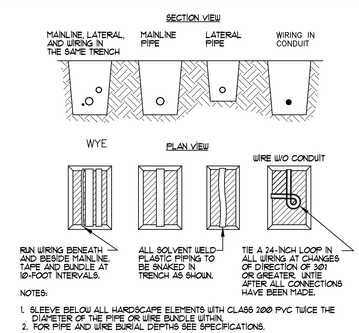
NOTES:
1. SUPPLY LINES 3-INCHES IN DIAMETER AND LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS.
2. SEE SPECIFICATIONS FOR AMOUNT OF CONCRETE TO BE USED FOR THRUST BLOCK.

THRUST BLOCK



NOTES:
1. ALL PVC IRRIGATION SLEEVES TO BE CLASS 200 PIPE.
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
4. MECHANICALLY TAMP TO 95% PROCTOR.

SLEEVING



NOTES:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH CLASS 200 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
2. FOR PIPE AND WIRE BURIAL DEPTHS SEE SPECIFICATIONS.

PIPE & WIRE TRENCHING

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GEORGE KEEN
LANDSCAPE•ARCHITECT
15 SE 9TH AVENUE
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FLORIDA 33301
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URBAN LOFTS
1027 - 1047 NE 34TH COURT
OAKLAND PARK, FLORIDA

IRRIGATION NOTES

DATE: 09-03-18
DRAWN BY: GWK

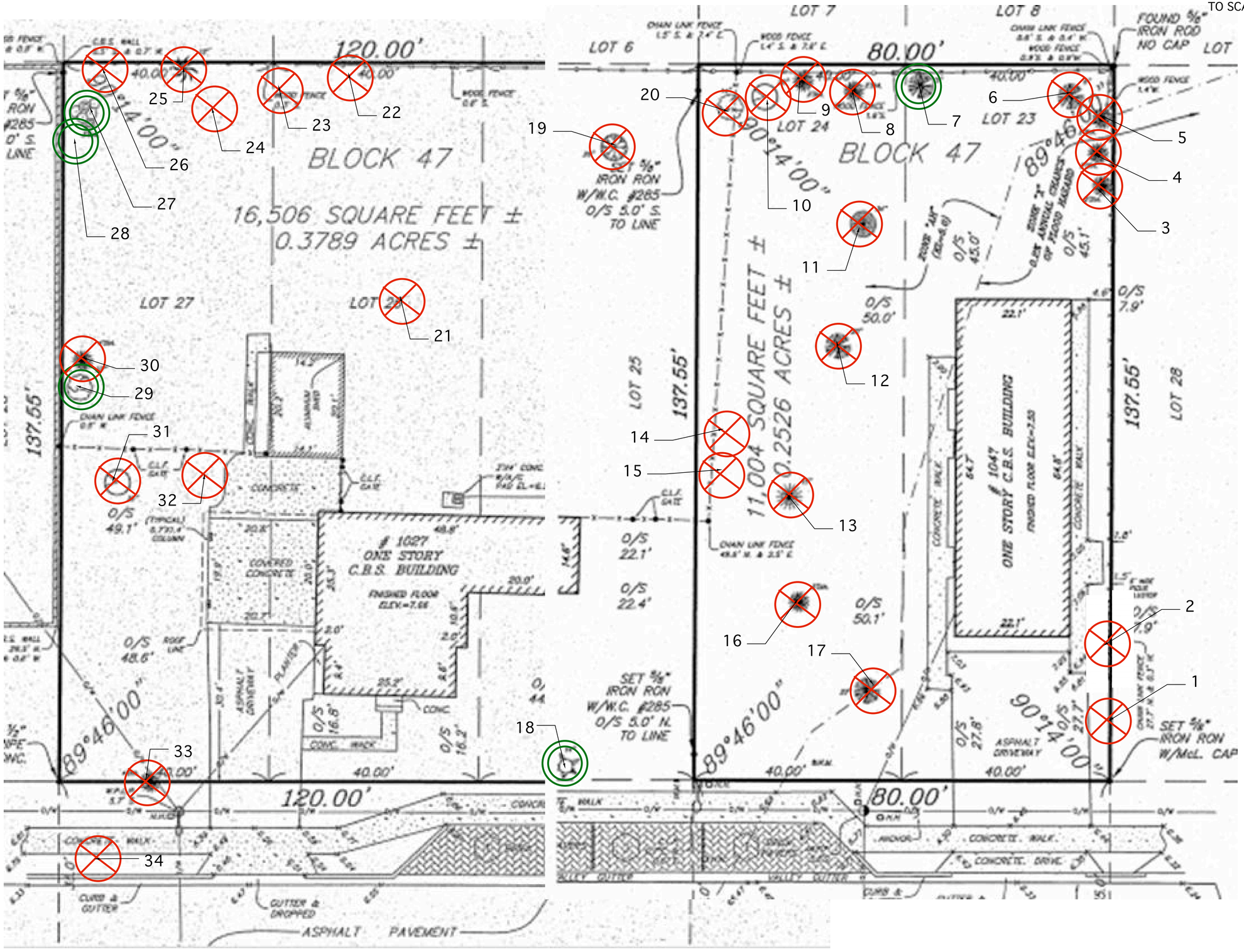
SCALE: N.T.S.

REVISIONS:

SEAL:

SHEET:
IR-2

NOTE: TREE LOCATIONS ARE APPROXIMATE. NOT TO SCALE.



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Urbana Lofts
1027 to 1047 NE 34th Court, Oakland Park, FL

TREE DISPOSITION PLAN

DATE: 08/20/2018
DRAWN BY: GWK

SCALE: NTS

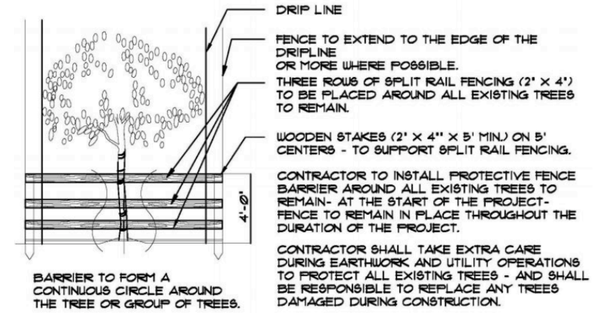
REVISIONS:

SEAL:

SHEET:
TD-1

Tree #	Common Name	Botanical Name	DBH (inches)	Height (feet)	Canopy Diameter (feet)	Condition	Notes	Proposed Action
1	Pink Tababuia	*Tababuia heterophylla*	3	13	6	Fair	Codominance.	Remove
2	Strangler Fig	*Ficus aurea*	80	30	45	Fair	Codominance. Decay.	Remove
3	Areca Palm	*Dypsis lutescens*	10	8CT 13OA	7	Good		Remove
4	Areca Palm	*Dypsis lutescens*	20	14CT 16OA	10	Good		Remove
5	Areca Palm	*Dypsis lutescens*	15	14CT 16OA	8	Good		Remove
6	Norfolk Island Pine	*Araucaria heterophylla*	7	22	10	Fair	Invasive.	Remove
7	Slash Pine	*Pinus elliottii*	16.5	45	20	Poor	Scaffold loss with sparse crown.	Remain
8	Areca Palm	*Dypsis lutescens*	8	5CT 8OA	10	Good		Remove
9	Areca Palm	*Dypsis lutescens*	20	14CT 16OA	18	Good		Remove
10	Lychee	*Litchi chinensis*	25.5	25	25	Fair	Codominance.	Remove
11	Strangler Fig	*Ficus aurea*	50	30	45	Fair	Codominance. Decay.	Remove
12	Slash Pine	*Pinus elliottii*	21	45	35	Fair	Girdling root.	Remove
13	Southern Redcedar	*Juniperus silicicola*	15	17	22	Fair	Some dieback.	Remove
14	Areca Palm	*Dypsis lutescens*	8	5CT 8OA	10	Good		Remove
15	Areca Palm	*Dypsis lutescens*	15	10CT 11OA	18	Good		Remove
16	Areca Palm	*Dypsis lutescens*	10	5CT 8OA	10	Good		Remove
17	Norfolk Island Pine	*Araucaria heterophylla*	24	25	22	Fair	Codominance. Invasive.	Remove
18	Royal Palm	*Roystonea regia*	14	35CT 45OA	25	Good		Remain
19	Coccoloba spp	*Coccoloba spp*	25	23	40	Fair	Multistem codominance with weak connections and some dieback.	Remove
20	Laurel Oak	*Quercus laurifolia*	15	27	25	Fair	Codominance in lower half.	Remove
21	Avocado	*Persea americana*	8	16	15	Poor	Poor wound response and decay. Recommend removal.	Remove
22	Areca Palm	*Dypsis lutescens*	15	8CT	10	Fair	Cane loss in the center makes it appear as two trees.	Remove
23	Frangipangi	*Plumeria rubra*	7	9	14	Good		Remove
24	Frangipangi	*Plumeria rubra*	7	9	14	Good		Remove
25	Sabal Palm	*Sabal palmetto*	11	12CT 21OA	14	Fair	Being strangled by Ficus. Remove Ficus.	Remove
26	Carrotwood	*Cupaniopsis anacardiodes*	8	14	10	n/a	Invasive	Remove
27	Seagrape	*Coccoloba uvifera*	11	18	15	Fair	Multistem	Remain
28	Seagrape	*Coccoloba uvifera*	12	16	15	Fair	Multistem	Remain
29	Black Olive	*Bucida buceras*	30	40	30	Poor	In decline. Recommend removal.	Remain
30	Areca Palm	*Dypsis lutescens*	20	11CT 14OA	10	Good		Remove
31	Mango Tree	*Mangifera indica*	48	30	45	Fair	Codominant stems. Abnormal growth at the base. Some small twig dieback.	Remove
32	Areca Palm	*Dypsis lutescens*	8	8CT 13OA	8	Fair	Cane dieback.	Remove
33	Areca Palm	*Dypsis lutescens*	35	12CT 14OA	20	Good		Remove
34	Crape Myrtle	*Lagerstroemia spp*	3.5	17	11	Good		Remove

Tree Data provided by Erin
Santiago, ISA Arborist FL-5705A.
(954) 947-1087



TREE PROTECTION DETAIL

N.T.S.

NOTE: TREE LOCATIONS ARE APPROXIMATE. NOT TO SCALE.

NOTE: TREES ADJACENT TO UTILITY TRENCHES MAY REQUIRE BRACING TO ENSURE STABILITY. CONTRACTOR TO VERIFY TREE STABILITY AFTER TRENCH EXCAVATION AND CONFIRM WITH LANDSCAPE ARCHITECT FOR APPROVAL.

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