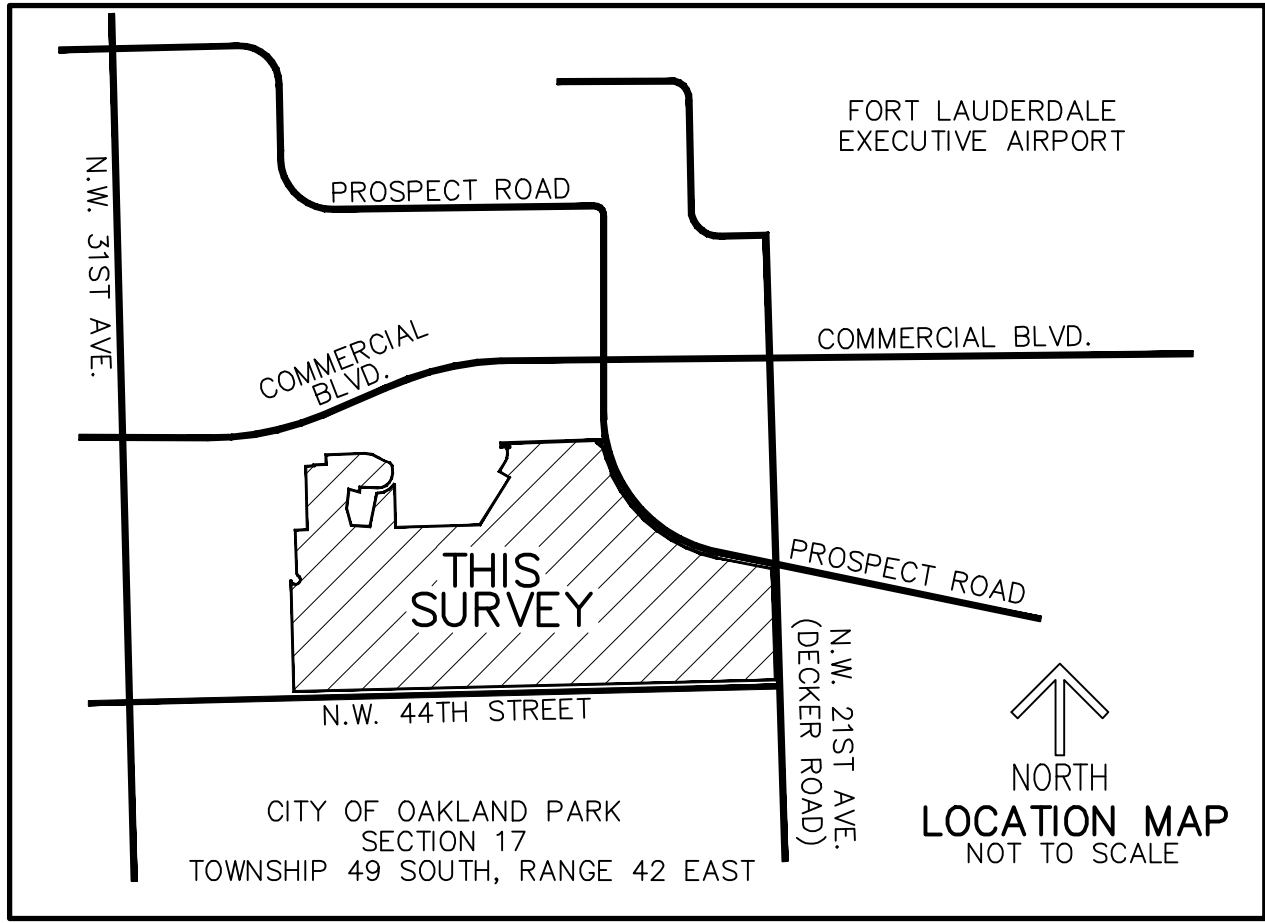
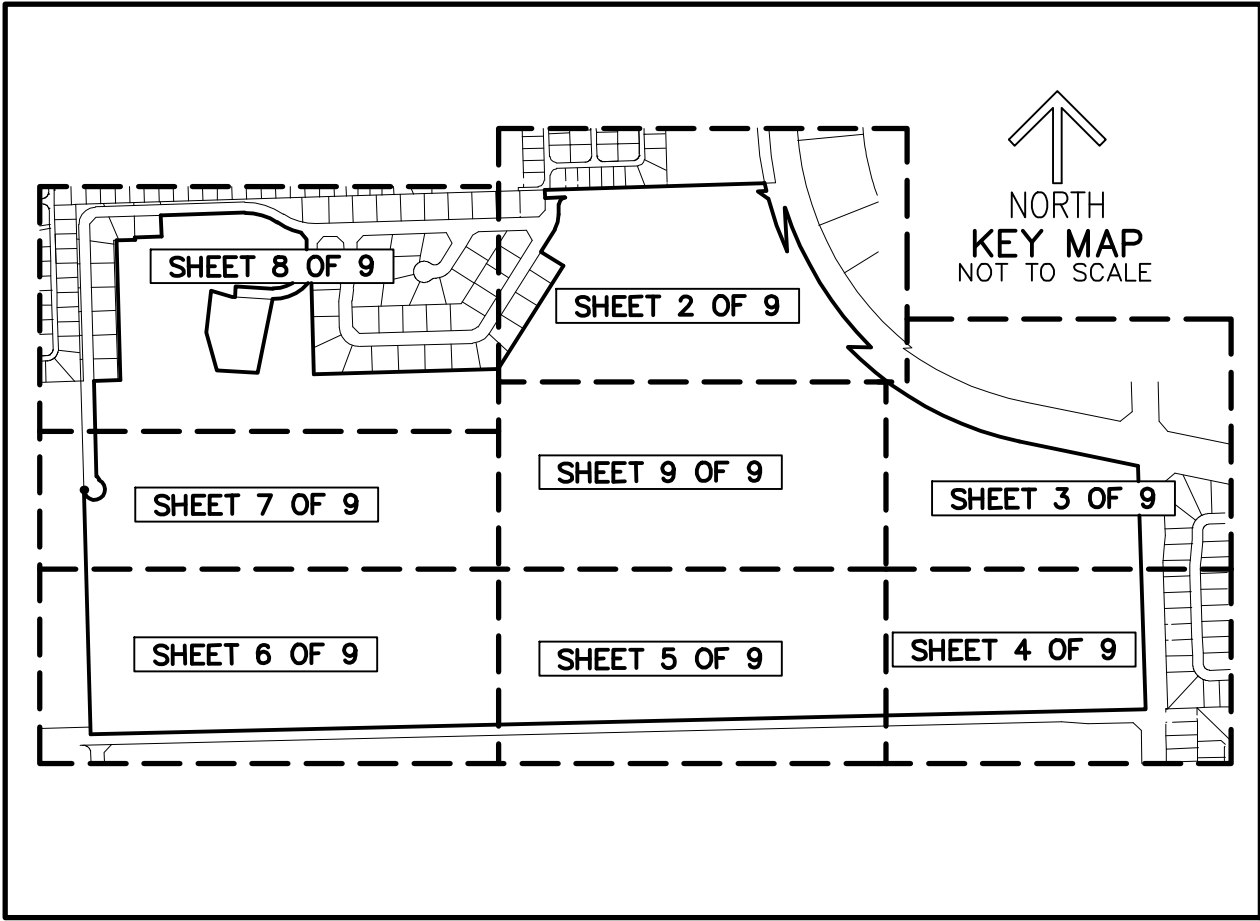




ALTA/NSPS LAND TITLE SURVEY

OAK TREE COUNTRY CLUB
A PORTION OF SECTION 17, TOWNSHIP 49 SOUTH, RANGE 42 EAST
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

THIS MAP IS INTENDED TO BE DISPLAYED
AT A SCALE OF 1 INCH = 50 FEET



DESCRIPTION:

PARCEL 1:

THE SE 1/4 OF THE NE 1/4 OF THE SW 1/4 LESS THE EAST 462 FEET MEASURED AT RIGHT ANGLES TO THE EAST BOUNDARY LINE, AND THE SW 1/4 OF THE NE 1/4 OF THE SW 1/4 OF SECTION 17, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.

PARCEL 2:

THE EAST 1/2 OF THE SW 1/4 OF THE NW 1/4 OF THE SE 1/4, AND THE SE1/4 OF THE NW 1/4 OF THE SE 1/4, SUBJECT TO A ROAD RIGHT-OF-WAY, PROSPECT ROAD, IN SECTION 17, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.

EXCEPTING FROM PARCELS 1 AND 2:

THE PLAT OF GOLF-TAM VILLAGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 119, PAGE 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

AND

THE PLAT OF OAK TREE PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 177, PAGES 5 THROUGH 7, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

AND FURTHER EXCEPTING FROM PARCEL 1:

A STRIP OF LAND LYING 10 FEET EASTERLY OF AND ADJACENT TO LOTS 48 THROUGH 54 OF GOLF-TAM VILLAGE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 119, PAGE 18, AS VARIOUSLY DESCRIBED IN THOSE DEEDS RECORDED IN OFFICIAL RECORDS BOOK 29422, PAGE 1241, OFFICIAL RECORDS BOOK 26164, PAGE 594, OFFICIAL RECORDS BOOK 27269, PAGE 768, OFFICIAL RECORDS BOOK 26397, PAGE 365, OFFICIAL RECORDS BOOK 17451, PAGE 317, OFFICIAL RECORDS BOOK 17239, PAGE 982, OFFICIAL RECORDS BOOK 20598, PAGE 805 AND OFFICIAL RECORDS BOOK 23050, PAGE 204 ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:

LOT 17, FORT LAUDERDALE INDUSTRIAL AIRPARK - SECTION 1, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 63, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 4:

PARCEL B, OF GOLF-TAM VILLAGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 119, PAGE 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 5:

W 1/2 OF THE SW 1/4 OF THE NW 1/4 OF THE SE 1/4 IN SECTION 17, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.

EXCEPTING FROM PARCEL 5:

THE PLAT OF GOLF-TAM VILLAGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 119, PAGE 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 6:

THE SE 1/4 OF THE SW 1/4; THE SW 1/4 OF THE SE 1/4 AND THAT PORTION OF THE SE 1/4 OF THE SE 1/4 LYING WEST OF THE DECKER ROAD RIGHT OF WAY AND SOUTH OF PROSPECT HIGHWAY ROAD RIGHT OF WAY AS SAID ROADS ARE PRESENTLY SITUATED, ALL IN SECTION 17, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, LESS AND EXCEPT ANY PORTION THEREOF LYING WITHIN THE PLAT OF GOLF-TAM VILLAGE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 119, PAGE 18, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 7:

THE PLAT OF OAK TREE PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 177, PAGES 5 THROUGH 7, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LANDS LYING IN SECTION 17, TOWNSHIP 49 SOUTH, RANGE 42 EAST, CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA, CONTAINING 6,061,881 SQUARE FEET/139.1616 ACRES MORE OR LESS.

CHICAGO TITLE INSURANCE COMPANY, FILE NO. 6000678

SCHEDULE B SECTION II EXCEPTIONS

EFFECTIVE DATE: SEPTEMBER 15, 2016 AT 11:00 PM

Exception	Instrument Book & Page	Affect on Property
4	Plat Book 177, Page 5	Affects as shown
4	ORB 44199, Page 1046	Affects not plottable
5	Plat Book 119, Page 18	Affects as shown
5	ORB 14625, Page 300	Affects as shown
5	ORB 15284, Page 21	Affects as shown
5	ORB 15438, Page 4	Affects not plottable
5	ORB 19501, Page 206	Affects not plottable
5	ORB 22778, Page 895	Affects not plottable
6	ORB 5492, Page 562	Affects not plottable
6	ORB 6252, Page 247	Affects not plottable
7	ORB 8773, Pages 73 & 75	Affects as shown
8	ORB 9523, Page 617	Affects as shown
9	ORB 9529, Page 156	Affects as shown
10	ORB 9595, Page 560	Affects as shown
11	ORB 13143, Page 354	Affects not plottable
12	ORB 3324, Page 62	Affects not plottable
12	ORB 10584, Page 711	Affects not plottable
12	ORB 10586, Page 619	Affects not plottable
13	ORB 4427, Page 20	Affects not plottable
14	ORB 9047, Page 622	Affects as shown
15	ORB 36661, Page 326	Affects as shown
16	ORB 36661, Page 328	Affects as shown
17	ORB 40448, Page 864	Affects not plottable
17	ORB 40917, Page 1604	Affects not plottable
18	ORB 17045, Page 208	Affects as shown
19	ORB 20951, Page 10	Affects as shown
20	ORB 35422, Page 1219	Affects as shown
21	ORB 44199, Page 1021	Affects not plottable
22	Deed Book 493, Page 158	Affects as shown
22	ORB 1606, Page 130	Affects as shown
22	OR Instrument No. 113657358	Affects as shown
22	OR Instrument No. 113657359	Affects as shown
23	Unrecorded Leases	Affects not plottable
24	ORB 1951, Page 278	Affects not plottable
24	ORB 2809, Page 885	Affects not plottable
24	ORB 2745, Page 642	Affects not plottable
24	ORB 3033, Page 980	Affects not plottable
24	ORB 39035, Page 1833	Affects not plottable
24	ORB 47382, Pages 771 & 773	Affects not plottable
24	ORB 47382, Page 773	Affects not plottable
24	ORB 48158, Pages 1873, 1877, 1881, 1885, 1889, 1893 & 1897	Affects not plottable
24	ORB 50374, Page 1019	Affects not plottable
25	N/A	Affects not plottable
26	Craven Thompson & Associates Survey	Affects not plottable
27	Any lien provided by County Ordinance	Affects not plottable
28	N/A	Affects not plottable
29	ORB 1889, Page 318	Cannot be determined

SURVEYOR'S NOTES:

- REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
- LANDS SHOWN HEREON WERE ABSTRACTED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NO. 6000678, EFFECTIVE DATE: SEPTEMBER 15, 2016 AT 11:00 P.M.
- BEARINGS AND DISTANCES SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF S.88°38'22"W. ALONG THE SOUTH LINE OF SECTION 17, TOWNSHIP 49 SOUTH, RANGE 42 EAST, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT) AND BASED ON FIELD MEASUREMENTS.
- THE "LAND DESCRIPTION" HEREON WAS PROVIDED BY THE CLIENT.
- FLOOD ZONE AH (ELEVATION 7); FLOOD ZONE AH (ELEVATION 6); FLOOD ZONE AE (ELEVATION 6); FLOOD ZONE AE (ELEVATION 5); FLOOD ZONE X, AND FLOOD ZONE 0.2% ANNUAL CHANGE, ALL PER FLOOD INSURANCE RATE MAP PANEL NO. 12011 C 0366 H, EFFECTIVE DATE 8/18/2014. ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- AT THE REQUEST OF THE CLIENT, IMPROVEMENTS WERE NOT SHOWN.
- THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY FROM PROSPECT ROAD, N.W. 21ST AVENUE (DECKER ROAD) AND N.W. 44TH STREET, ALL PUBLIC RIGHTS-OF-WAY.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK OR BUILDING CONSTRUCTION.
- NO BUILDINGS WERE OBSERVED ON THE SUBJECT PROPERTY.
- GEOREFERENCED AERIAL PHOTOGRAPHY PROVIDED BY BROWARD COUNTY, FLIGHT DATE 2015.
- SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
- ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

CERTIFICATE:

THIS IS TO CERTIFY TO PULTE HOME CORPORATION, A MICHIGAN CORPORATION; CHICAGO TITLE INSURANCE COMPANY; BLACKWOOD PARTNERS, LLC, A FLORIDA LIMITED LIABILITY COMPANY; BLACKSHORE PARTNERS, LLC, A FLORIDA LIMITED LIABILITY COMPANY; AND ALEIDA ORS WALDMAN, P.A., THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 14, 15 AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 11, 2016.

DATE OF PLAT OR MAP: OCTOBER 17, 2016

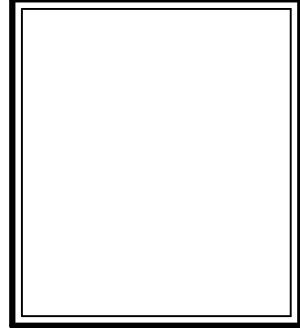
DAVID P. LINDLEY
PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER LS5005
CAULFIELD AND WHEELER INC.
CERTIFICATE OF AUTHORIZATION NUMBER LB3591

REVISE PER SELLER'S COMMENTS	9-09-16	JC
REVISE TITLE COMMITMENT	10-17-16	JC
REVISIONS	DATE	BY
FILE NAME: 7577-SURVEY3		

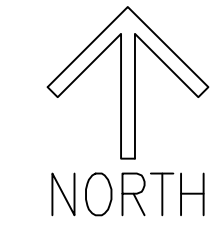
CAULFIELD & WHEELER, INC.
CIVIL ENGINEERING - LAND PLANNING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (660) 392-1991 / FAX (561) 750-1452

ALTA/NSPS LAND TITLE SURVEY
OAK TREE COUNTRY CLUB
A PORTION OF SECTION 17,
TOWNSHIP 49 SOUTH, RANGE 42, EAST
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

DATE	8/09/16
DRAWN BY	JC
F.B./ PG.	ELEC
SCALE	N/A



JOB #	7577
SHT.NO.	1
OF	9 SHEETS

[illegible]

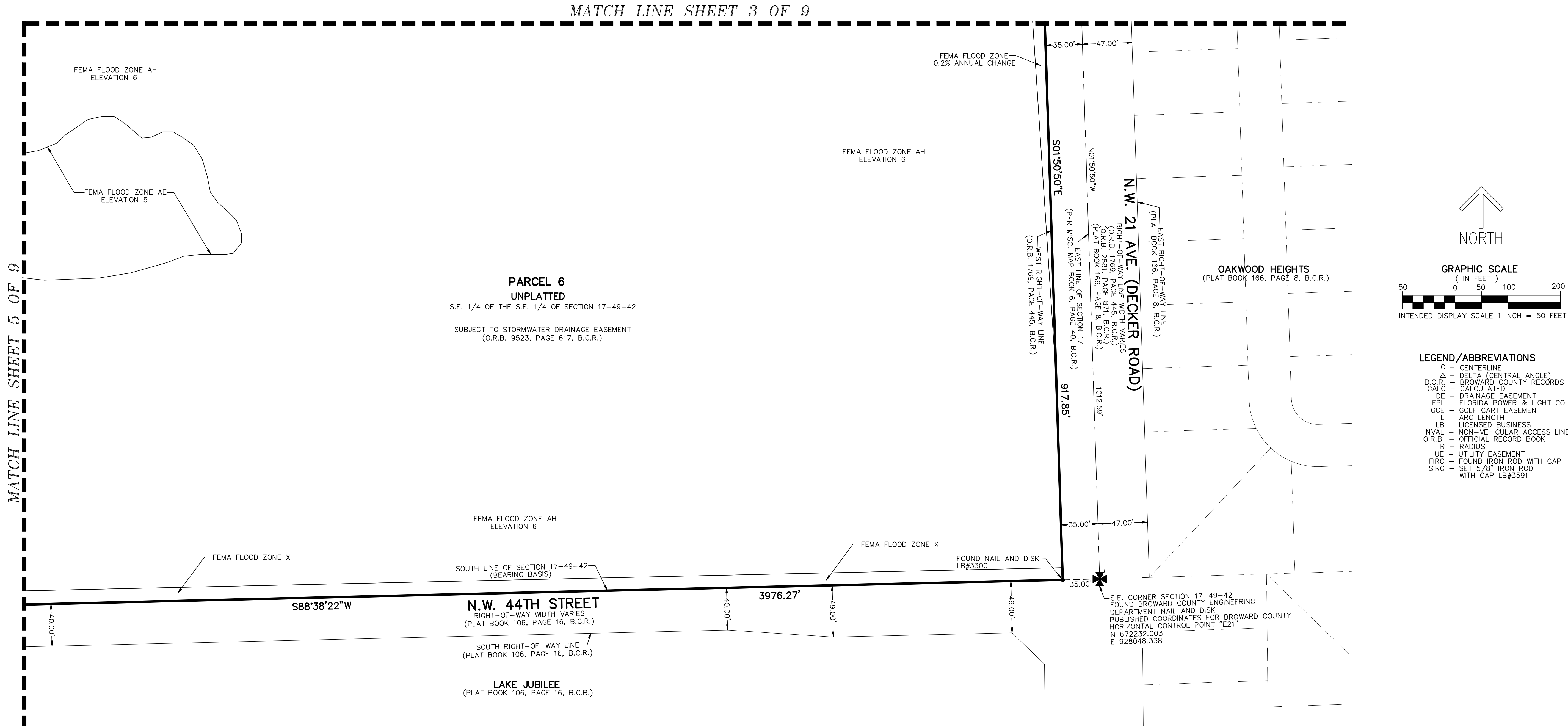
ALTA/NSPS LAND TITLE SURVEY
OAK TREE COUNTRY CLUB
A PORTION OF SECTION 17,
TOWNSHIP 49 SOUTH, RANGE 42 EAST
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

JOB # 7577
SHT.NO. 2
OF 9 SHEETS



1 ✓ MATCH LINE SHEET 3 OF 9

MATCH LINE SHEET 9 OF 9

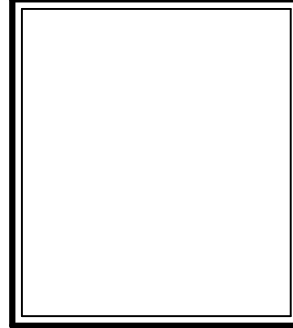


REVISIONS	DATE	BY
FILE NAME: 7577-SURVEY3		

CAULFIELD & WHEELER, INC.
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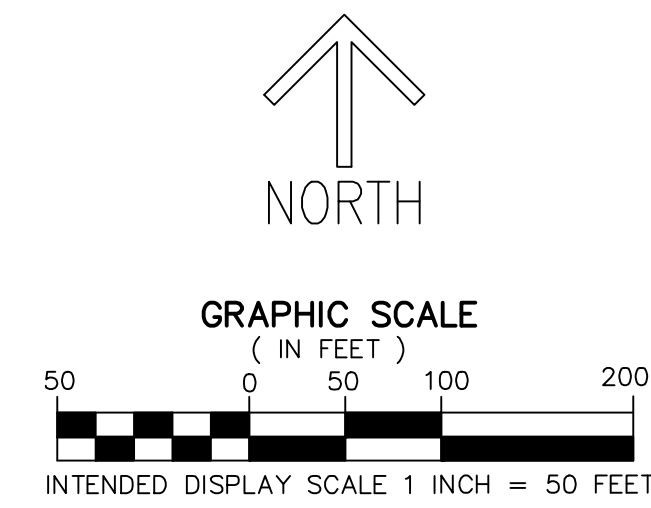
DATE	8/09/16
DRAWN BY	JC
F.B./ PG.	ELEC
SCALE	AS SHOWN



JOB #	7577
SHT.NO.	4
OF	9 SHEETS

MATCH LINE SHEET 6 OF 9

MATCH LINE SHEET 4 OF 9



LEGEND/ABBREVIATIONS

C	CENTERLINE
Δ	DELTA (CENTRAL ANGLE)
B.C.A.	BROADWAY COUNTY RECORDS
CALC	CALCULATED
DE	DRAINAGE EASEMENT
FPL	FLORIDA POWER & LIGHT CO.
GCE	GOLF CART EASEMENT
L	ARC LENGTH
LB	LICENSED BUSINESS
NVAL	NON-VEHICULAR ACCESS LINE
O.R.B.	OFFICIAL RECORD BOOK
R	RADIUS
UE	UTILITY EASEMENT
FIRC	FOUND IRON ROD WITH CAP
SIRC	SET 5/8" IRON ROD WITH CAP LB#3591

MATCH LINE SHEET 9 OF 9

PARCEL 6
UNPLATTED
S.W. 1/4 OF THE S.E. 1/4 OF SECTION 17-49-42
SUBJECT TO STORMWATER DRAINAGE EASEMENT
(O.R.B. 9523, PAGE 617, B.C.R.)

PARCEL 6
UNPLATTED
S.E. 1/4 OF THE S.E. 1/4 OF SECTION 17-49-42
SUBJECT TO STORMWATER DRAINAGE EASEMENT
(O.R.B. 9523, PAGE 617, B.C.R.)



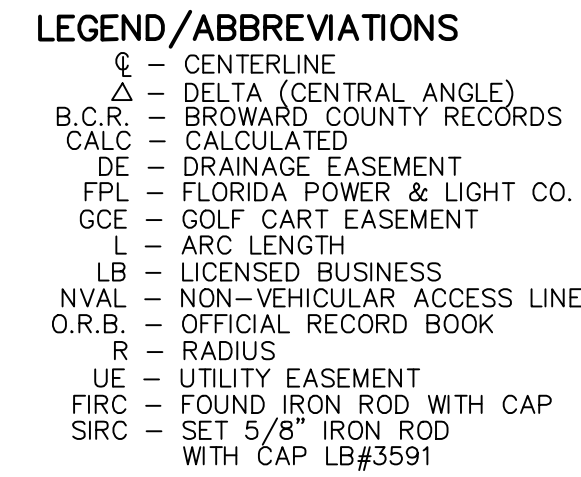
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OAK TREE COUNTRY CLUB
A PORTION OF SECTION 17,
TOWNSHIP 49 SOUTH, RANGE 42 EAST
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

DATE	8/09/16
DRAWN BY	JC
F.B./ PG.	ELEC
SCALE	AS SHOWN

JOB # 7577
SHT.NO. 5
OF 9 SHEETS

[illegible]



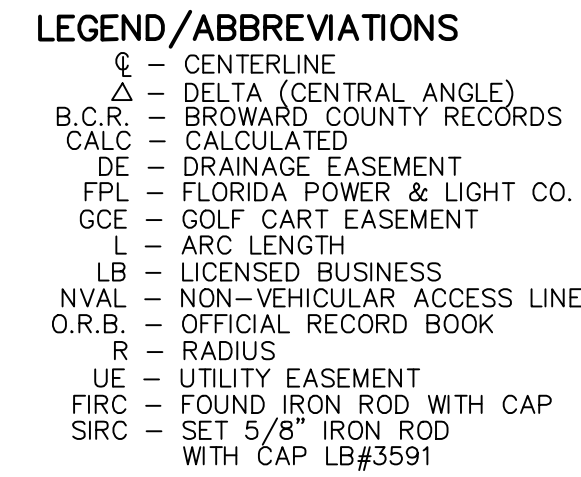
MATCH LINE SHEET 5 OF 9

LAKE JUBILEE
(PLAT BOOK 106, PAGE 16, B.C.R.)

3976.27'

0.00'

JOB # 7577
SHT.NO. 6
OF 9 SHEETS

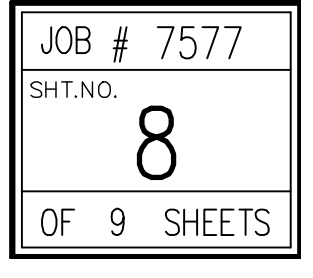
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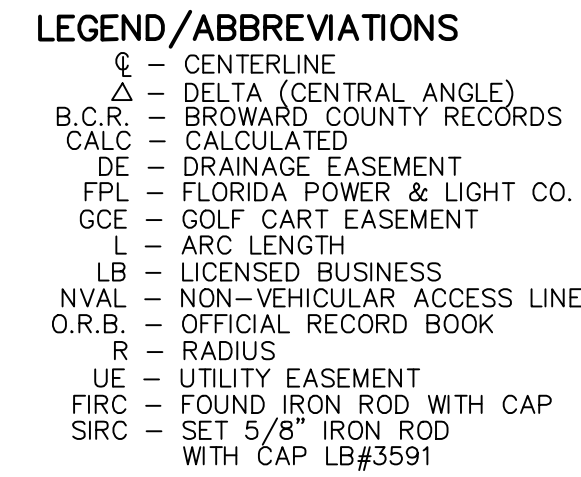
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CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

DATE	8/09/16
DRAWN BY	JC
F.B./ PG.	ELEC
SCALE AS SHOWN	

JOB # 7577
SHT.NO. 7
OF 9 SHEETS





MATCH LINE SHEET 3 OF 9

FEMA FLOOD ZONE AH
ELEVATION 6

MATCH LINE SHEET 5 OF 9

JOB # 7577
SHT.NO. 9
OF 9 SHEETS