

Legal Description:

PARCEL "A", OAK TREE PLAT, AS RECORDED IN PLAT BOOK 177, PAGES 5 THROUGH 7, TOGETHER WITH LOT 17, "FORT LAUDERDALE INDUSTRIAL AIRPARK - SECTION 1", AS RECORDED IN PLAT BOOK 63, PAGE 10, BOTH OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF SECTION 17, TOWNSHIP 49 SOUTH, RANGE 42 EAST, THE CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF GOLF-TAM VILLAGE, AS RECORDED IN PLAT BOOK 119, PAGE 18 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE N.88°12'55"E., ALONG THE SOUTH LINE OF TAMARAC LAKES SOUTH, AS RECORDED IN PLAT BOOK 62, PAGE 24 OF SAID PUBLIC RECORDS, A DISTANCE OF 826.79 FEET A POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.77°44'26"E., A RADIAL DISTANCE OF 1,246.28 FEET; THENCE SOUTHERLY ALONG THE ARC OF THE WESTERLY RIGHT-OF-WAY LINE OF PROSPECT ROAD, SAID RIGHT-OF-WAY LINE LYING 100.00 FEET WESTERLY OF AND CONCENTRIC TO THE CENTERLINE THEREOF, AS SHOWN ON SAID "FORT LAUDERDALE INDUSTRIAL AIRPARK - SECTION 1", THROUGH A CENTRAL ANGLE OF 01°24'21", A DISTANCE OF 30.58 FEET; THENCE S.88°12'55"W. ALONG A LINE 30.00 FEET SOUTH OF (AS MEASURED AT RIGHT ANGLES TO) AND PARALLEL WITH THE SOUTH LINE OF SAID TAMARAC LAKES SOUTH, A DISTANCE OF 30.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "A", OAK TREE PLAT; THENCE S.53°04'11"E. ALONG THE WEST RIGHT-OF-WAY LINE OF PROSPECT ROAD, AS SHOWN ON SAID OAK TREE PLAT, A DISTANCE OF 46.82 FEET TO A POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.74°57'20"E., A RADIAL DISTANCE OF 1,246.28 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID RIGHT-OF-WAY LINE, THROUGH A CENTRAL ANGLE OF 09°43'05", A DISTANCE OF 211.38 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF LOT 17 OF SAID FORT LAUDERDALE INDUSTRIAL AIRPARK - SECTION 1; THENCE N.01°39'39"W. ALONG SAID WEST LINE, A DISTANCE OF 146.96 FEET A POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.71°43'32"E., A RADIAL DISTANCE OF 1,196.28 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF THE WEST RIGHT-OF-WAY LINE OF PROSPECT ROAD, AS SHOWN ON SAID "FORT LAUDERDALE INDUSTRIAL AIRPARK - SECTION 1", THROUGH A CENTRAL ANGLE OF 32°17'07", A DISTANCE OF 674.09 FEET; THENCE S.88°21'41"W. ALONG THE SOUTH LINE OF SAID LOT 17, A DISTANCE OF 96.42 FEET TO THE POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.43°06'02"E., A RADIAL DISTANCE OF 1,246.28 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF THE SOUTHERLY RIGHT-OF-WAY LINE OF PROSPECT ROAD, AS RECORDED IN DEED BOOK 419, PAGE 362 OF SAID PUBLIC RECORDS, THROUGH A CENTRAL ANGLE OF 31°27'57", A DISTANCE OF 684.44 FEET; THENCE S.78°21'55"E. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 456.13 FEET; THENCE S.01°50'50"E. ALONG THE WEST RIGHT-OF-WAY LINE OF NORTHWEST 21ST AVENUE (DECKER ROAD), AS RECORDED IN OFFICIAL RECORD BOOK 1769, PAGE 445 OF SAID PUBLIC RECORDS, A DISTANCE OF 917.85 FEET TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF SAID SECTION 17; THENCE S.88°38'22"W. ALONG SAID SOUTH LINE, A DISTANCE OF 3,976.27 FEET; THENCE N.01°37'24"W. ALONG THE EAST LINE OF "M.&S. PROPERTIES PLAT", AS RECORDED IN PLAT BOOK 98, PAGE 29 OF SAID PUBLIC RECORDS, A DISTANCE OF 921.96 FEET TO THE SOUTHWEST CORNER OF SAID GOLF-TAM VILLAGE, AND A POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.88°22'36"E., A RADIAL DISTANCE OF 40.00 FEET; THENCE ALONG THE BOUNDARY OF SAID GOLF-TAM VILLAGE THE FOLLOWING FOUR (4) COURSES AND DISTANCES; THENCE SOUTHEASTERLY, NORTHEASTERLY AND NORTHWESTERLY ALONG THE ARC, THROUGH A CENTRAL ANGLE OF 242°57'52", A DISTANCE OF 169.62 FEET TO A POINT OF REVERSE CURVATURE TO THE RIGHT HAVING A RADIUS OF 15.00 FEET AND A CENTRAL ANGLE OF 62°57'52"; THENCE NORTHWESTERLY ALONG THE ARC, A DISTANCE OF 16.48 FEET; THENCE N.01°37'24"W., A DISTANCE OF 360.00 FEET; THENCE N.88°21'41"E., A DISTANCE OF 100.00 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 10.00 FEET EAST OF (AS MEASURED AT RIGHT ANGLES TO) AND PARALLEL WITH THE EAST LINE OF LOTS 48 THROUGH 54 OF SAID GOLF-TAM VILLAGE; THENCE N.01°37'24"W. ALONG SAID PARALLEL LINE, A DISTANCE OF 526.02 FEET TO A POINT OF INTERSECTION WITH THE BOUNDARY LINE OF SAID GOLF-TAM VILLAGE; THENCE ALONG SAID BOUNDARY LINE THE FOLLOWING TWENTY-NINE (29) COURSES AND DISTANCES; N.88°13'32"E., A DISTANCE OF 70.00 FEET; THENCE N.01°46'28"W., A DISTANCE OF 10.00 FEET; THENCE N.88°13'32"E., A DISTANCE OF 100.00 FEET; THENCE N.01°46'28"W., A DISTANCE OF 80.00 FEET; THENCE N.88°13'32"E., A DISTANCE OF 316.78 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 200.00 FEET AND A CENTRAL ANGLE OF 37°18'06"; THENCE EASTERLY ALONG THE ARC A DISTANCE OF 130.21 FEET TO A POINT OF REVERSE CURVATURE TO THE LEFT HAVING A RADIUS OF 240.00 FEET AND A CENTRAL ANGLE OF 23°34'02"; THENCE SOUTHEASTERLY ALONG THE ARC, A DISTANCE OF 98.72 FEET; THENCE S.39°44'27"E., A DISTANCE OF 30.99 FEET; THENCE S.01°26'29"E., A DISTANCE OF 63.23 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 120.00 FEET AND A CENTRAL ANGLE OF 94°41'52"; THENCE SOUTHWESTERLY ALONG THE ARC A DISTANCE OF 198.33 FEET; THENCE N.86°44'37"W., A DISTANCE OF 142.47 FEET; THENCE S.03°15'23"W., A DISTANCE OF 40.00 FEET; THENCE N.86°44'37"W., A DISTANCE OF 10.00 FEET; THENCE N.73°41'30"W., A DISTANCE OF 82.00 FEET; THENCE S.07°06'50"W., A DISTANCE OF 157.92 FEET; THENCE S.15°27'37"E., A DISTANCE OF 148.75 FEET; THENCE S.86°44'37"E., A DISTANCE OF 153.98 FEET; THENCE N.11°38'36"E., A DISTANCE OF 282.95 FEET A THE POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.03°15'13"E., A RADIAL DISTANCE OF 160.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC, THROUGH A CENTRAL ANGLE OF 62°14'07", A DISTANCE OF 173.79 FEET; THENCE S.01°26'29"E., A DISTANCE OF 360.93 FEET; THENCE N.88°21'41"E., A DISTANCE OF 695.09 FEET; THENCE N.32°09'20"E., A DISTANCE OF 460.00 FEET; THENCE N.57°50'40"W., A DISTANCE OF 100.00 FEET; THENCE N.32°09'20"E., A DISTANCE OF 98.57 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 100.00 FEET AND A CENTRAL ANGLE OF 33°56'25"; THENCE NORTHERLY ALONG THE ARC A DISTANCE OF 59.24 FEET; THENCE N.01°47'05"W., A DISTANCE OF 39.39 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 90°00'00"; THENCE NORTHERLY ALONG THE ARC A DISTANCE OF 39.27 FEET; THENCE S.88°12'55"W., A DISTANCE OF 75.00 FEET; THENCE N.01°47'05"W., A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 6,061,881 SQUARE FEET/139.1616 ACRES MORE OR LESS.

Architectural Plans
Oak Tree Property
Redevelopment

2400 Oak Tree Lane
Oakland Park, FL. 33309

Section 17, Township 49 South, Range 42 East,
City of Oakland Park, Broward County, Florida



Property Owner Information:

Blackwood Partners, LLC.
1700 NW 66 Avenue, Suite 102 Plantation, FL. 33313

Contract Purchaser Information:

Pulte Home Company, LLC.
4400 PGA Boulevard, Suite 700
Palm beach Gardens, FL. 33410

Land Planner/Site planner:

Design And Entitlement Consultants, LLC
1402 Royal Palm Beach Boulevard, Suite 102
Royal Palm Beach, FL. 33411

Landscape Architect

Divine Design Landscape, LLC.
1402 Royal Palm Beach Boulevard, Suite 102
Royal Palm Beach, FL. 33411

Engineer Of Record

Schnars Engineering
949A Clint Moore Road
Boca Raton, FL. 33487

Architect:

Pulte Group Architects
24311 Walden Center Drive, Suite 300
Bonita Springs, FL. 34134

Surveyor:

Caufield & Wheeler
7900 Glades Road, Suite 100
Boca Raton, FL. 33434

Environmental:

EW Consultants
601 Heritage Drive, Suite 108
Jupiter, FL. 33458

Soil Remediation:

Ayden Environmental
131 West South Street
Smyrna, DE 19977

Land Use Attorney:

Greenspoon Marder
200 East Broward Boulevard, Suite 1800
Fort Lauderdale, FL. 33301

Photometric Engineer:

Mainstreet Engineering
7035B S.W. 47th Street
Miami, FL. 33155

Community Rating System:

J.R. Evans Engineering, P.A.
9351 Corkscrew Road, Suite 102
Estero, Fl. 33928

Sheet Key

Architectural Floorplans & Elevations

Pages 1 - 56
Total Sheets = 56

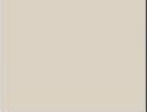
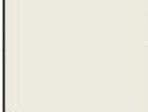
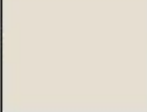
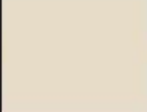
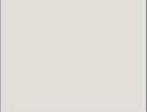
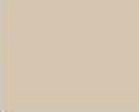
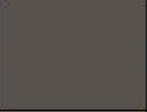
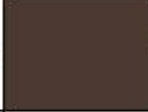
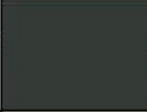
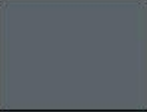
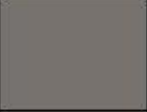
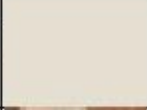
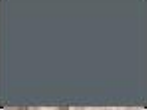
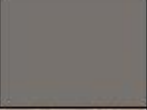
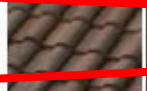
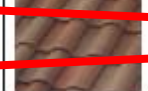


Pre-App Date: August 24, 2018
D.R.C. Date: November 29, 2018
Final D.R.C. Date: June 20, 2019

Planning & Advisory Board Meeting Date: _____
City Commission Meeting 1st Reading Date: _____
City Commission Meeting 2nd Reading DATE: _____

SHEET NO.

COVER SHEET

Florida Mediterranean Exterior Colors																
Package:	FM1		FM2		FM3		FM4		FM5		FM6		FM7		FM8	
Body	SW 7549 Studio Taupe (173 156 133)		SW 7526 Maison Blanche (223 210 191)		SW 7529 Sand Beach (212 197 173)		SW 7102 White Flour (244 239 229)		SW 7575 Chopsticks (224 209 184)		SW 7008 Alabaster (237 234 224)		SW 7016 Mindful Gray (188 183 173)		SW 7513 Sanderling (167 149 130)	
Trim	SW 7567 Natural Tan (220 210 195)		SW 7008 Alabaster (237 234 224)		SW 7010 White Duck (229 223 210)		SW 6119 Antique White (232 220 198)		SW 7562 Roman Column (246 240 226)		SW 7018 Dovetail (144 138 131)		SW 7028 Incredible White (227 222 215)		SW 6106 Kilim Beige (215 197 174)	
Front Door	SW 7645 Thunder Grey (87 83 76)		SW 6076 Turkish Coffee (77 57 48)		SW 6216 Jasper (52 59 54)		SW 6055 Fiery Brown (93 56 49)		SW 7617 Mediteranean (96 121 125)		SW 6236 Grays Harbor (89 99 104)		SW 7019 Gauntlet Gray (120 115 110)		SW 6076 Turkish Coffee (77 57 48)	
Garage Door	SW 7567 Natural Tan (220 210 195)		SW 7008 Alabaster (237 234 224)		SW 7010 White Duck (229 223 210)		SW 6119 Antique White (232 220 198)		SW 6150 Universal Khaki (184 169 146)		SW 6236 Grays Harbor (89 99 104)		SW 7019 Gauntlet Gray (120 115 110)		SW 6075 Garret Gray (117 104 97)	
Stone - J&N Ashlar (base price)	Sarasota		Colorado		Timbercreek		Mojave		Colorado		Refton		Nevada		Sarasota	
Stone - Stonecraft Top Rock	Warm Springs		Brown		Warm Springs		Realen		Warm Springs		Pennsylvania		Pennsylvania		Warm Springs	
Stone - Boral Old Country Fieldstone	Summit Peak		Chardonnay		Summit Peak		Chardonnay		Summit Peak		Echo Ridge		Echo Ridge		Summit Peak	
Tile Roof - Boral Tile Barcelona 900 Barrel	Chestnut Burnt		Naples Blend		Florida Blend		Paradise Island Tan		Paradise Island Tan		Sterling		Chestnut Burnt		Chestnut Burnt	

Craftsman Exterior Colors

Package:	C1	C2	C3	C4	C5	C6	C7	C8	C9
Body	SW 7508 Tavern Taupe (156 138 121)	SW 9170 Acier (158 153 145)	SW 7532 Urban Putty (207 192 171)	SW 7071 Gray Screen (198 202 202)	SW 6199 Rare Gray (166 166 155)	SW 9119 Dirty Martini (221 208 182)	SW 9143 Cadet (145 153 156)	SW 7649 Silverplate (194 192 186)	SW 7566 Westhighland White (243 238 227)
Accent (Shake)	SW 7507 Stone Lion (179 164 145)	SW 7016 Mindful Gray (188 183 173)	SW 7567 Natural Tan (220 210 145)	SW 9162 African Gray (147 152 153)	SW 6200 Link Gray (127 126 114)	SW 9121 Sawgrass Bucket (195 176 144)	SW 6235 Foggy Day (114 124 127)	SW 7646 First Star (218 217 212)	SW 7566 Westhighland White (243 238 227)
Trim	SW 9173 Shiitake (200 188 171)	SW 7015 Repose Gray (204 201 192)	7535 Sandy Ridge (161 142 119)	SW 7636 Origami White (229 226 218)	SW 7042 Shoji White (230 223 211)	SW 6154 Nacre (232 226 212)	SW 7570 Egret White (223 217 207)	SW 7646 First Star (218 217 212)	SW 7045 Intellectual Gray (168 160 147)
Front Door & Shutters	SW 2846 Roycroft Bronze Green (87 84 73)	SW 9179 Anchors Aweigh (43 52 65)	SW 6991 Black Magic (50 49 50)	SW 0032 Needlepoint Navy (84 102 112)	SW 7645 Thunder Gray (87 83 76)	SW 7750 Olympic Range (66 76 68)	SW 6237 Dark Night (35 56 63)	SW 6251 Outerspace (88 97 104)	SW 7026 Griffen (111 100 89)
Garage Door	SW 9173 Shiitake (200 188 171)	SW 7015 Repose Gray (204 201 192)	7535 Sandy Ridge (161 142 119)	SW 7636 Origami White (229 226 218)	SW 7042 Shoji White (230 223 211)	SW 6154 Nacre (232 226 212)	SW 7570 Egret White (223 217 207)	SW 7017 Dorian Gray (172 167 158)	SW 7026 Griffen (111 100 89)
Stone - J&N Laytite (base price)	Bucks Creek	Wisconsin	Bucks Creek	Iron	Napannee	Southern Limestone	Iron	Iron	Wisconsin
Stone - Prostone Western - Ledgestone	Glacier Valley	Antique Oak	Glacier Valley	Charcoal Mist	Sierra Vista	Glacier Valley	Charcoal Mist	Charcoal Mist	Antique Oak
StoneCraft Ledgestone	Wisconsin	Bucktown	Wisconsin	Pennsylvania	Hamilton	Wisconsin	Pennsylvania	Kingsford Grey	Bucktown
Stone - Cultured Stone Country Ledgestone	Hudson Bay	Ashfall	Bucks County	Echo Creek	White Oak	Chardonnay	Ashfall	Ashfall	Hudson Bay
Tile Roof - Boral Saxony 900 Slate	Buckskin	Weathered Ash	Latte	Dark Charcoal Blend	Weathered Ash	Buckskin	Dark Charcoal Blend	Dark Charcoal Blend	Weathered Ash

Coastal Exterior Colors																
Package:	CO1		CO2		CO3		CO4		CO5		CO6		CO7		CO8	
Body	SW 0052 Pearl Gray (203 206 197)		SW 7006 Extra White (238 239 234)		SW 9143 Cadet (145 153 156)		SW 9180 Aged White (232 222 205)		SW 7003 Toque White (231 226 218)		SW 6204 Sea Salt (205 210 202)		SW 9136 Lullaby (203 212 212)		SW 7044 Amazing Gray (190 181 169)	
Accent (Board & Batten))	SW 6203 Spare White (228 228 221)		SW 7006 Extra White (238 239 234)		SW7004 Snowbound (237 234 229)		SW 7005 Pure White (237 236 230)		SW 7671 On The Rocks (208 206 200)		SW 6206 Oyster Bay (174 179 169)		SW 9138 Stardew (166 178 181)		SW 7013 Ivory Lace (236 229 216)	
Trim & Garage Door	SW 6203 Spare White (228 228 221)		SW 7006 Extra White (238 239 234)		SW7004 Snowbound (237 234 229)		SW 7005 Pure White (237 236 230)		SW 7658 Gray Clouds (183 183 178)		SW 6203 Spare White (228 228 221)		SW 7070 Site White (220 222 220)		SW 7013 Ivory Lace (236 229 216)	
Front Door & Shutters	SW 6223 Stillwater (74 93 95)		SW 6989 Domino (53 51 55)		SW 6232 Misty (205 210 210)		SW 6083 Sable (95 75 63)		SW 7603 Poolhouse (128 149 160)		SW 7669 Summit Gray (149 148 145)		SW 7076 Cyberspace (68 72 77)		SW 6206 Oyster Bay (174 179 169)	
Meridian Brick (True brick - Jax only)	Old Edisto		Spanish Moss Blend		Old Edisto		Spanish Moss Blend		Capers Island		Capers Island		Capers Island		Spanish Moss Blend	
Stone - J&N Stackease (small upgrade)	Calico		Calico		Bellgrade		Grainger		Onyx		Calico		Bellgrade		Bellgrade	
Stone - StoneCraft Farmledge (mid-tier)	Hamilton		Hamilton		Hamilton		Ridley		Westchester		Westchester				Hamilton	
Stone - Cultured Stone Profit (top tier)	Southwest Blend		Southwest Blend		Platinum		Mojave		Gray		Shale		Platinum		Platinum	
Tile Roof - Boral Saxony 900 Slate	Ashen Blend		Beach Blonde Blend		Stone Mountain Blend		Latte		Stone Mountain Blend		Stone Mountain Blend		Stone Mountain Blend		Ashen Blend	

ALEXANDER

AREA CALCULATION (SQ. FT.)									
			LIVING AREA			NON-LIVING AREA			
	WIDTH	DEPTH	1ST FLOOR	2ND FLOOR	TOTAL A/C SPACE	GARAGE	COVERED ENTRY	LANAI	TOTAL AREA U.R.
BASE HOUSE (FM2A / FM2B)	29'-9"	43'-10"	798	1163	1961	462	33	141	2597
W2A	0	0	0	0	0	0	+1	+157	158
COVERED LANAI EXTENSION	0	6'-0"	0	0	0	0	0	+100	100
TOTALS									

GENERAL NOTES

THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:
 FLORIDA BUILDING CODE 5TH EDITION (2014) RESIDENTIAL
 BUILDING TYPE: VB

—ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

—MINIMUM INSULATION PER SPEC AND ENERGY CALCULATIONS.

—PROTECTION FROM TERMITES: PROVIDE TERMITE PROTECTION WITH REGISTERED TERMITE PREVENTION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

—REGISTERED TERMITE PREVENTION SYSTEM TO BE APPROVED SYSTEM ON FIRST FLOOR PER MANUF. INSTRUCTIONS AND BAIT SYSTEM.

R703.6.1 LATH.
 ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 11/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 7/8-INCHLONG (22.2 MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152 MM), OR AS OTHERWISE APPROVED.

R703.6.2 PLASTER.
 PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.

THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1(3).

R703.6.2.1 WEEP SCREEDS.
 A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

R703.6.3 WATER-RESISTIVE BARRIERS.
 WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.

R905.2.7 UNDERLAYMENT APPLICATION.
 THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET MEETING ASTM D 1970 OR AN APPROVED SELF-ADHERING SYNTHETIC UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

DRAWING INDEX

G1.1 INDEX, HOUSE DATA, GEN. NOTES
 G1.2 ARCHITECTURAL HISTORY
 A1.1 FIRST FLOOR PLAN
 A1.2 SECOND FLOOR PLAN
 A01.1 FLOOR PLAN OPTIONS

A2.1 ELEVATIONS

E1.1 FIRST FLOOR PLAN-ELECTRICAL
 E1.2 SECOND FLOOR PLAN-ELECTRICAL
 E01.1 FLOOR PLAN OPTIONS-ELECTRICAL
 E2.1 FIRST FLOOR ELECTRICAL OPTIONS
 E2.2 SECOND FLOOR ELECTRICAL OPTIONS
 E02.1 FLOOR PLAN OPTIONS - ELECTRICAL OPTIONS

P1.1 FIRST FLOOR PLAN-PLUMBING
 P1.2 SECOND FLOOR PLAN-PLUMBING
 P01.1 FLOOR PLAN OPTIONS -PLUMBING

CURRENT RELEASE DATE

.

FLORIDA ZONE

24311 Waden center Dr., Suite 300
 Bonita Spring, Florida 34134 (239) 495-4800



INDEX, HOUSE DATA, GEN.NOTES

PRODUCT MANAGER	
INITIAL RELEASE DATE:	.
REV#	DATE/DESCRIPTION
△	.
.	.
△	.
.	.
△	.
.	.
△	.
.	.
△	.
.	.
△	.
.	.

PROJECT TYPE

Single Family

SPECIFICATION LEVEL

Pulte

PLAN NAME

Plan Name

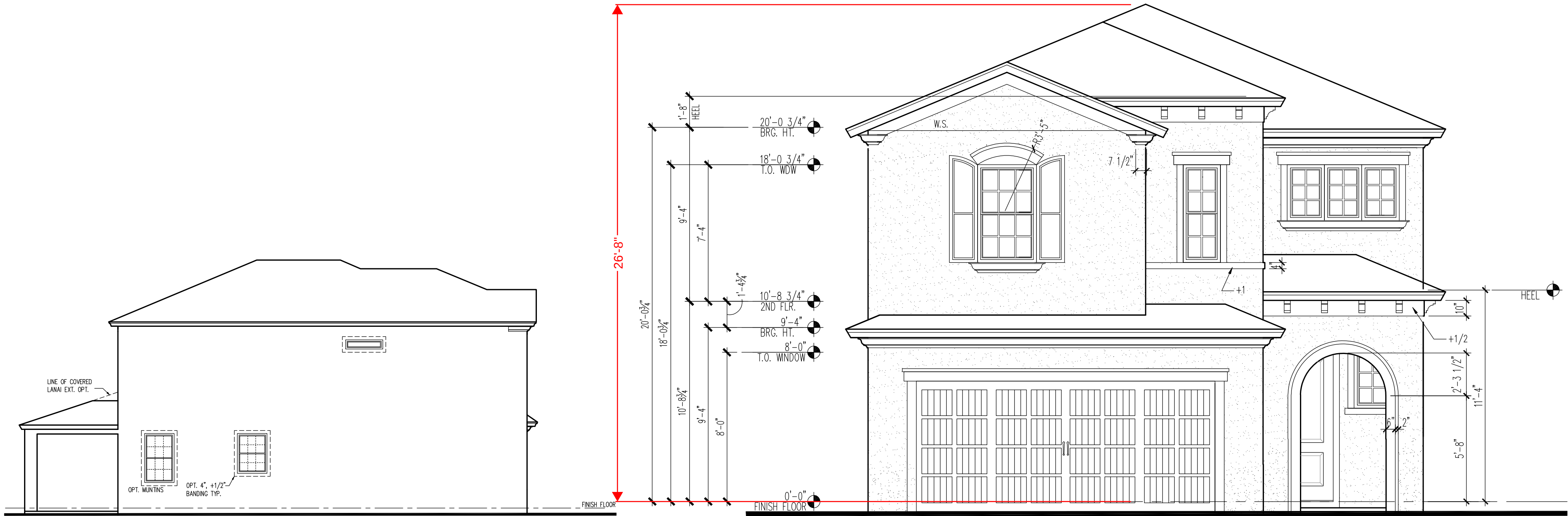
NPC NUMBER

1558.500

SHEET

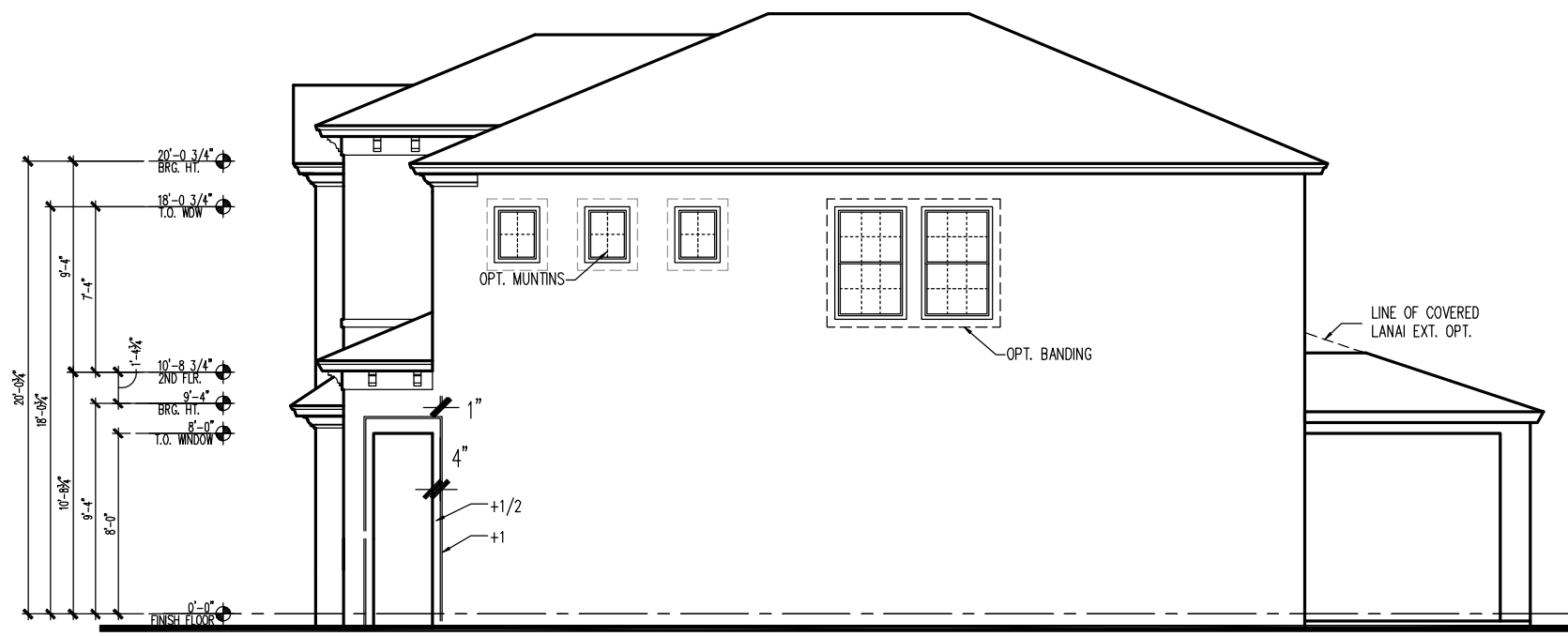
G.11

PLOTTED: June 22, 2017 / pultrays / A2.1 FM2A Elevation "3" FM2A.dwg



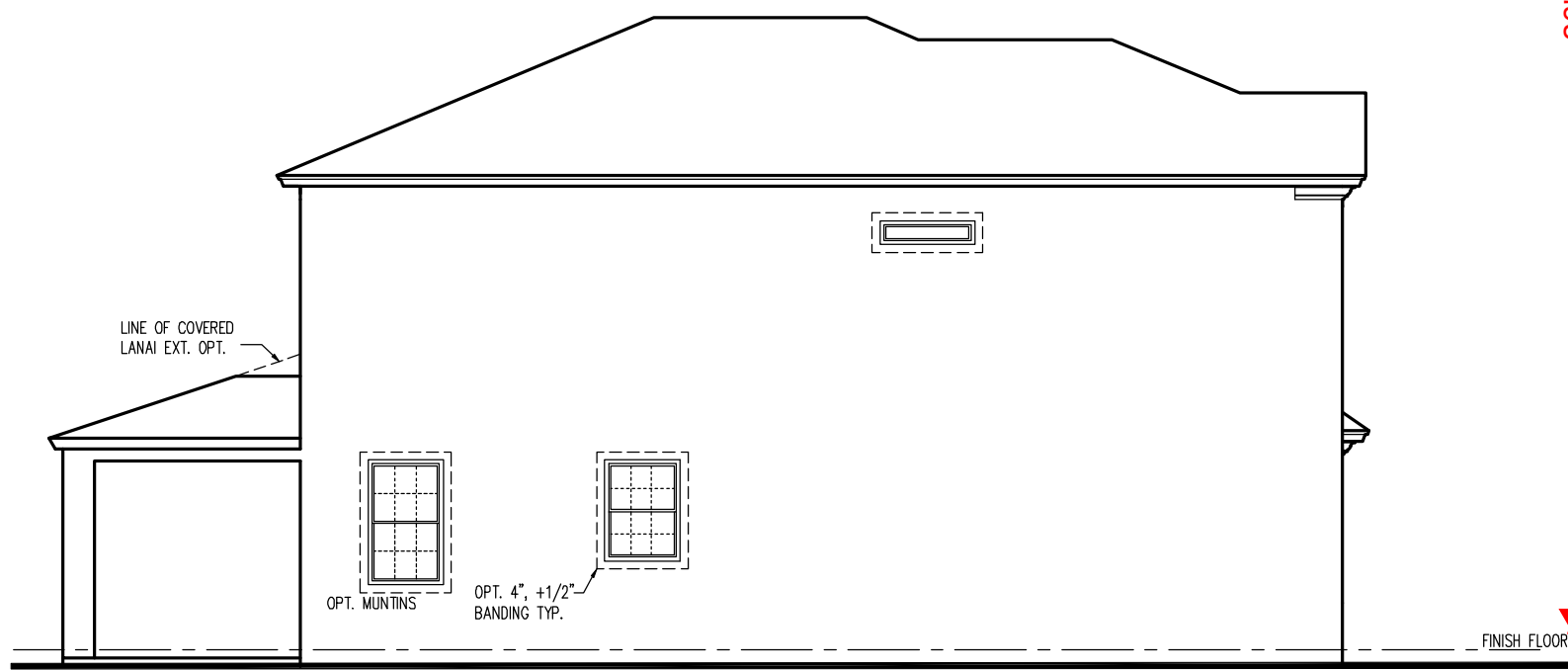
FRONT ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



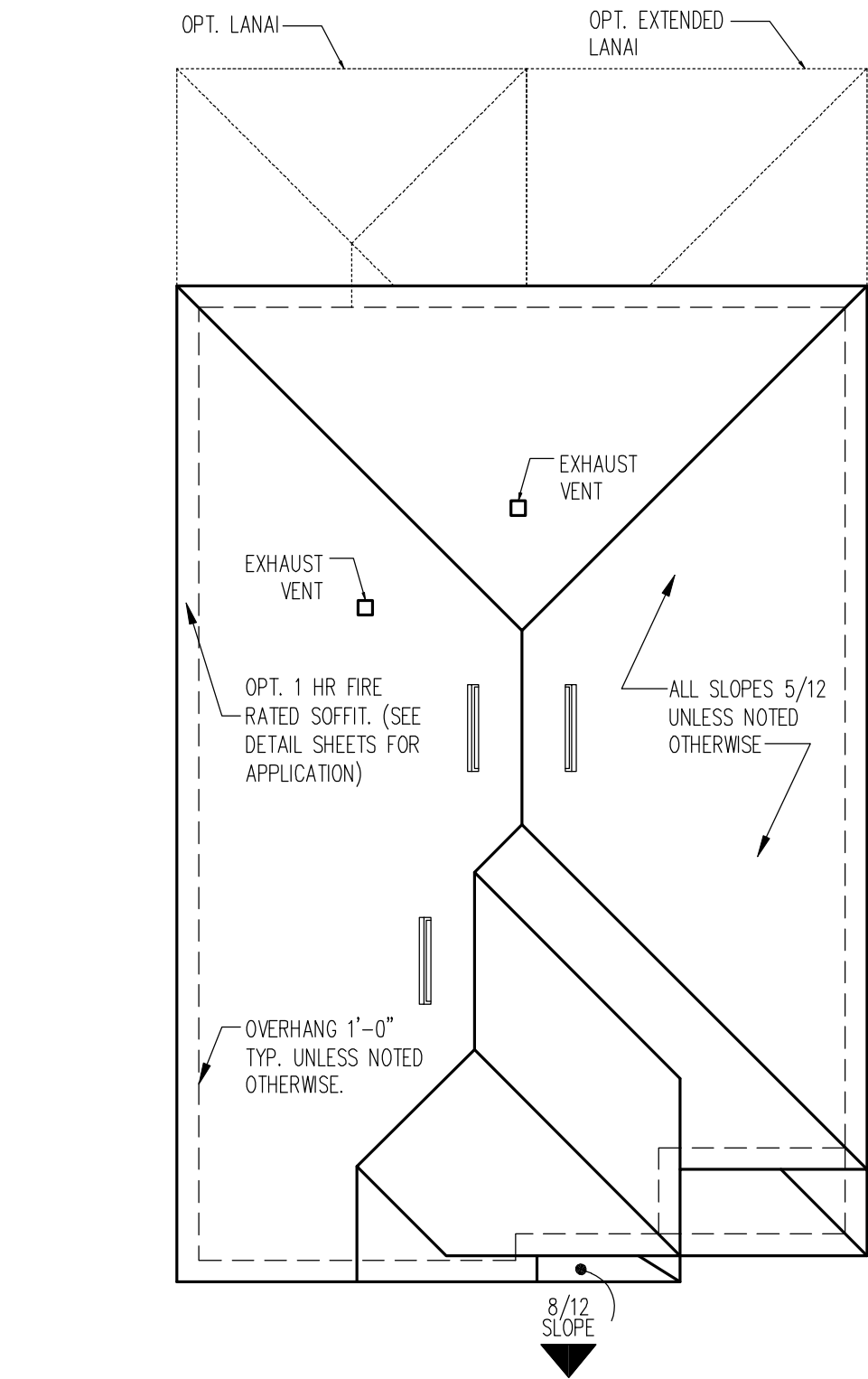
PARTIAL RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



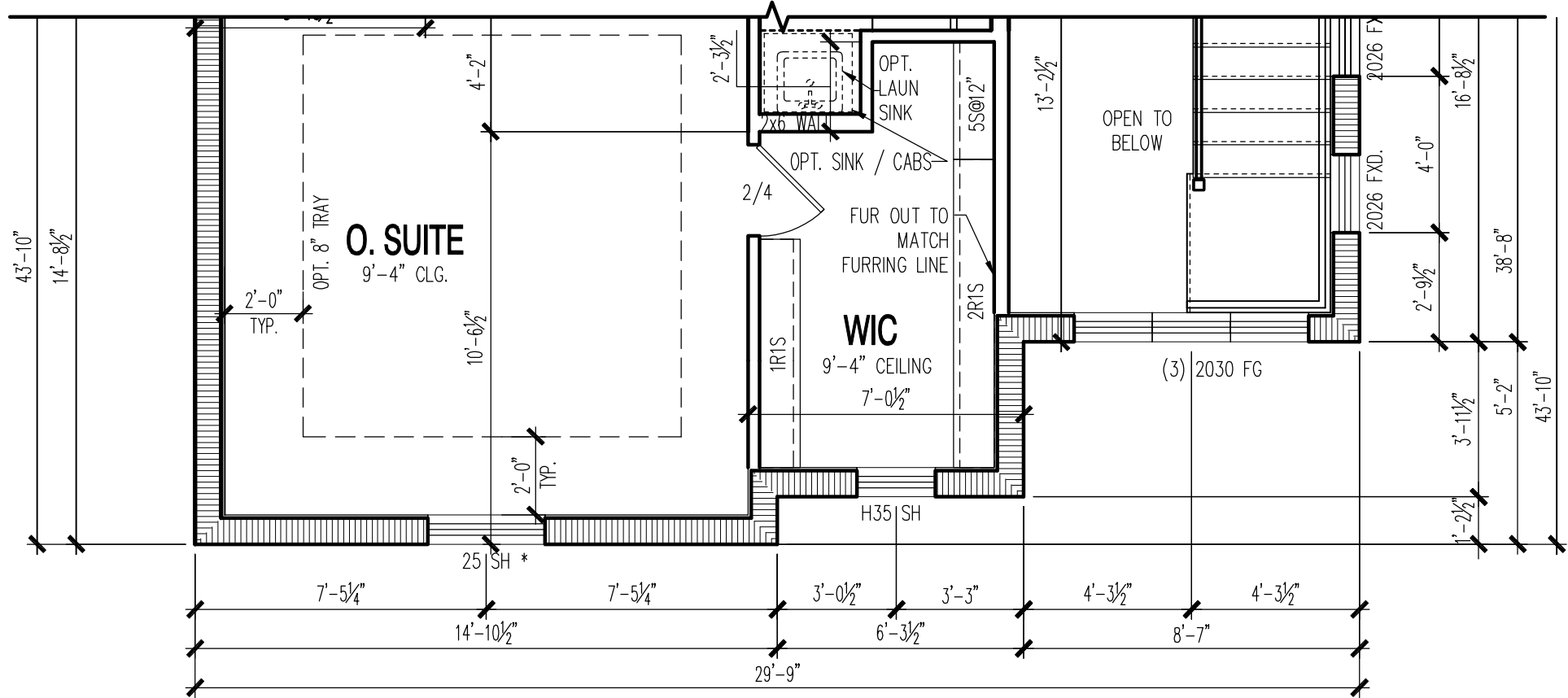
ROOF PLAN @ ELEVATION

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/16" = 1'-0" ON 11x17 PAPER)

NOTE: NO ADDITIONAL SOFFIT VENTING IS REQUIRED WITH THE 1 HOUR FIRE RATED SOFFIT APPLICATION. VENTING REQUIREMENTS HAVE BEEN MET ON FRONT AND REAR OF HOUSE

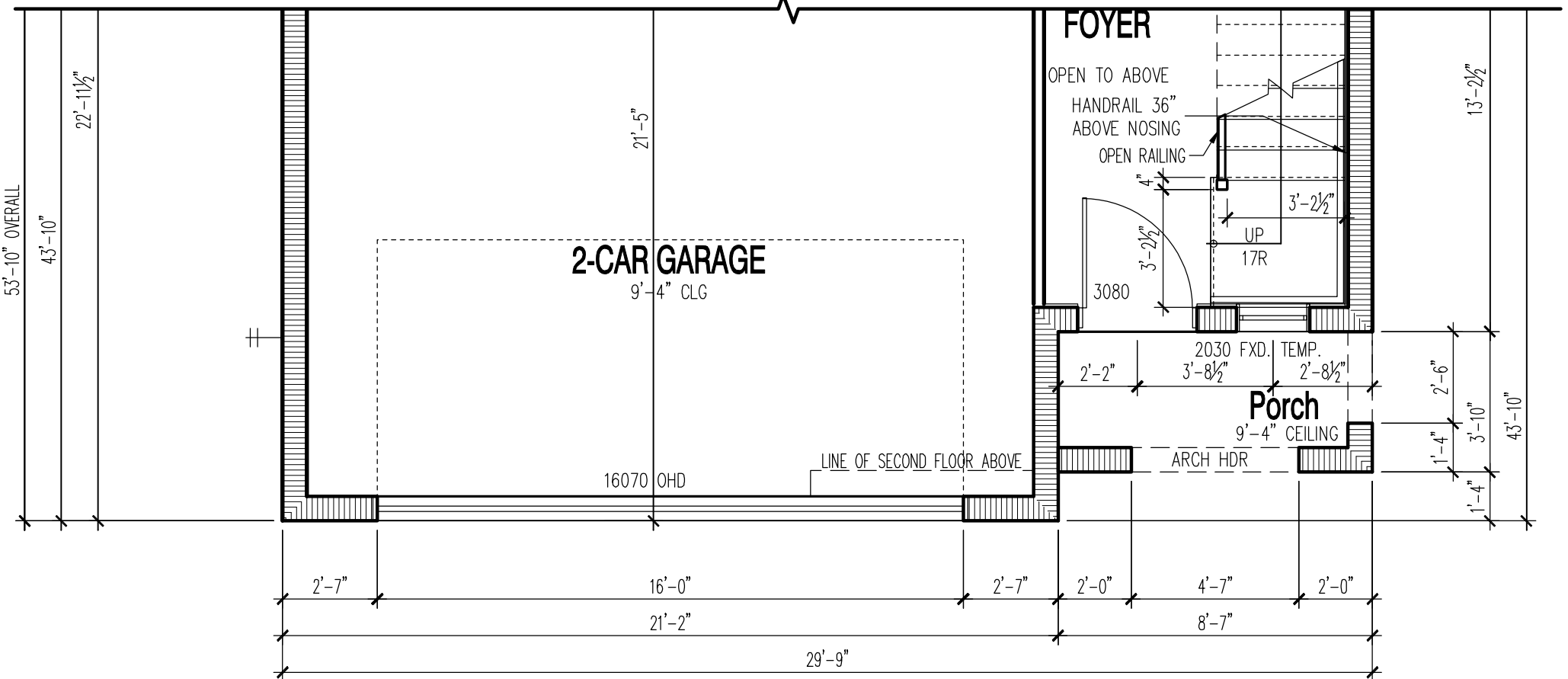
ALT. VENTING WITH FIRE RATED SOFFITS (SIDES):
44'-7 1/2" LINEAR FEET (446 SQ. IN.) OF SOFFIT VENT PROVIDED
(517 REQUIRED)
(0) ADDITIONAL VENT(S) REQUIRED

ATTIC VENTILATION - ZONE 1 (1ST FLOOR)					
TOTAL ATTIC AREA		FREE VENT REQ. (AREA/300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
1489	214416	5.0	715		
ROOF VENTS REQ.		SOFFIT VENTS REQ. (SI/10)			
SQ. FT.	SQ. IN.	# VENTS	SQ. FT.	SQ. IN.	LIN. FT.
2.5	357	3	2.5	357	36
ROOF TOP ATTIC VENT: SERIES 144 = 1 SQ. FT./ VENT (144 SQ. IN. VENT)					
SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.					
REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE					
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					



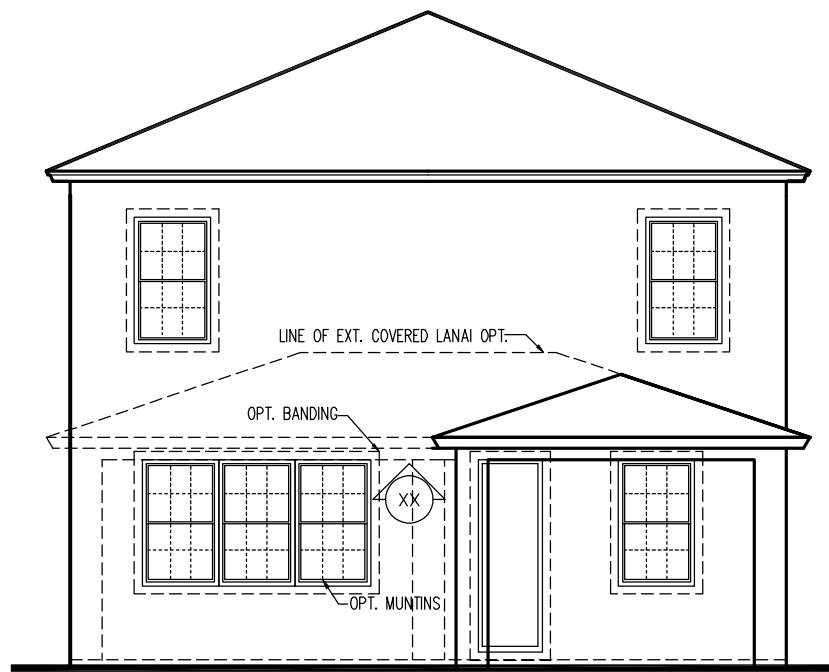
FIRST FLOOR PLAN @ ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



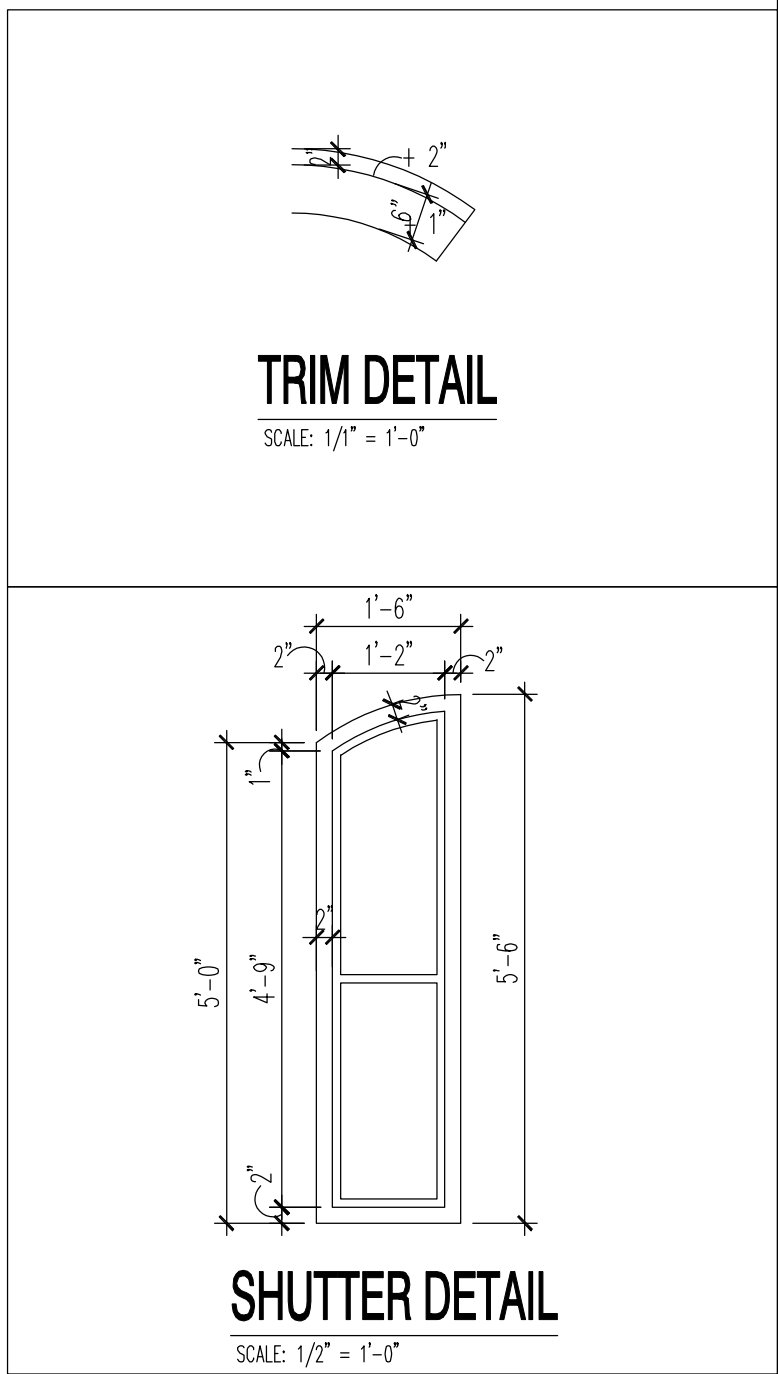
FIRST FLOOR PLAN @ ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



REAR ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



FLORIDA ZONE
 24311 Waden center Dr., Suite 300
 Bonita Spring, Florida 34134 (239) 495-4800



ELEVATION FM2A
 FM2A ELEVATION "3" FM2A

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 2016-06-10
REV#	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE
 Single Family

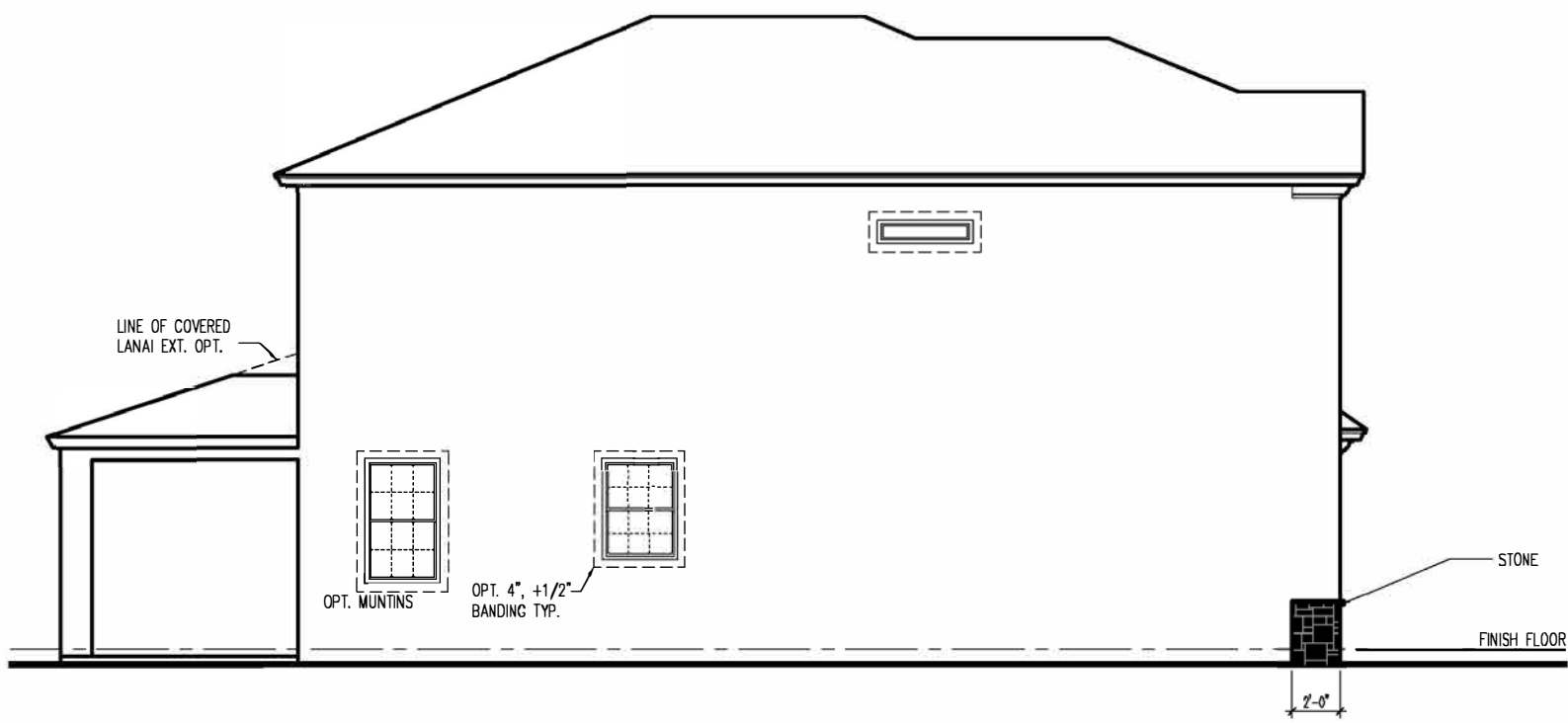
SPECIFICATION LEVEL
 Pulte

PLAN NAME
 Alexander

NPC NUMBER
 2086.500

SHEET
 A2.1

PLOTTED: June 22, 2017 / putteps / A2.1 FM2B Elevation 3 FM2B.dwg



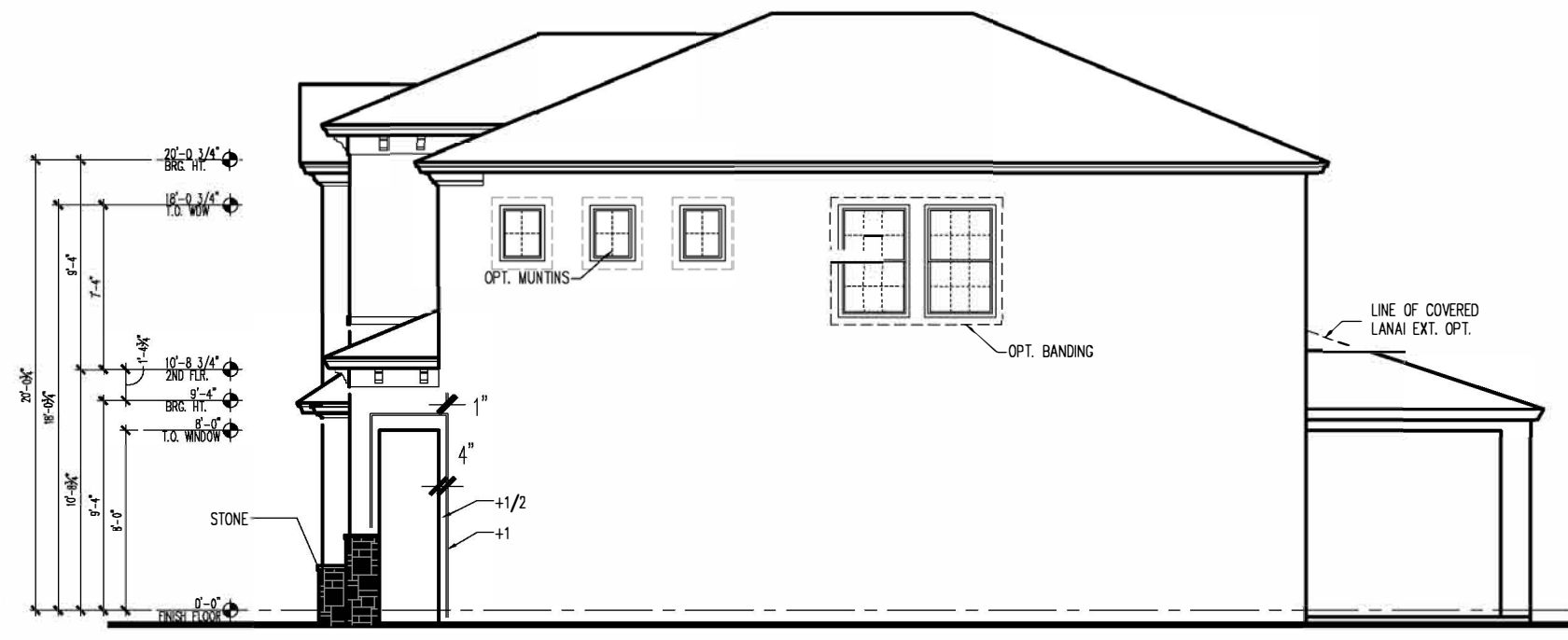
PARTIAL LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



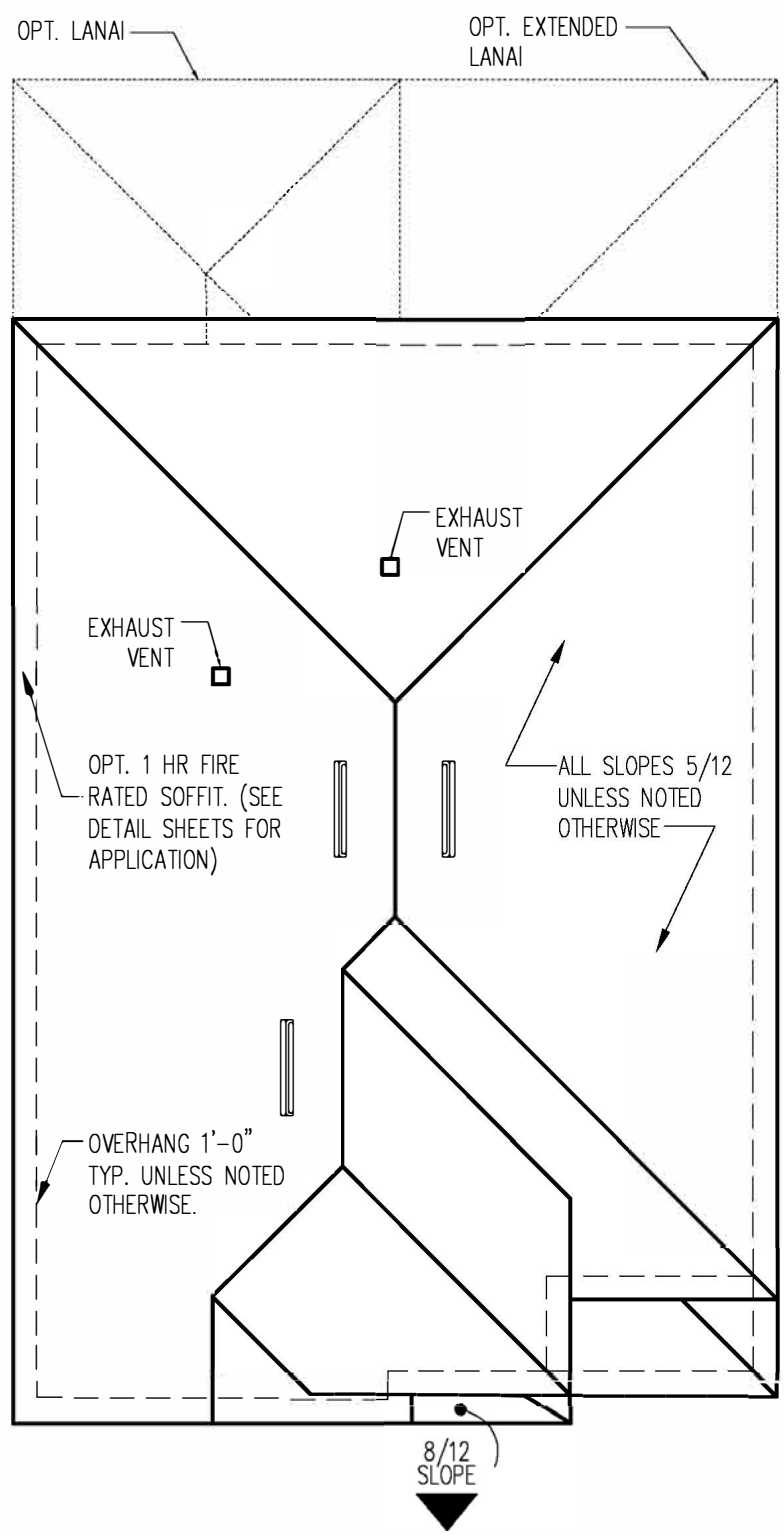
FRONT ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL RIGHT SIDE ELEVATION

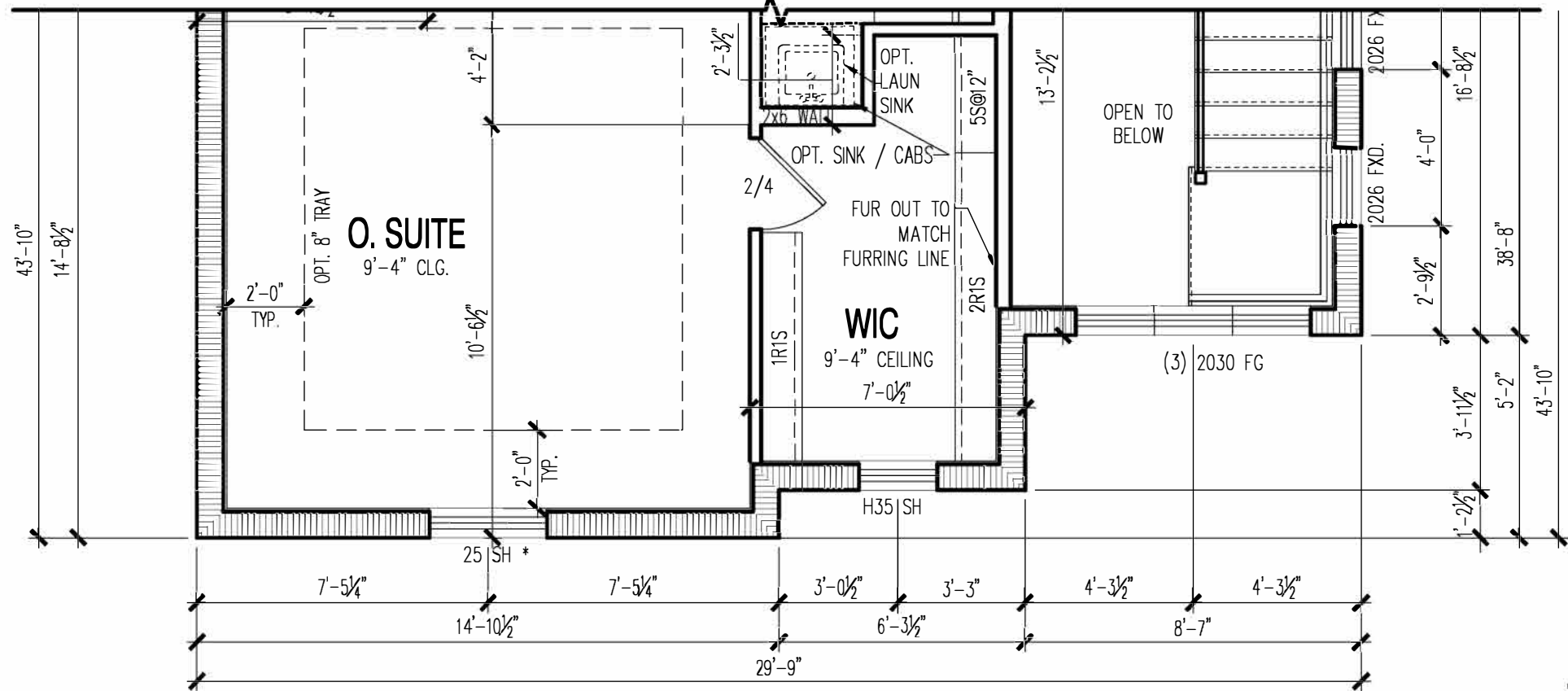
SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



ROOF PLAN @ ELEVATION

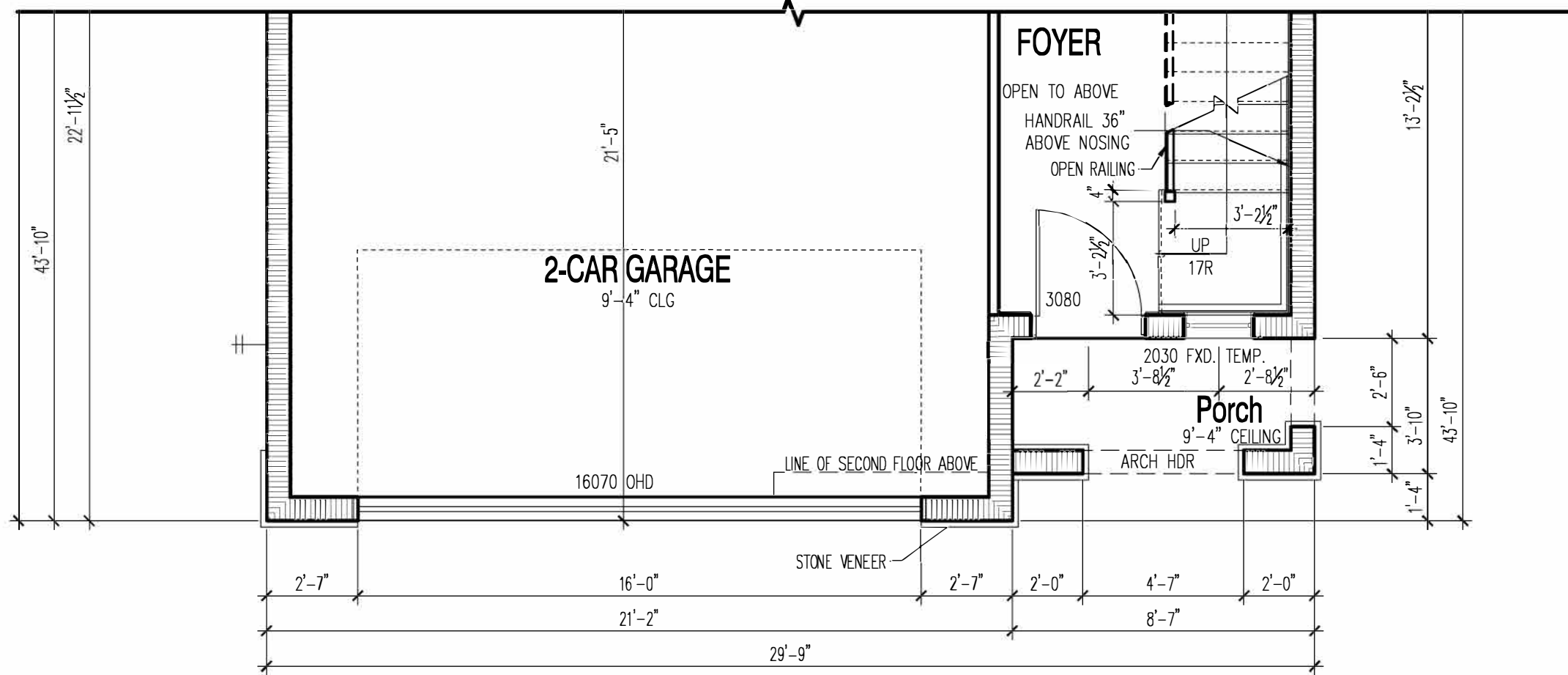
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/16" = 1'-0" ON 11x17 PAPER)

ATTIC VENTILATION - ZONE 1 (1ST FLOOR)					
TOTAL ATTIC AREA		FREE VENT REQ. (AREA/300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.		
1489	214416	5.0	715		
ROOF VENTS REQ.			SOFFIT VENTS REQ. (S/10)		
SQ. FT.	SQ. IN.	# VENTS	SQ. FT.	SQ. IN.	LIN. FT.
2.5	357	3	2.5	357	36
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
144 = 1 SQ. FT. / VENT (144 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
REQUIREMENTS IN ACCORDANCE WITH SECTION RB06.2 OF THE 2014 FLORIDA RESIDENTIAL CODE					
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					



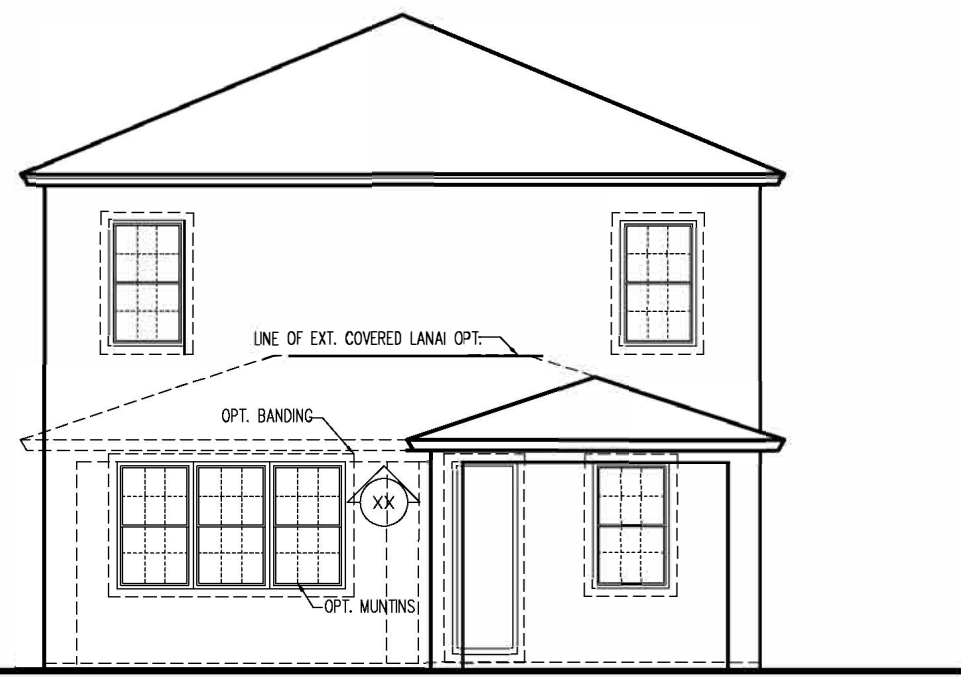
FIRST FLOOR PLAN @ ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



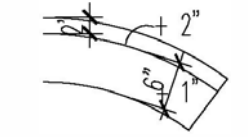
FIRST FLOOR PLAN @ ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



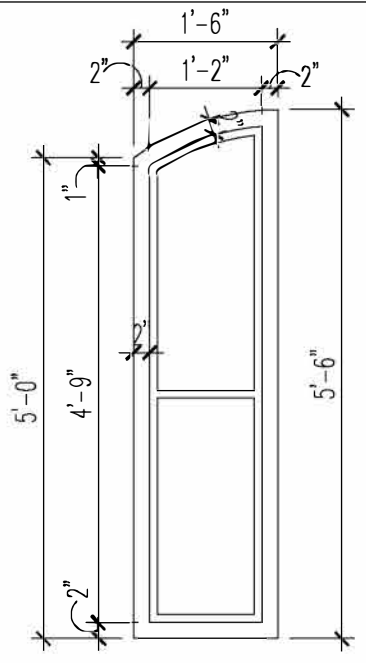
REAR ELEVATION

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



TRIM DETAIL

SCALE: 1/4" = 1'-0"



SHUTTER DETAIL

SCALE: 1/2" = 1'-0"

APPROVED ELEVATION

Florida Zone
 24311 Walden Center Dr Suite 300
 Bonita Springs, FL 34134



ELEVATION FM2B
 FM2B ELEVATION 3 FM2B

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 2016-06-10
REV#	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE
 Single Family

PLAN NAME
 Alexander
 SPECIFICATION LEVEL
 Pulte

SHEET
 A2.1

©COPYRIGHT: 2016 P3

NELSON

AREA CALCULATION (SQ. FT.)									
			LIVING AREA			NON-LIVING AREA			
	WIDTH	DEPTH	1ST FLOOR	2ND FLOOR	TOTAL A/C SPACE	GARAGE	COVERED ENTRY	LANAI	TOTAL AREA U.R.
BASE HOUSE (FM2A / FM2B)	35'-0"	58'-8"	1069	1099	2168	446	43	128	2785
W2A	0	0	0	0	0	0	-4	0	-4
COVERED LANAI EXTENSION	0	6'-0"	0	0	0	0	0	+100	100
TOTALS									

GENERAL NOTES

THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:
FLORIDA BUILDING CODE 5TH EDITION (2014) RESIDENTIAL
BUILDING TYPE: VB

—ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

—MINIMUM INSULATION PER SPEC AND ENERGY CALCULATIONS.

—PROTECTION FROM TERMITES: PROVIDE TERMITE PROTECTION WITH REGISTERED TERMITE PREVENTION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

—REGISTERED TERMITE PREVENTION SYSTEM TO BE APPROVED SYSTEM ON FIRST FLOOR PER MANUF. INSTRUCTIONS AND BAIT SYSTEM.

R703.6.1 LATH.
ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 11/2-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 7/8-INCHLONG (22.2 MM), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152 MM), OR AS OTHERWISE APPROVED.

R703.6.2 PLASTER.
PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.

THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1(3).

R703.6.2.1 WEEP SCREEDS.
A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

R703.6.3 WATER-RESISTIVE BARRIERS.
WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.

R905.2.7 UNDERLAYMENT APPLICATION.
THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET MEETING ASTM D 1970 OR AN APPROVED SELF-ADHERING SYNTHETIC UNDERLAYMENT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

DRAWING INDEX

G1.1 INDEX, HOUSE DATA, GEN. NOTES
G1.2 ARCHITECTURAL HISTORY
A1.1 FIRST FLOOR PLAN
A1.2 SECOND FLOOR PLAN
A01.1 FLOOR PLAN OPTIONS

A2.1 ELEVATIONS

E1.1 FIRST FLOOR PLAN-ELECTRICAL
E1.2 SECOND FLOOR PLAN-ELECTRICAL
E01.1 FLOOR PLAN OPTIONS-ELECTRICAL
E2.1 FIRST FLOOR ELECTRICAL OPTIONS
E2.2 SECOND FLOOR ELECTRICAL OPTIONS
E02.1 FLOOR PLAN OPTIONS - ELECTRICAL OPTIONS

P1.1 FIRST FLOOR PLAN-PLUMBING
P1.2 SECOND FLOOR PLAN-PLUMBING
P01.1 FLOOR PLAN OPTIONS -PLUMBING

CURRENT RELEASE DATE

6/10/16

FLORIDA ZONE

24311 Waden center Dr., Suite 300
Bonita Spring, Florida 34134 (239) 495-4800



COVER SHEET

PRODUCT MANAGER	
—	
INITIAL RELEASE DATE	
6/10/16	
REV#	DATE/DESCRIPTION
△	.
△	.
△	.
△	.
△	.
△	.
△	.
△	.
△	.

PROJECT TYPE

Single Family

SPECIFICATION LEVEL

Pulte

PLAN NAME

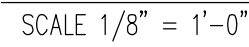
Nelson

NPC NUMBER

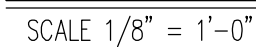
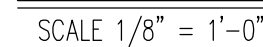
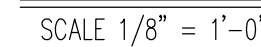
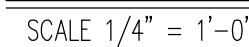
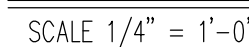
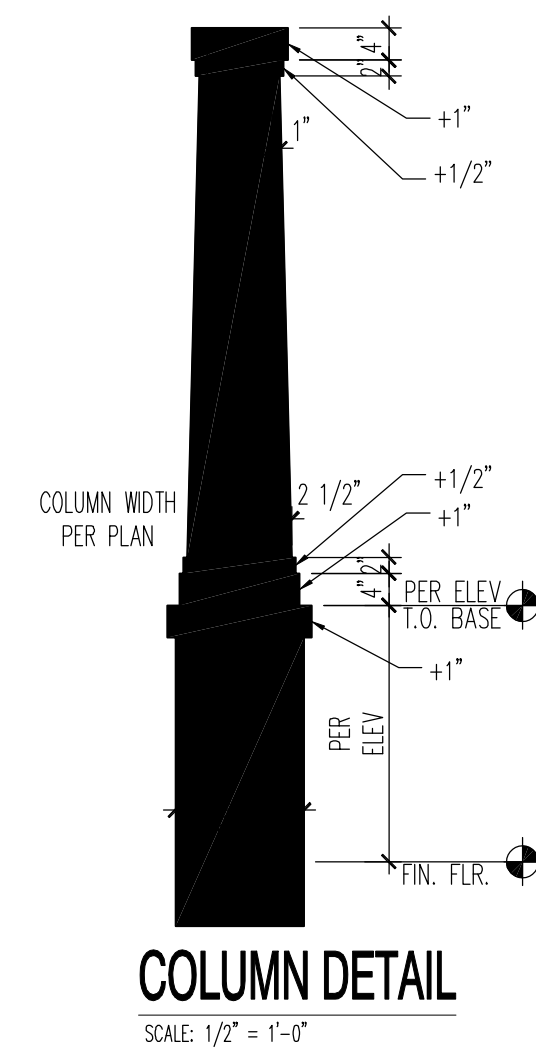
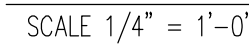
2088.500

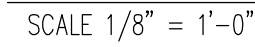
SHEET

G1.1

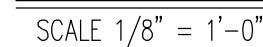
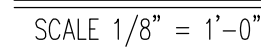
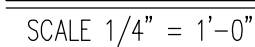
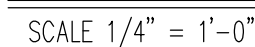
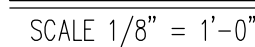
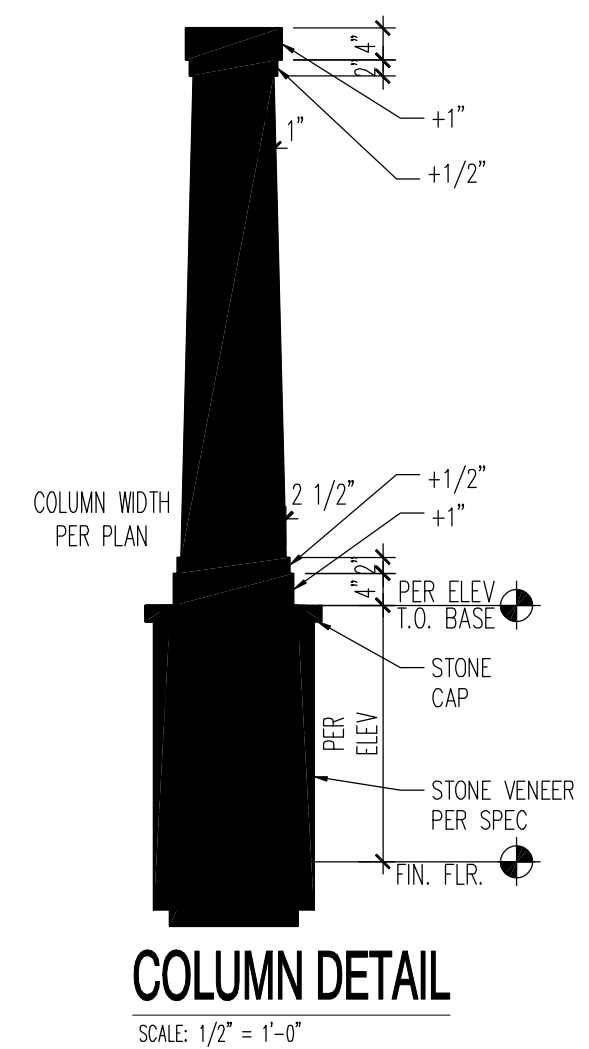
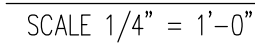


ATTIC VENTILATION - (2ND FLOOR)					
TOTAL ATTIC AREA			FREE VENT REQ. (AREA/300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
1369	197136		4.6	657	
ROOF VENTS REQ.			SOFFIT VENTS REQ. (S/I10)		
SQ. FT.	SQ. IN.	# VENTS	SQ. FT.	SQ. IN.	LIN. FT.
2.3	329	3	2.3	329	33
ROOF TOP TOTAL ATTIC: SERIES			SOFFIT VENT TYPE:		
144 sq. ft. / VENT			CONTINUOUS		
(144 sq. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN.		
			AREA PER LINEAR FT.		
REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE					
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					





ATTIC VENTILATION - (2ND FLOOR)					
TOTAL ATTIC AREA			FREE VENT REQ. (AREA/300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
1369	197136		4.6	657	
ROOF VENTS REQ.			SOFFIT VENTS REQ. (9/10)		
SQ. FT.	SQ. IN.	# VENTS	SQ. FT.	SQ. IN.	LIN. FT.
2.3	329	3	2.3	329	33
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
144 sq. ft. / VENT (144 sq. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE					
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					



SIENNA

AREA CALCULATION (SQ. FT.)									
			LIVING AREA			NON-LIVING AREA			
	WIDTH	DEPTH	1ST FLOOR	2ND FLOOR	TOTAL A/C SPACE	GARAGE	COVERED ENTRY	LANAI	TOTAL AREA U.R.
BASE HOUSE (FM2A / FM2B)	29'-9"	54'-9"	989	1231	2220	446	43	128	2837
W2A	0	0	0	-32	-32	0	+9	0	-23
C2A/C2B	0	0	0	-32	-32	0	+3(C2B)	0	-29
LC2B	0	0	0	-32	-32	0	+9	0	-23
TOTALS									

GENERAL NOTES

- THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:
 FLORIDA BUILDING CODE 6TH EDITION (2017) RESIDENTIAL
 BUILDING TYPE: VB
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- MINIMUM INSULATION PER SPEC AND ENERGY CALCULATIONS.
- PROTECTION FROM TERMITES: PROVIDE TERMITE PROTECTION WITH REGISTERED TERMITE PREVENTION SYSTEM IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- REGISTERED TERMITE PREVENTION SYSTEM TO BE APPROVED SYSTEM ON FIRST FLOOR PER MANUF. INSTRUCTIONS AND BAIT SYSTEM.

DRAWING INDEX

- G1.1
 G1.2
 A1.1
 A1.2
 A01.1
- INDEX, HOUSE DATA, GEN. NOTES
 ARCHITECTURAL HISTORY
 FIRST FLOOR PLAN
 SECOND FLOOR PLAN
 FLOOR PLAN OPTIONS
- A2.1
- ELEVATIONS
- E1.1
 E1.2
 E01.1
 E2.1
 E2.2
 E02.1
- FIRST FLOOR PLAN-ELECTRICAL
 SECOND FLOOR PLAN-ELECTRICAL
 FLOOR PLAN OPTIONS-ELECTRICAL
 FIRST FLOOR ELECTRICAL OPTIONS
 SECOND FLOOR ELECTRICAL OPTIONS
 FLOOR PLAN OPTIONS - ELECTRICAL OPTIONS
- P1.1
 P1.2
 P01.1
- FIRST FLOOR PLAN-PLUMBING
 SECOND FLOOR PLAN-PLUMBING
 FLOOR PLAN OPTIONS -PLUMBING

CURRENT RELEASE DATE

6/10/16

FLORIDA ZONE

24311 Waden center Dr., Suite 300
 Bonita Spring, Florida 34134 (239) 495-4800



COVER SHEET

INDEX, HOUSE DATA, GEN.NOTE

PRODUCT MANAGER
 -
 INITIAL RELEASE
 DATE: 6/10/16

REV# DATE/DESCRIPTION
 1
 2
 3
 4
 5
 6
 7
 8
 9

PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

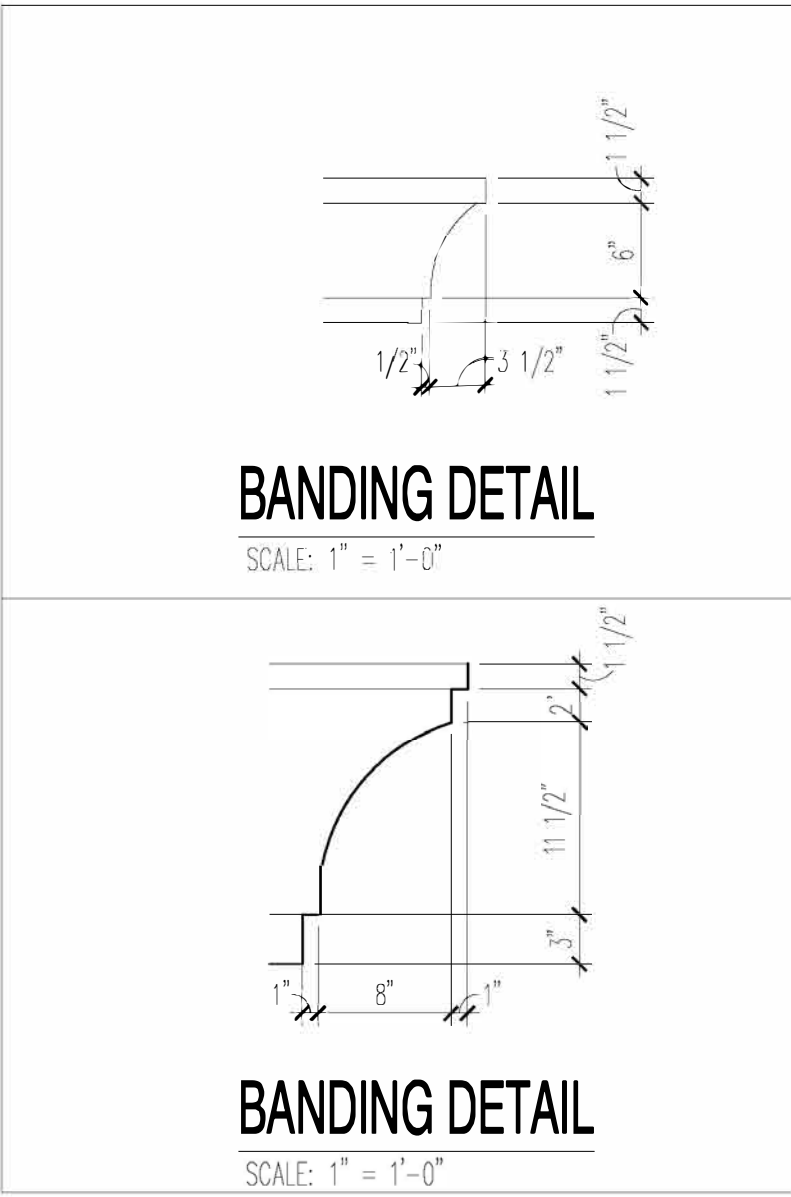
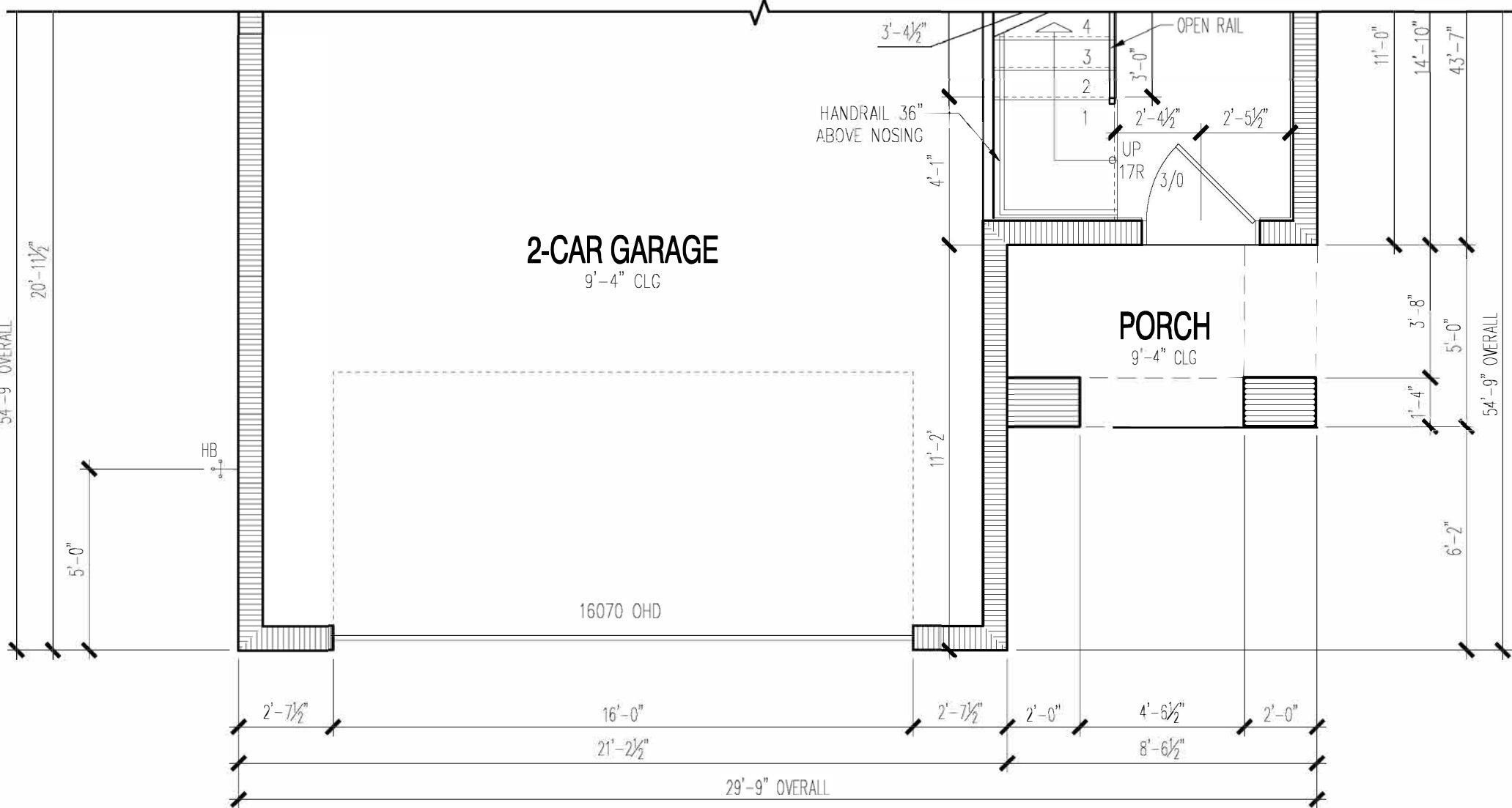
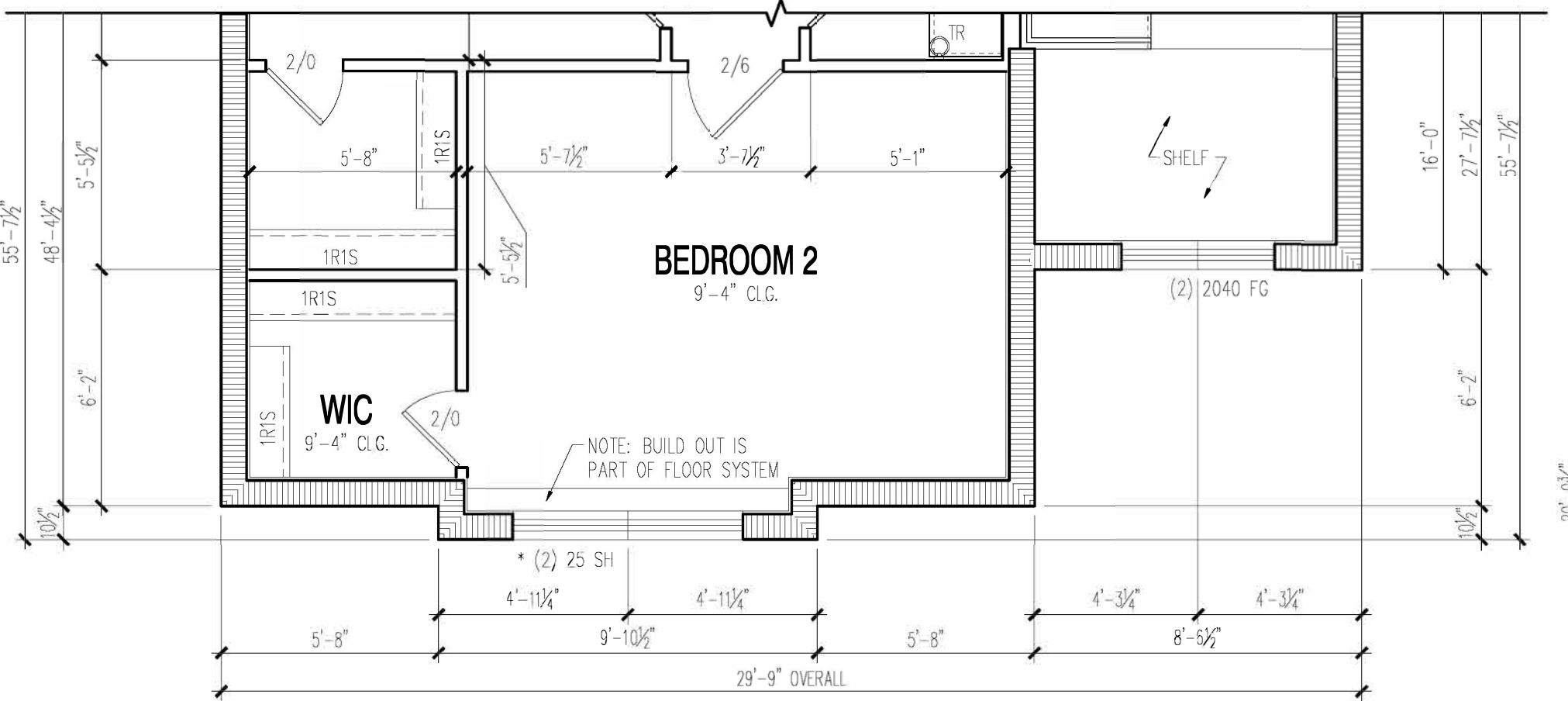
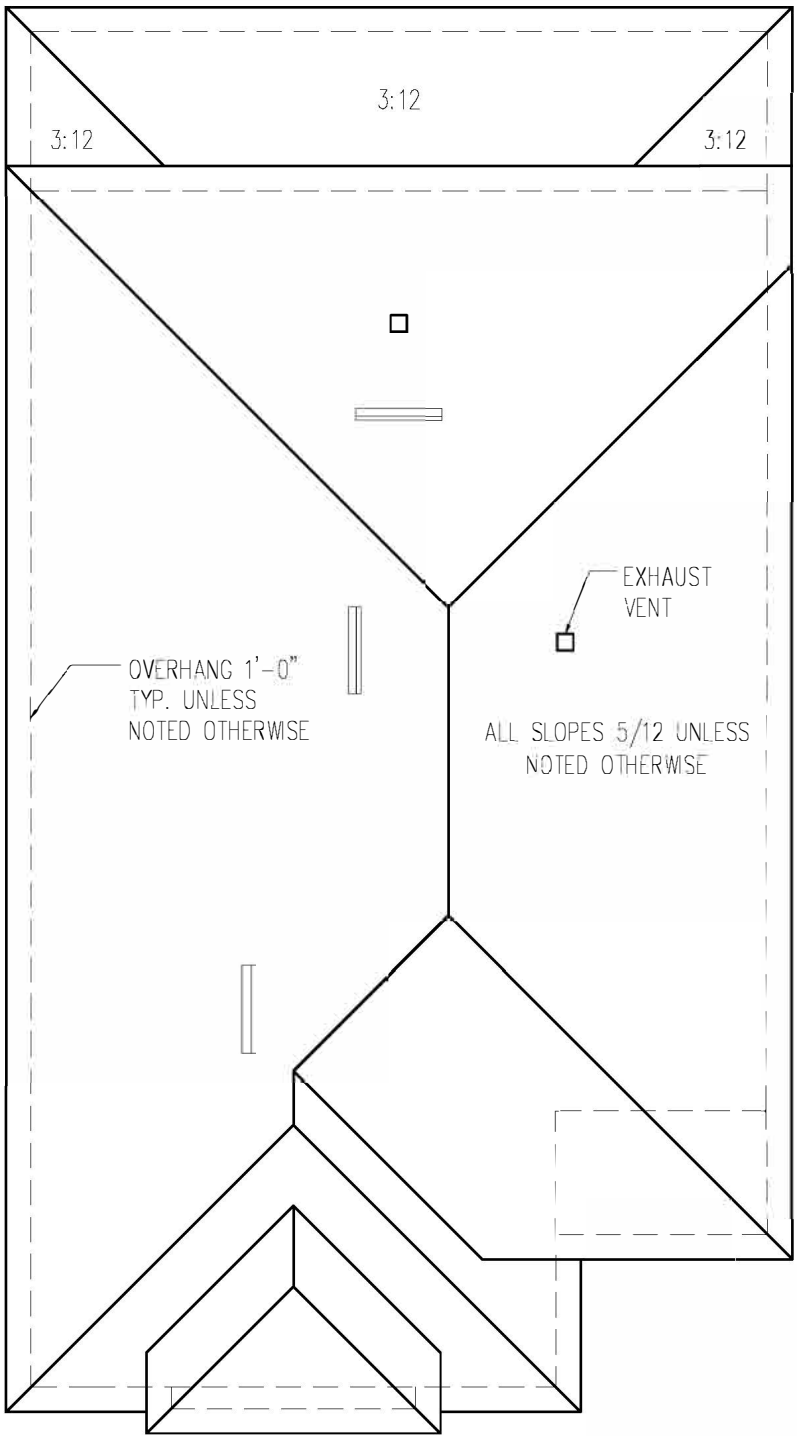
PLAN NAME
 Sienna
 NPC NUMBER
 2089.500

SHEET
 G.1.1

PLOTTED: January 17, 2018 / user=8895 / 42.1 Elevation "3" FM2A.dwg



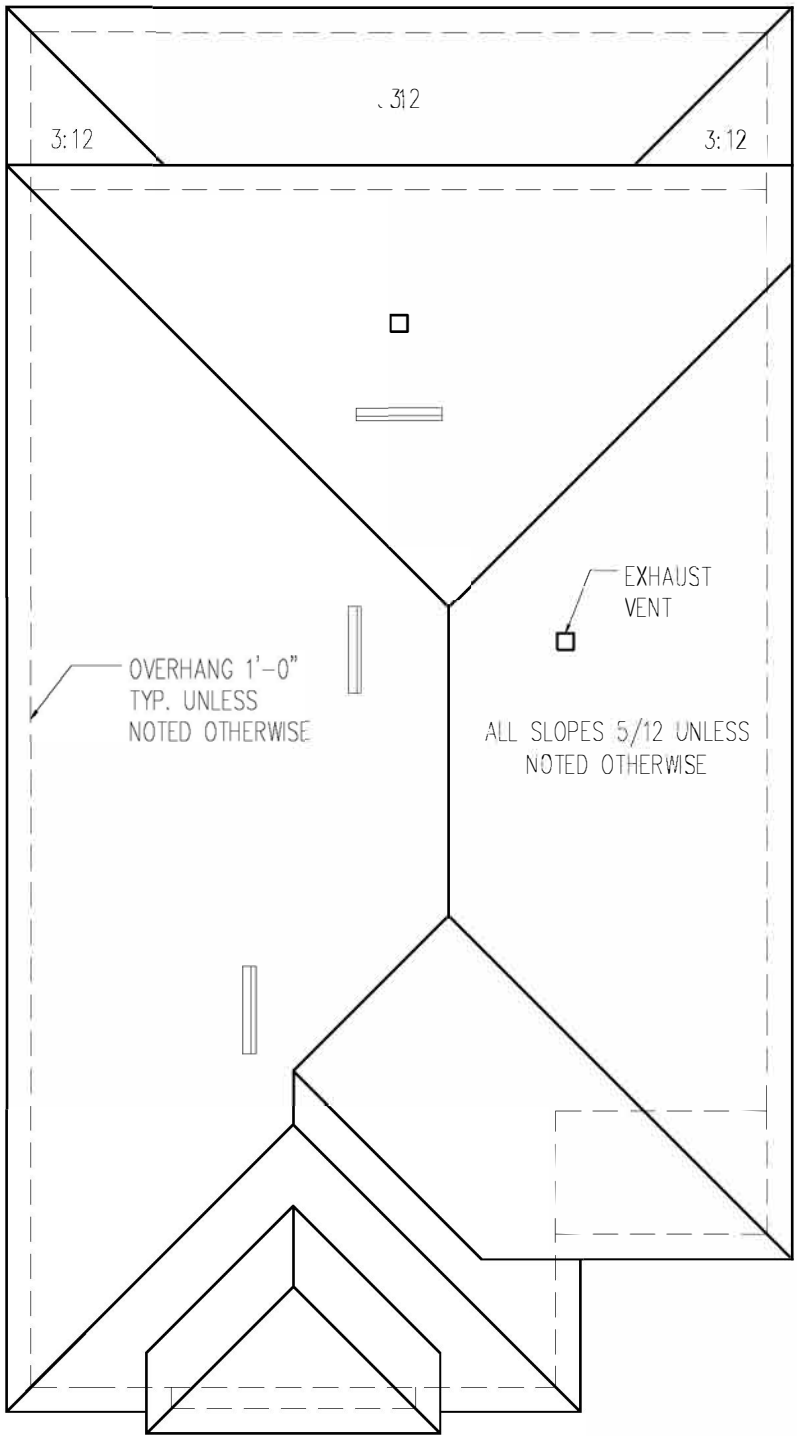
ATTIC VENTILATION - ZONE 1 (1ST FLOOR)							
TOTAL ATTIC AREA				FREE VENT REQD. (AREA/300)			
SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.
1344	1935.36	4.5	645				
ROOF VENTS REQD.				SOFFIT VENTS REQD. (S/10)			
SQ. FT.	SQ. IN.	# VENTS		SQ. FT.	SQ. IN.	SQ. FT.	SQ. IN.
2.2	323	3		2.2	323	32	32
ROOF TOP ATTIC VENT: SERIES 144 = 1 SQ. FT. / VENT (144 SQ. IN. VENT)				SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.			
REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE.							
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY							



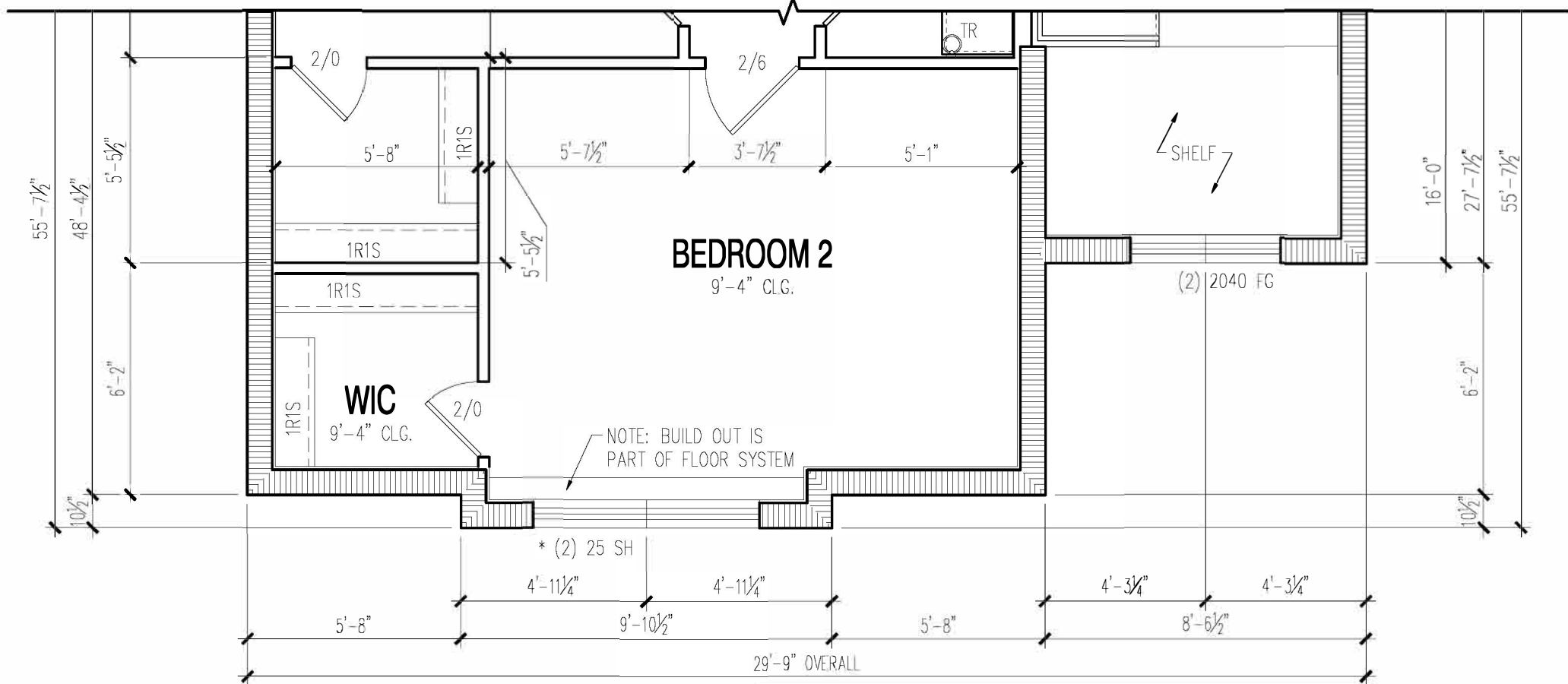
PLOTTED: January 17, 2018 / user-5886 / A2.1FM2B Elevation - "4" FM2B.dwg



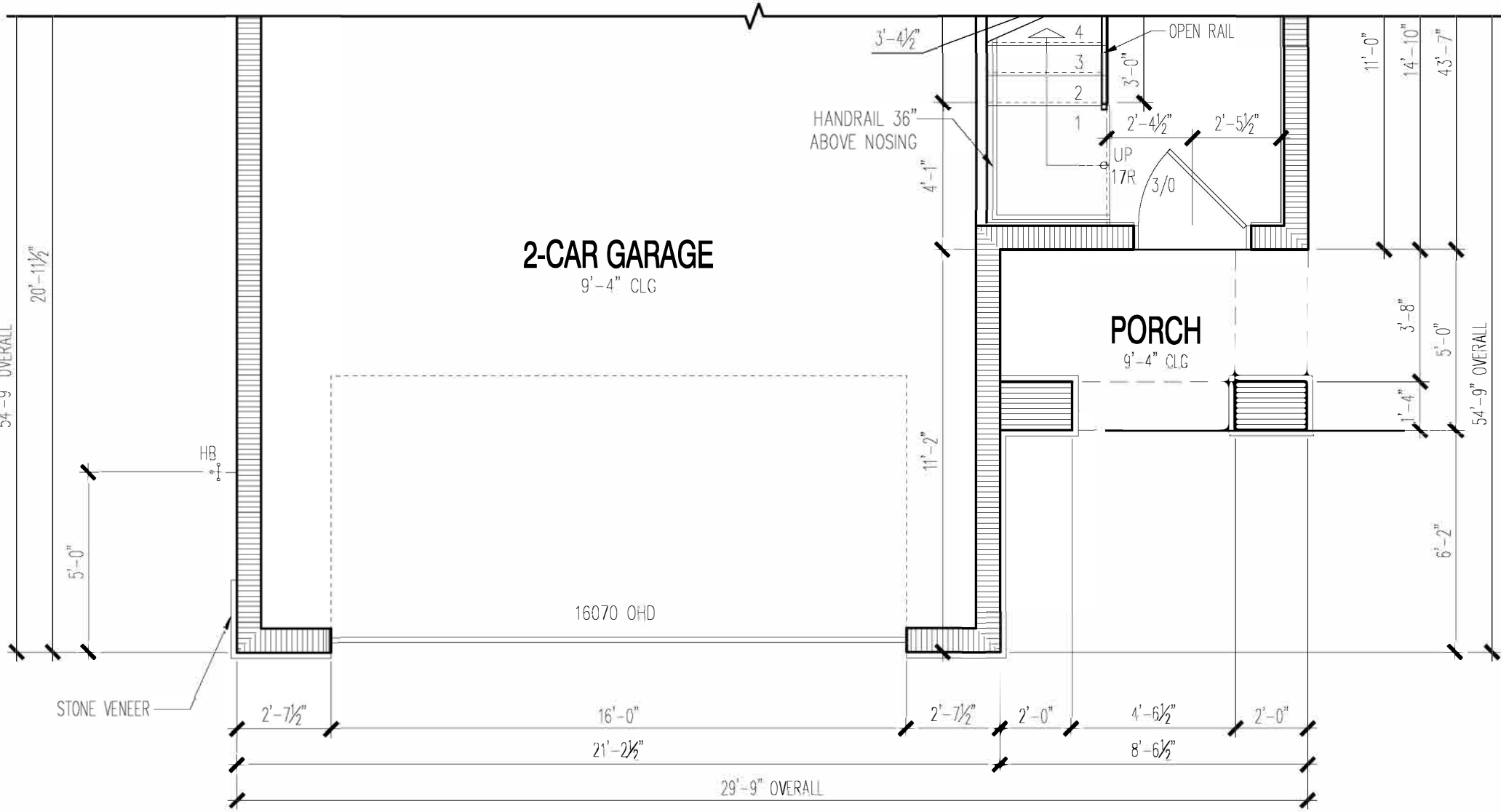
ATTIC VENTILATION – ZONE 1 (1ST FLOOR)							
TOTAL ATTIC AREA			FREE VENT REQ. (AREA/300)				
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.
1344	193536		4.5			645	
ROOF VENTS REQ.			SOFFIT VENTS REQ. (S/10)				
SQ. FT.	SQ. IN.	# VENTS	SQ. FT.	SQ. IN.		LIN. FT.	
2.2	323	3	2.2	323		32	
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS				
144 = 1 SQ. FT. / VENT			SOFFIT VENT = 10.0 SQ. IN.				
(144 SQ. IN. VENT)			AREA PER LINEAR FT.				
REQUIREMENTS IN ACCORDANCE WITH SECTION R806.2 OF THE 2014 FLORIDA RESIDENTIAL CODE							
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY							



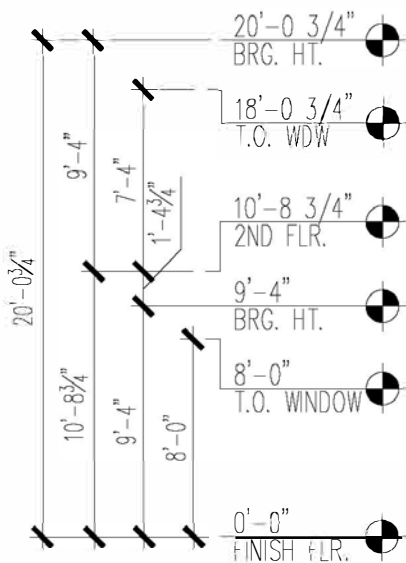
ROOF PLAN
SCALE 1/8" = 1'-0"



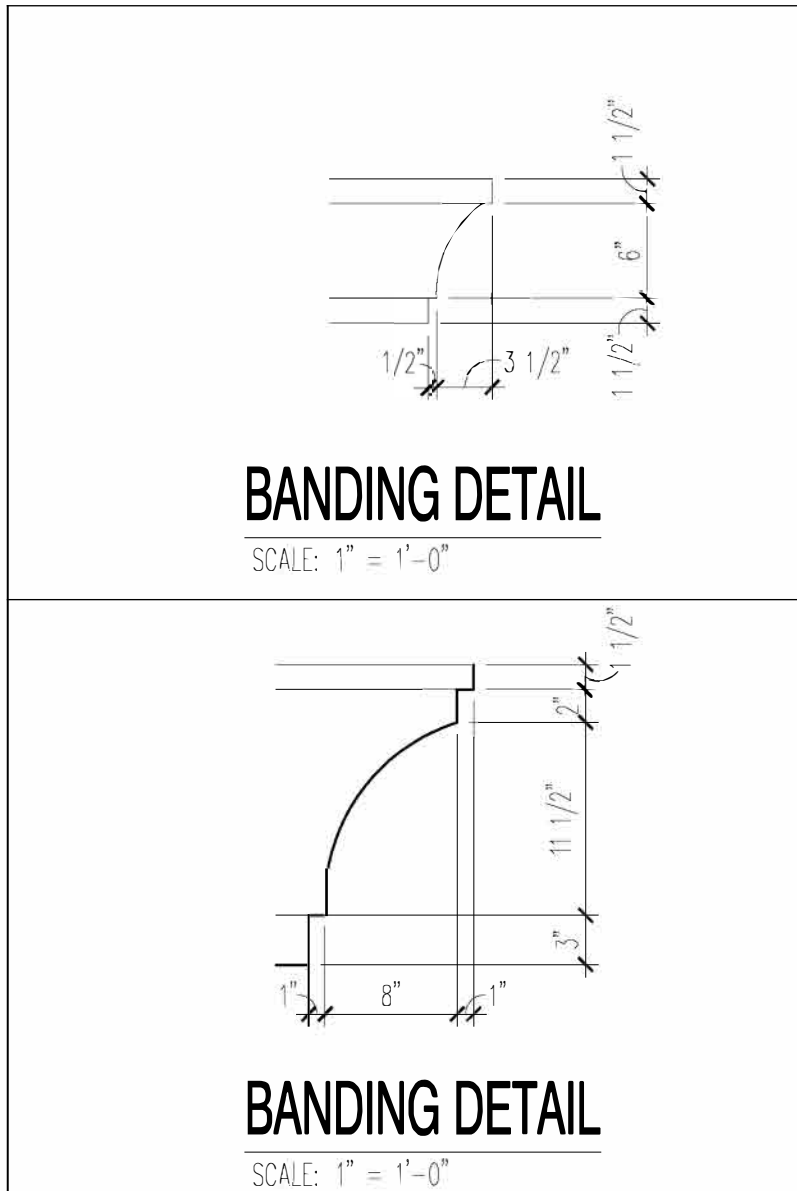
PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



PARTIAL FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



© COPYRIGHT: 2015 P3

FLORIDA ZONE
 24311 Waden center Dr., Suite 300
 Bonita Spring, Florida 34134 (239) 495-4800

ELEVATION "4" FM2B
 ELEVATIONS

PRODUCT MANAGER
 INITIAL RELEASE
 DATE: 6/10/16

REV# DATE/DESCRIPTION

PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

PLAN NAME
 Sienna
 NPC NUMBER
 2089.500

SHEET
 A2.1FM2B

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Spring, Florida 34134 (290)495-4800 (770)381-3450



COVER SHEET

[illegible]

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME	Mystique
NPC NUMBER	2684.500

SHEET

G1.1

PLOTTED: May 27, 2019 / user-596 / G1.1 COVER SHEET.dwg

CONTROL DATE

01/26/2018

PRODUCT ACTION

REQUEST / REVISION

TRACKING

DRAWING INDEX

Sheet List Table	
Sheet Number	Sheet Title
G1.1	COVER SHEET
GN	General Notes
G1.2	ARCHITECURAL PLAN HISTORY
G2.1	FIRST FLOOR PLAN
G2.2	SECOND FLOOR PLAN
G02.1	FLOOR PLAN OPTIONS
G3.1	FIRST FLOOR PLAN
G3.2	SECOND FLOOR PLAN
G03.1	FLOOR PLAN OPTIONS
G4.1	FIRST FLOOR PLAN
G4.2	SECOND FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A01.1	FLOOR PLAN OPTIONS
A01.2	FLOOR PLAN OPTIONS – COVERED LANAI EXTENSION
A01.3	FLOOR PLAN OPTIONS COVERED LANAI EXTENSION W – LOFT
A01.4	FLOOR PLAN OPTIONS COVERED LANAI W-RAISED PLATE
A01.7	FLOOR PLAN OPTIONS – 3RD CAR GARAGE
A01.8	FLOOR PLAN OPTIONS – 3RD CAR GARAGE
A01.9	FLOOR PLAN OPTIONS – 3RD CAR GARAGE
A01.10	FLOOR PLAN OPTIONS – 3RD CAR GARAGE W – LOFT
A01.11	FLOOR PLAN OPTIONS – 3RD CAR GARAGE W – LOFT
A01.12	FLOOR PLAN OPTIONS – 3RD CAR GARAGE W – LOFT
A2.1FM1	ELEVATION FM1
A2.1FM1-L	ELEVATION FM1-L
A2.1FM1-R	ELEVATION FM1-R
A2.1FM2	ELEVATION FM2
A2.1FM2-L	ELEVATION FM2-L
A2.1FM2-R	ELEVATION FM2-R
A2.1FM3	ELEVATION FM3
A2.1FM3-L	ELEVATION FM3-L
A2.1FM3-R	ELEVATION FM3-R
A2.1C1	ELEVATION C1
A2.1C1-L	ELEVATION C1-L
A2.1C1-R	ELEVATION C1-R
A2.1C2	ELEVATION C2
A2.1C2-L	ELEVATION C2-L
A2.1C2-R	ELEVATION C2-R
A2.1C3	ELEVATION C3
A2.1C3-L	ELEVATION C3- L
A2.1C3-R	ELEVATION C3-R
A2.1C02A	ELEVATION C02A
A2.1C02A-L	ELEVATION C02A-L
A2.1C02A-R	ELEVATION C02A-R
A2.1C02B	ELEVATION C02B
A2.1C02B-L	ELEVATION C02B-L
A2.1C02B-R	ELEVATION C02B-R
A2.1C03	ELEVATION C03
A2.1C03-L	ELEVATION C03-L
A2.1C03-R	ELEVATION C03-R
E1.1	FIRST FLOOR PLAN
E1.2	SECOND FLOOR PLAN
E01.1	FLOOR PLAN OPTIONS
E2.1	FIRST FLOOR PLAN
E2.2	SECOND FLOOR PLAN
E02.1	FLOOR PLAN OPTIONS
P1.1	FIRST FLOOR PLAN
P1.2	SECOND FLOOR PLAN
P01.1	FLOOR PLAN OPTIONS

GENERAL NOTES

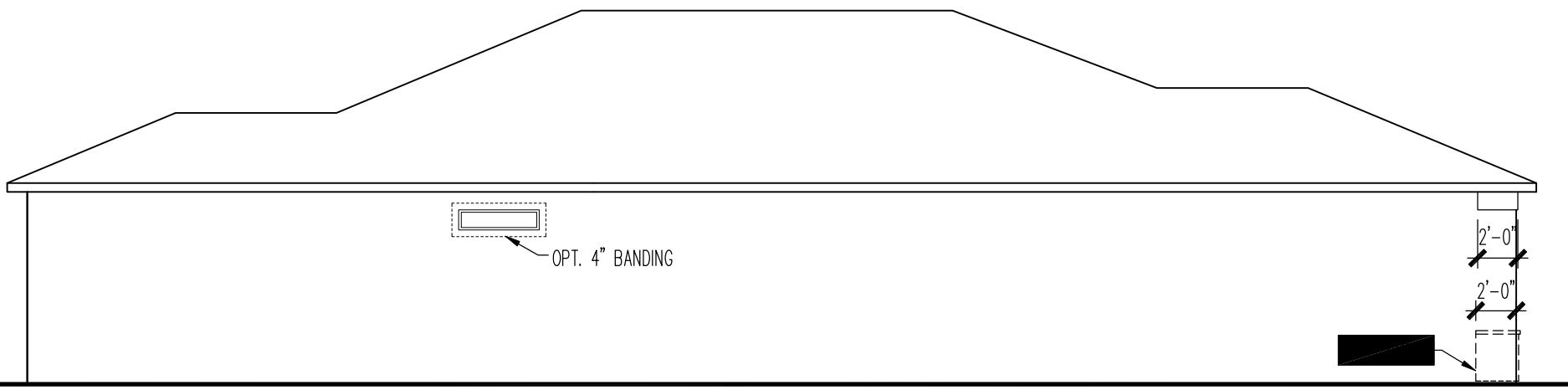
-THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:
-FLORIDA BUILDING CODE 6TH EDITION (2017) RESIDENTIAL
-2014 NATIONAL ELECTRIC CODE
-BUILDING TYPE: VB

SQUARE FOOTAGES

BASE PLAN AND MASTER SET AREA TABLE	
Description	Area
-	
: _CONDITIONED SPACE	
Base Plan – 1st Floor	1889 SF
:CONDITIONED SPACE - ADDITIONAL (ADDED TO BASE)	
Bedroom 4	167 SF
C2 Bay Window	16 SF
Ext. Gathering Room	130 SF
FM2 Bay Window	32 SF
FM3 Bay Window	28 SF
Loft	981 SF
-	
: _NON-CONDITIONED SPACE	
Covered Lanai	130 SF
Covered Lanai – Extended	325 SF
Covered Lanai w/ Extended Gathering Room	195 SF
Front Porch – C1	28 SF
Front Porch – C2	28 SF
Front Porch – C3	144 SF
Front Porch – C02A	45 SF
Front Porch – C02B	28 SF
Front Porch – C03	144 SF
Front Porch – FM1	28 SF
Front Porch – FM2	28 SF
Front Porch – FM3	28 SF
Garage – 3rd Car Bay w/ 4’ Ext.	718 SF
Garage – 4’ Ext.	519 SF
Garage – Standard	434 SF
Garage – Standard @ 3rd Car Bay	634 SF
Garage Storage	167 SF

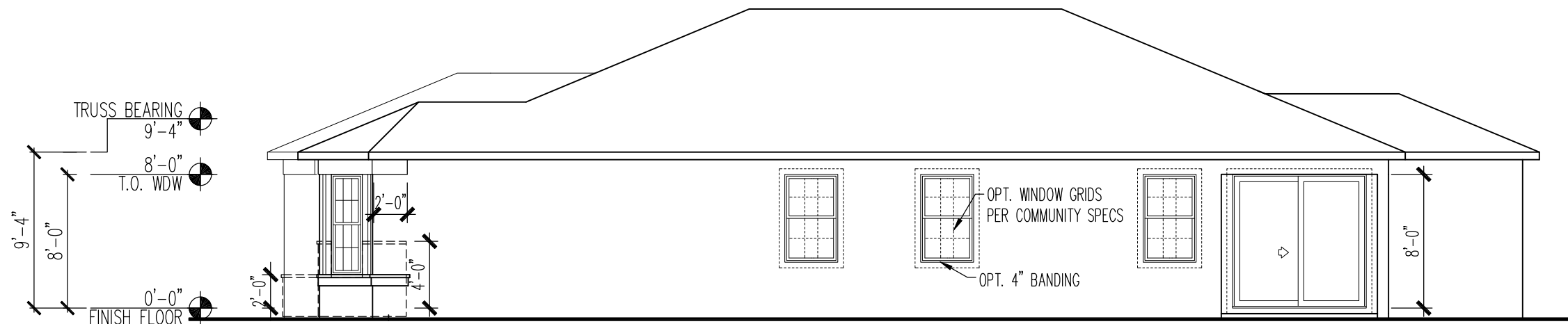
WIDTH & DEPTH

	WIDTH	DEPTH
BASE HOUSE – FM1	40’-0”	74’-0”
ELEVATION FM2	0	0
ELEVATION FM3	0	0
ELEVATION C1	0	0
ELEVATION C2	0	0
ELEVATION C3	0	+8”
ELEVATION C02A	0	0
ELEVATION C02B	0	0
ELEVATION C03	0	+8”
ELEVATION SUNROOM	0	0
ELEVATION EXTENDED LANAI	0	0
LOFT W/BED & BATH	0	0
GARAGE 4’-0” EXT.	0	+4’-0”
3RD CAR GARAGE	+10’-0”	0



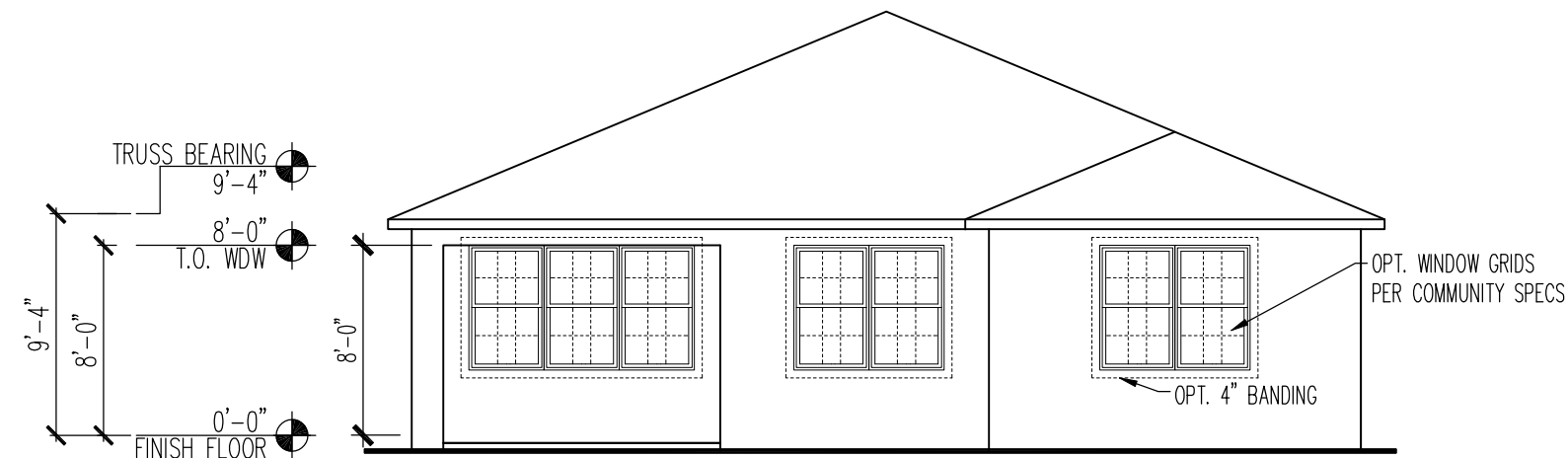
LEFT ELEVATION

SCALE: 1/8"=1'-0"



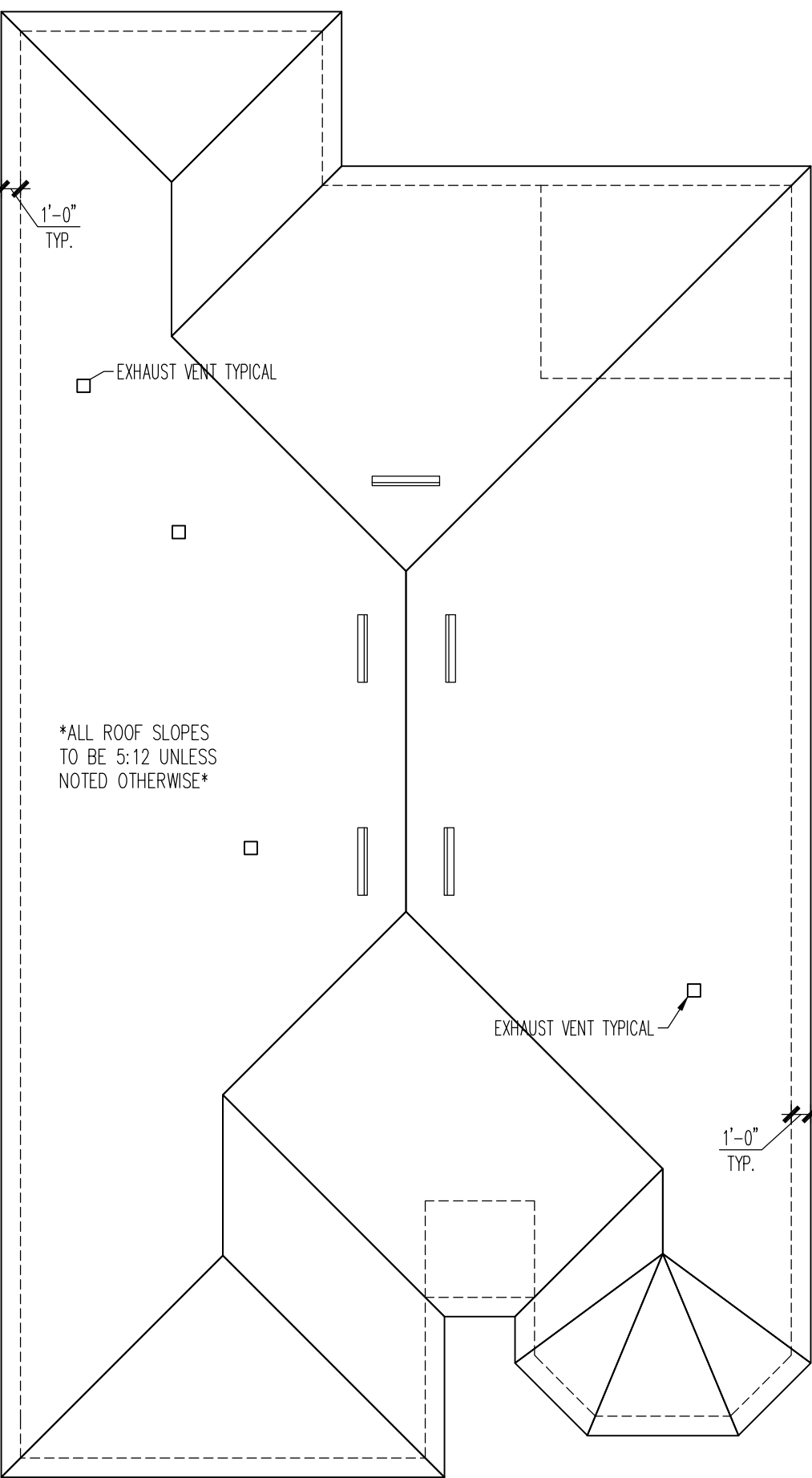
RIGHT ELEVATION

SCALE: 1/8"=1'-0"



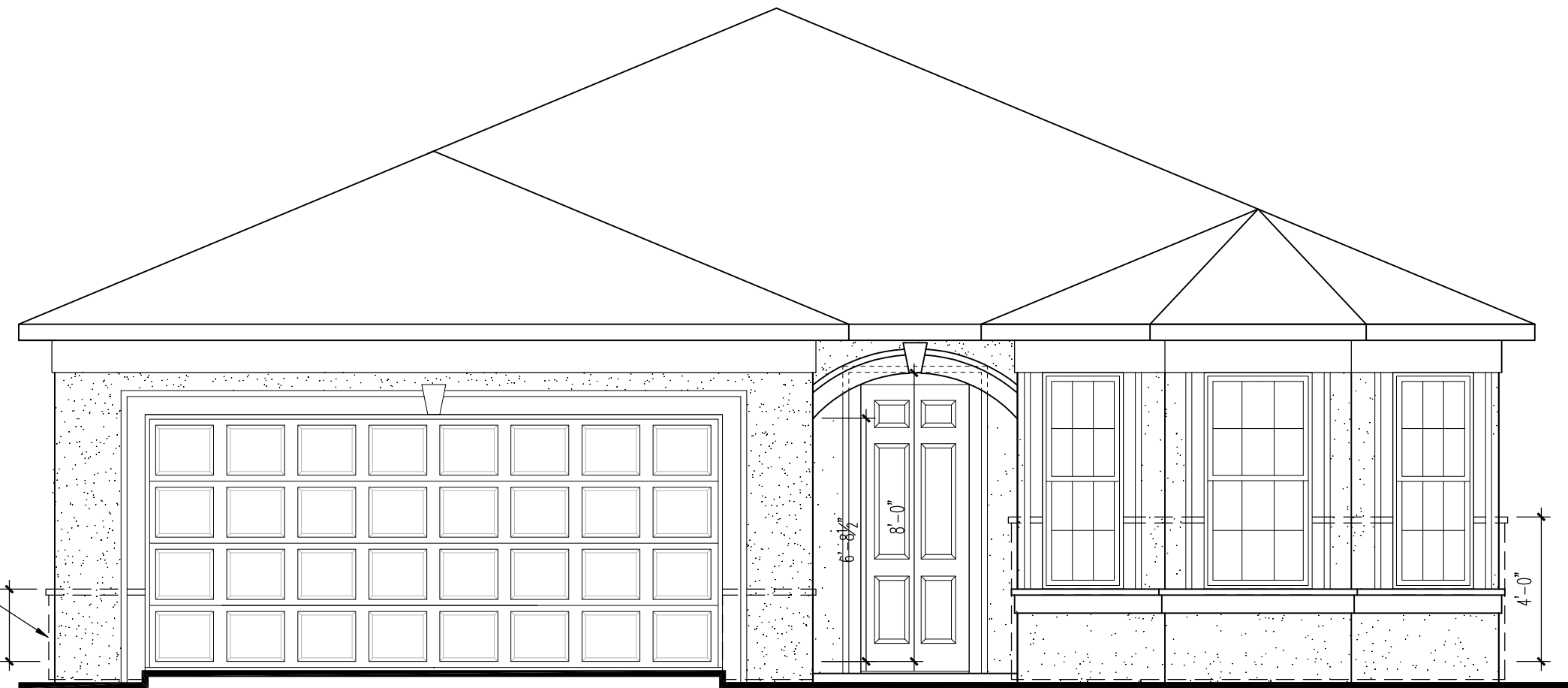
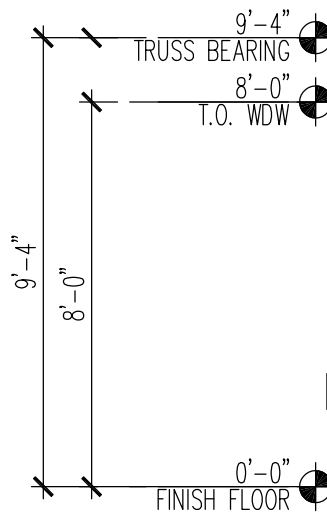
REAR ELEVATION

SCALE: 1/8"=1'-0"



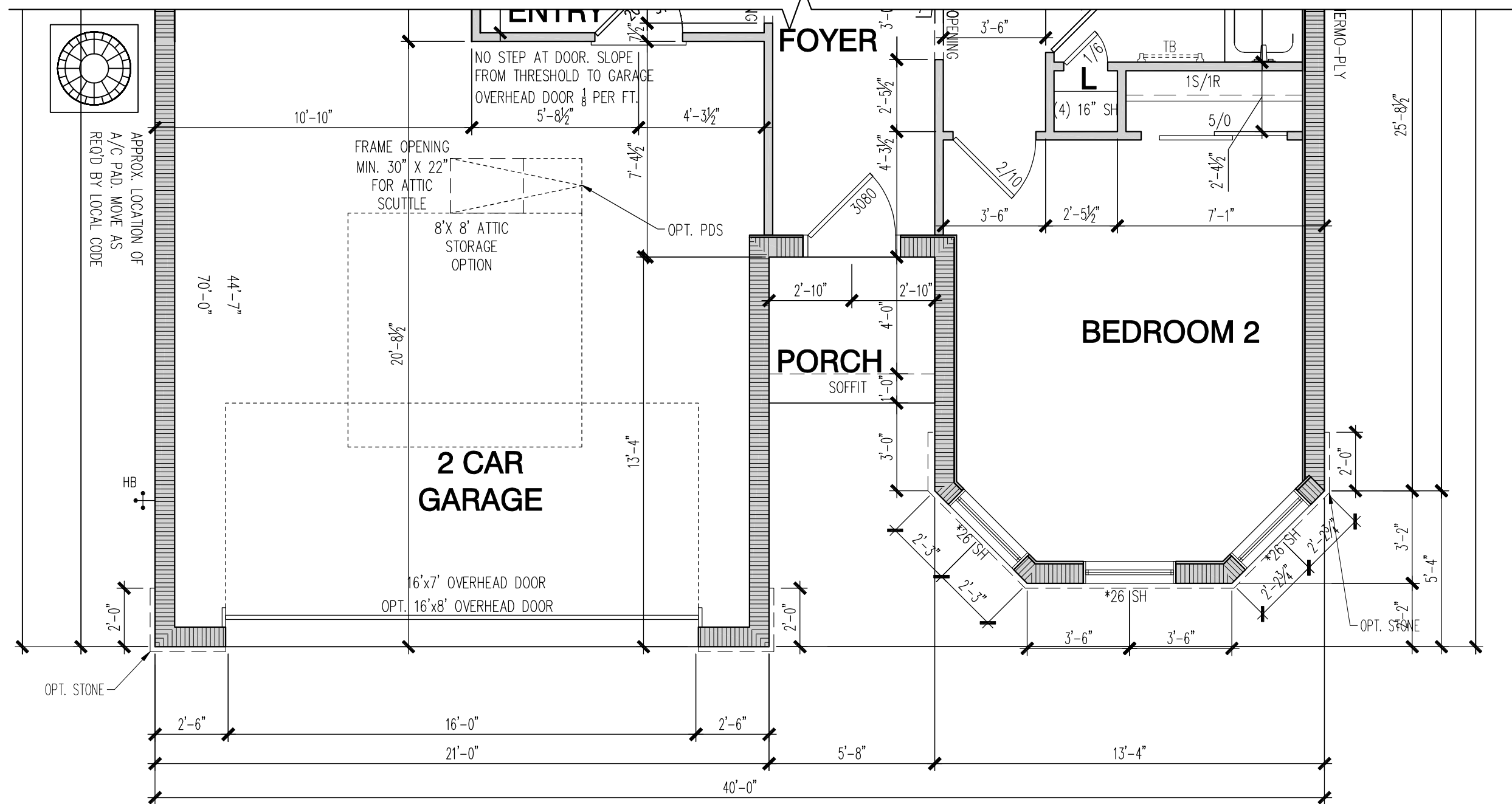
ROOF PLAN

SCALE: 1/8"=1'-0"



FRONT ELEVATION "FM2"

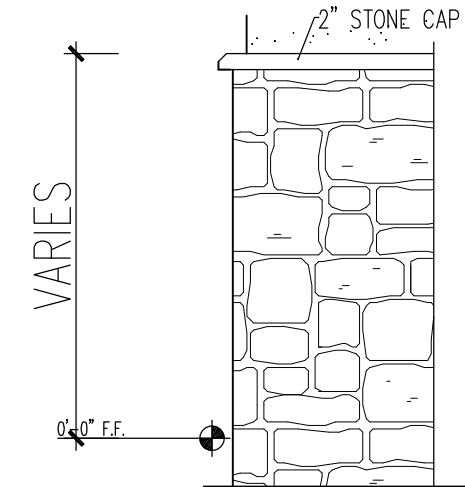
SCALE: 1/4"=1'-0"



PARTIAL FIRST FLOOR PLAN "FM2"

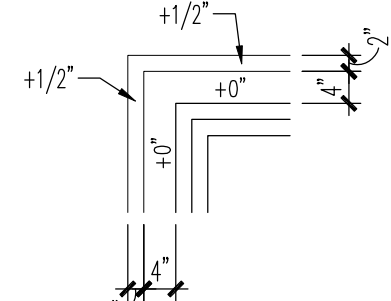
SCALE: 1/4"=1'-0"

APPROVED ELEVATION



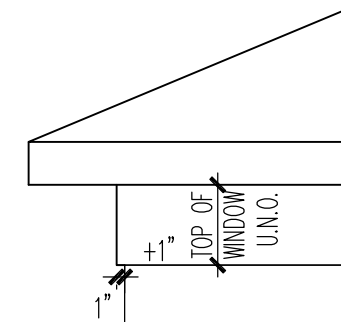
STONE DETAIL

SCALE: 1/2" = 1'-0"



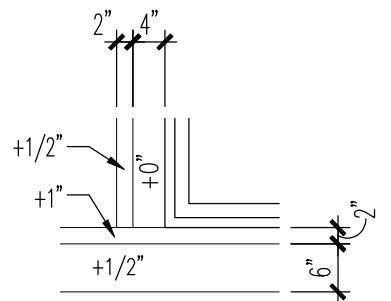
WINDOW/FRONT DOOR TRIM DETAIL

SCALE: 1/2" = 1'-0"



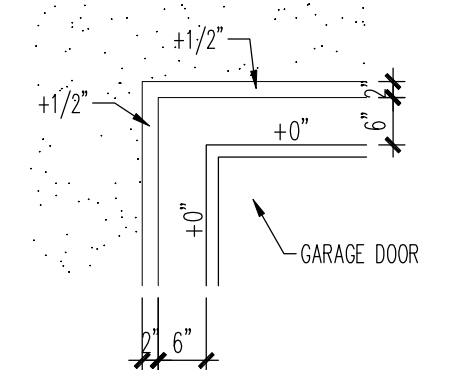
FRIEZE BANDING DTL

SCALE: 1/2" = 1'-0"



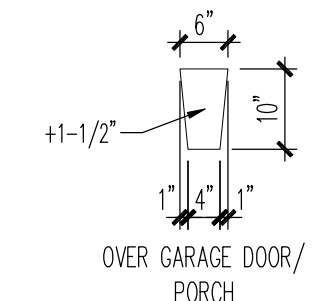
SILL DTL.

SCALE: 1/2" = 1'-0"



GARAGE TRIM DETAIL

SCALE: 1/2" = 1'-0"



KEystone DETAILS

SCALE: 1/2" = 1'-0"

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Spring, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION FM2
ELEVATIONS

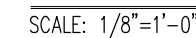
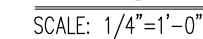
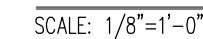
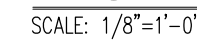
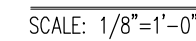
PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME
Mystique
NPC NUMBER
2684.500

SHEET
A2.1FM2



ATTIC VENTILATION

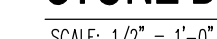
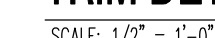
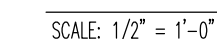
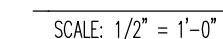
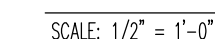
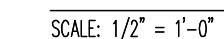
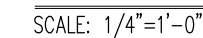
TOTAL		REQUIRED (AREA/ 500)	

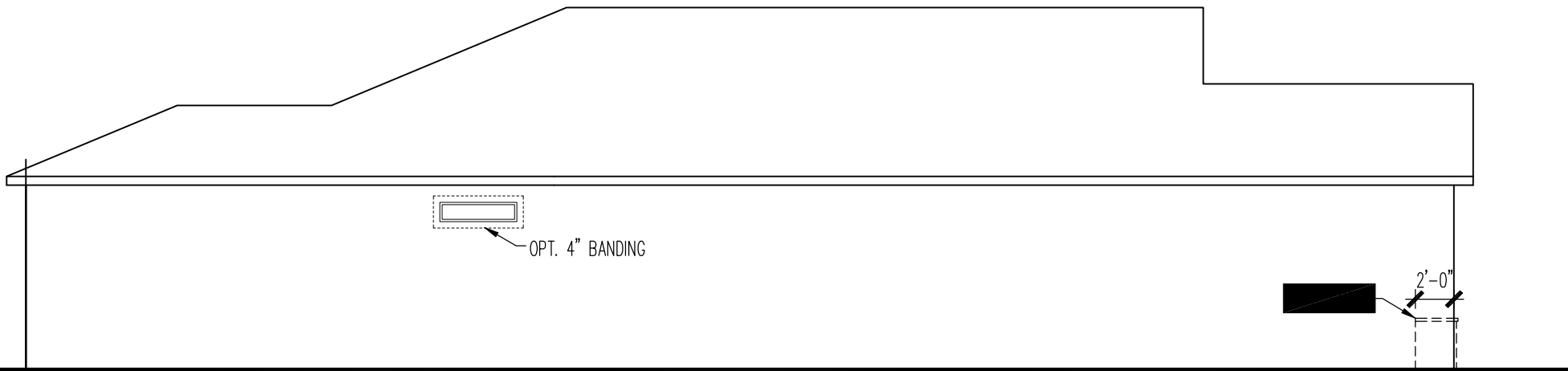
ROOF VENTS	SOFFIT VENTS
------------	--------------

SQ. FT.	SQ. IN.	VENTS	SQ. FT.	SQ. IN.	LIN. FT.
---------	---------	-------	---------	---------	----------

SERIES	SOFT-TEXT FILE: CONTINUOUS
--------	-------------------------------

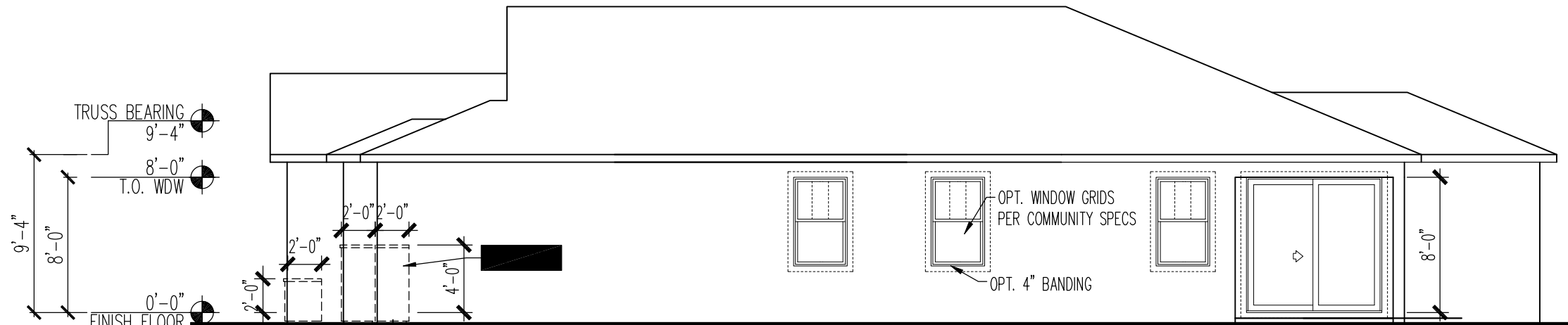
NOTE: _____





LEFT ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

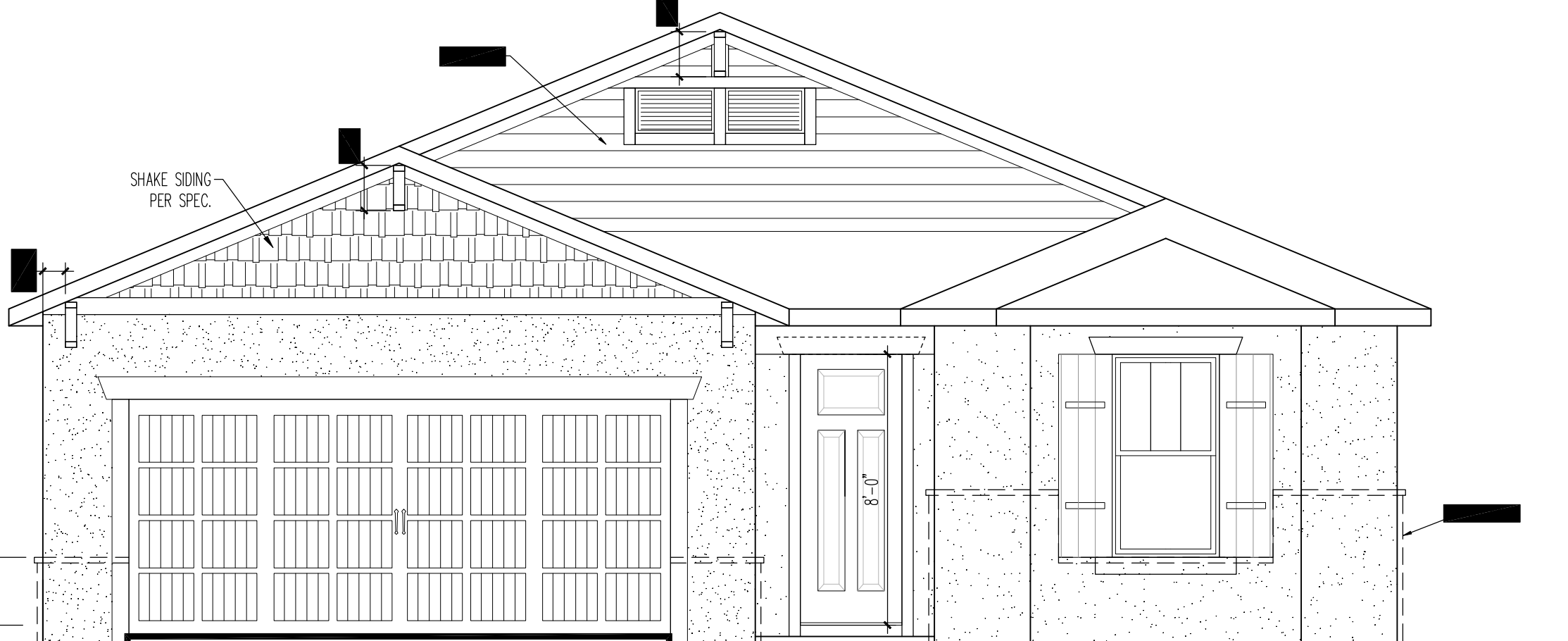
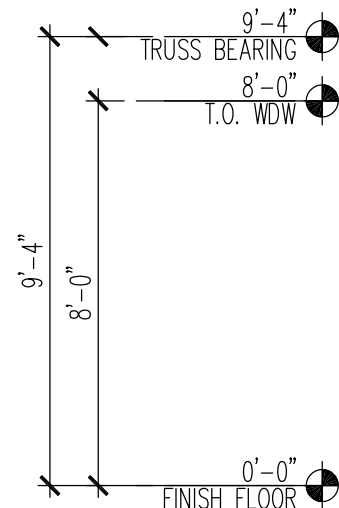
SCALE: 1/8"=1'-0"

APPROVED ELEVATION



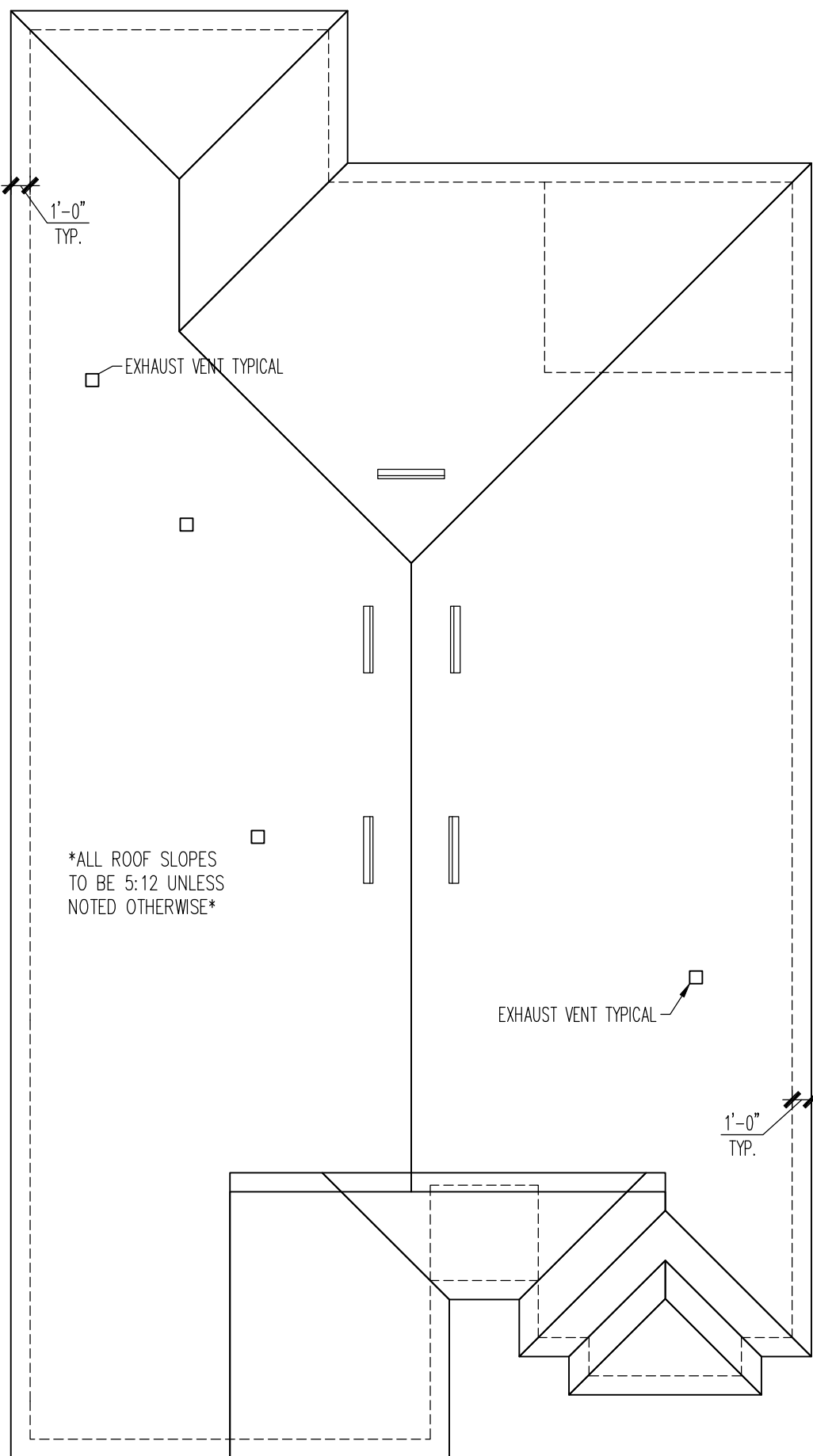
REAR ELEVATION

SCALE: 1/8"=1'-0"



FRONT ELEVATION "C2"

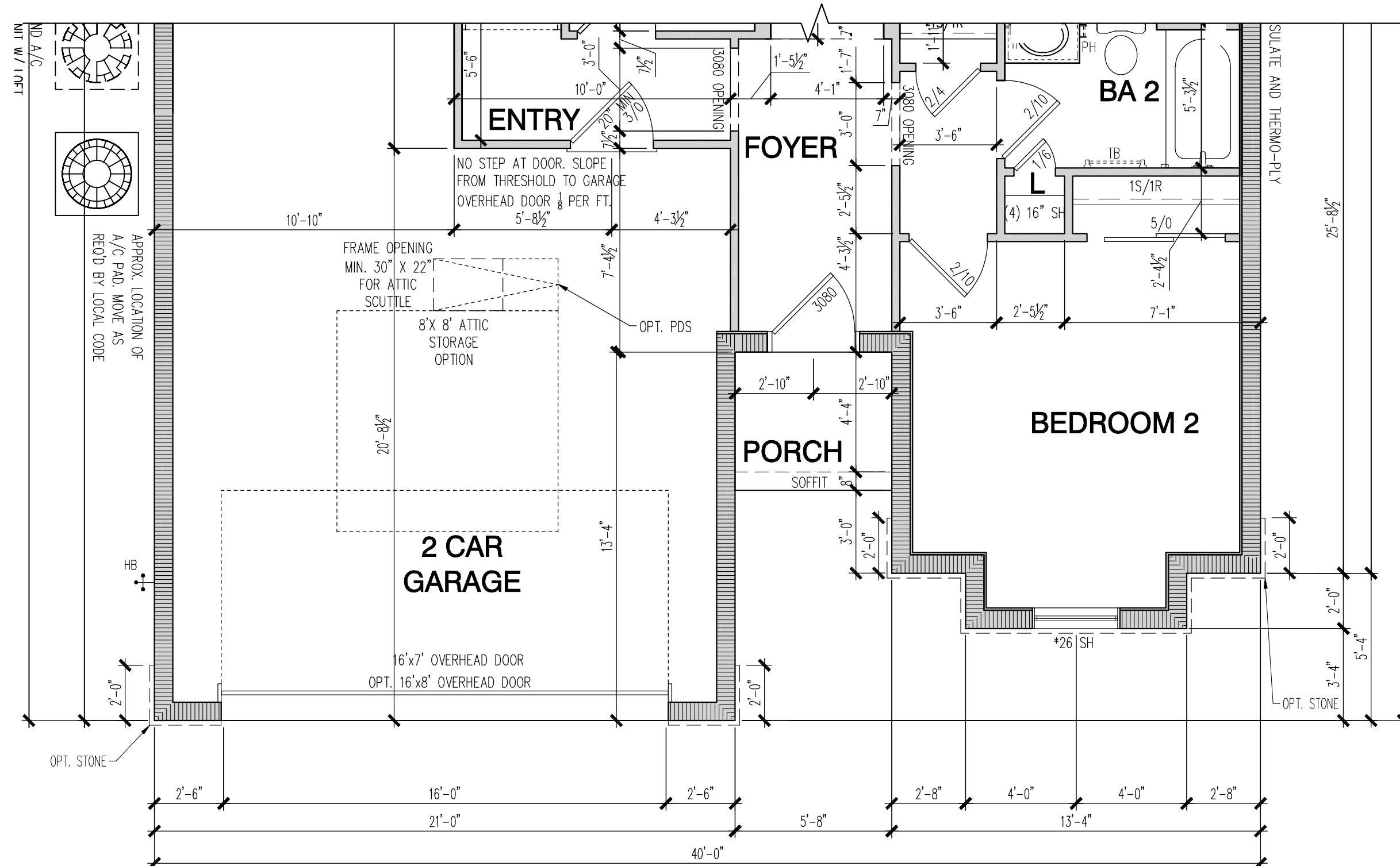
SCALE: 1/4"=1'-0"



ROOF PLAN

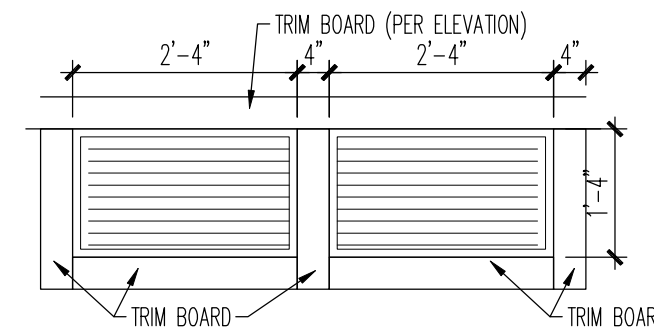
SCALE: 1/8"=1'-0"

ATTIC VENTILATION					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
2635	379440		8.783	1264.800	
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/10.0)		
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.
3.513	505.920	5	5.270	758.880	76
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					



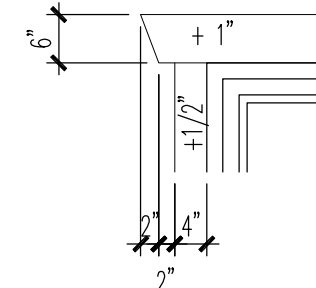
PARTIAL FIRST FLOOR PLAN "C2"

SCALE: 1/4"=1'-0"



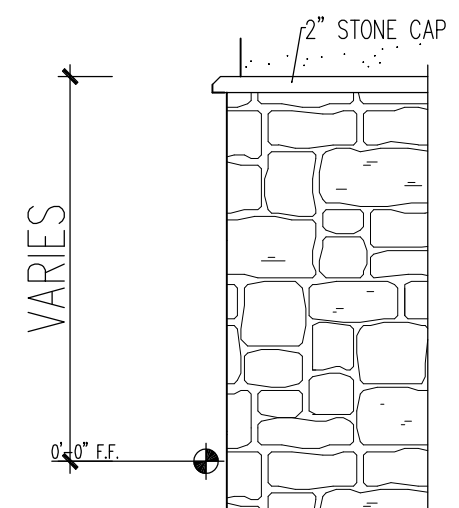
DOUBLE LOUVER DETAIL

SCALE: 1/2" = 1'-0"



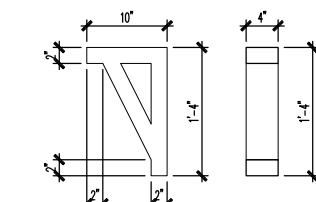
CMU HEADER DTL.

SCALE: 1/2" = 1'-0"



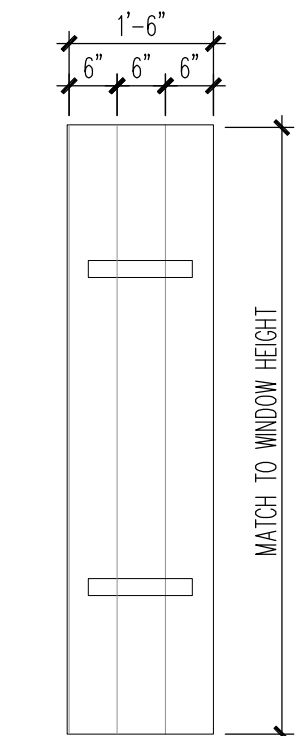
STONE DETAIL

SCALE: 1/2" = 1'-0"



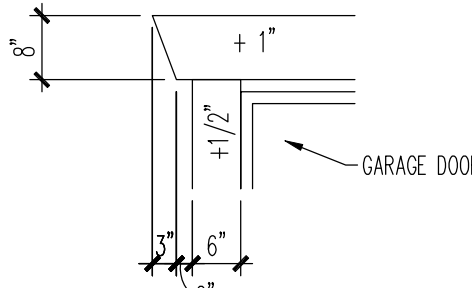
BRACKET DETAIL

SCALE: 1/2" = 1'-0"



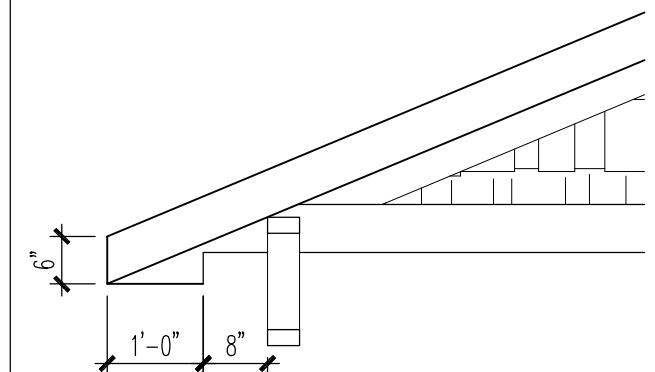
SHUTTER DETAIL

SCALE: 1/2" = 1'-0"



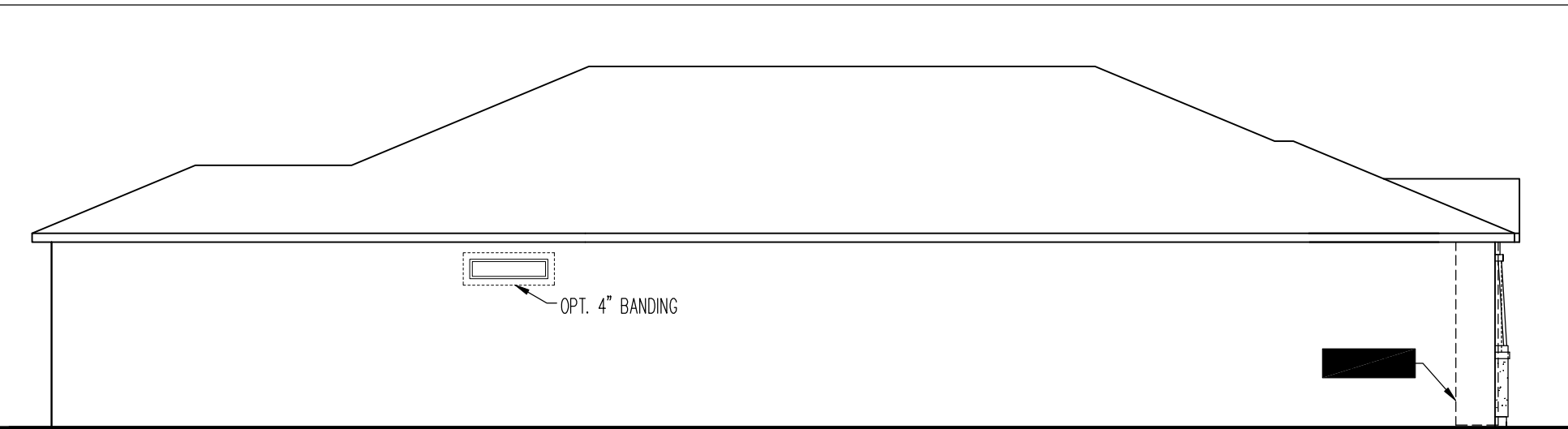
GARAGE DETAIL

SCALE: 1/2" = 1'-0"

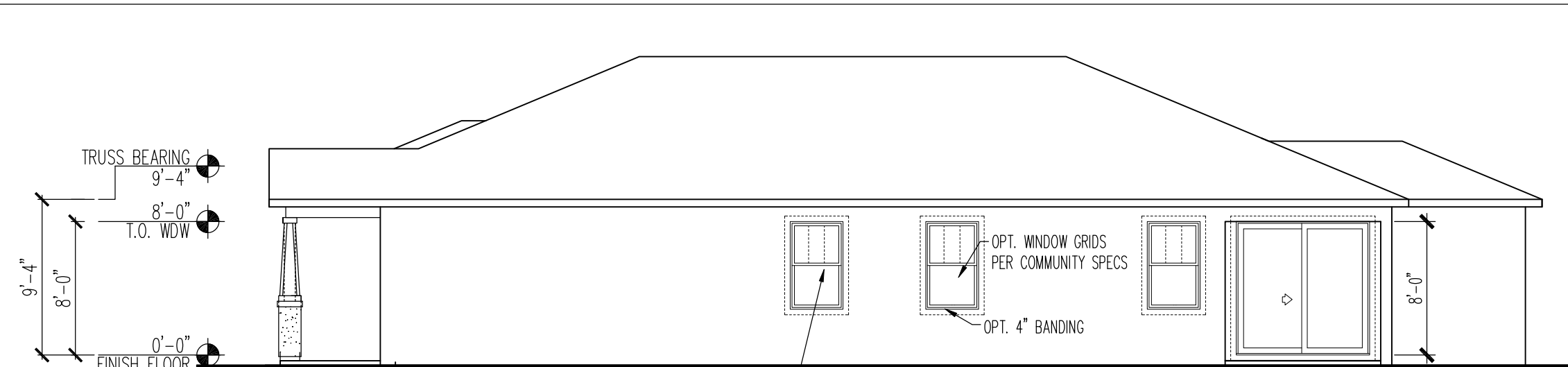


CORNER GABLE BRACKET DETAIL

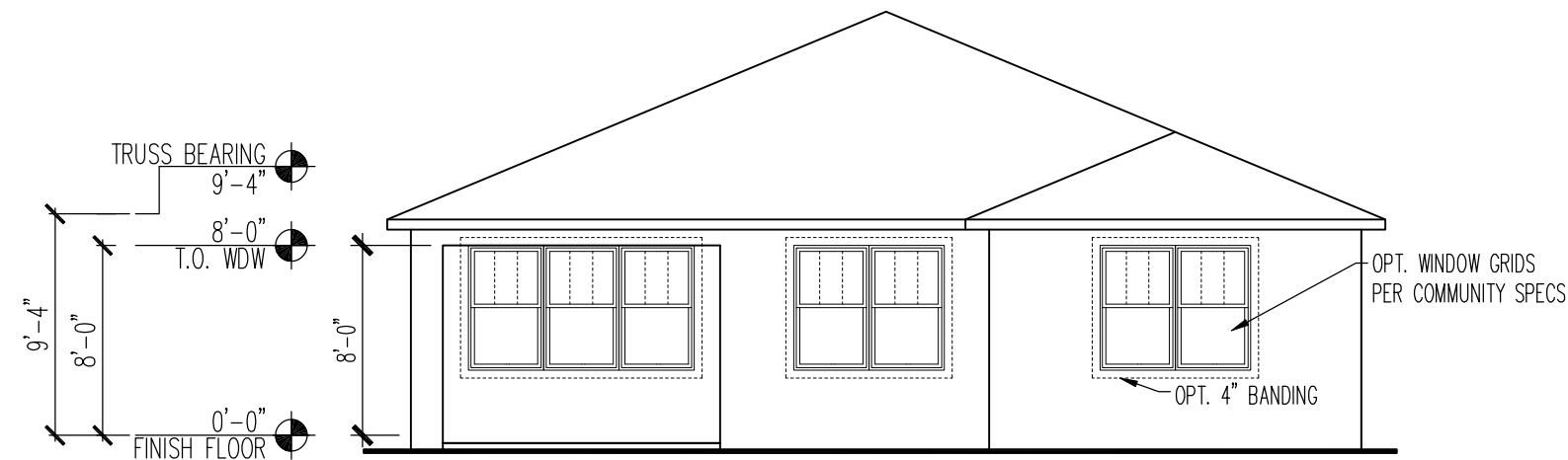
SCALE: 1/2" = 1'-0"



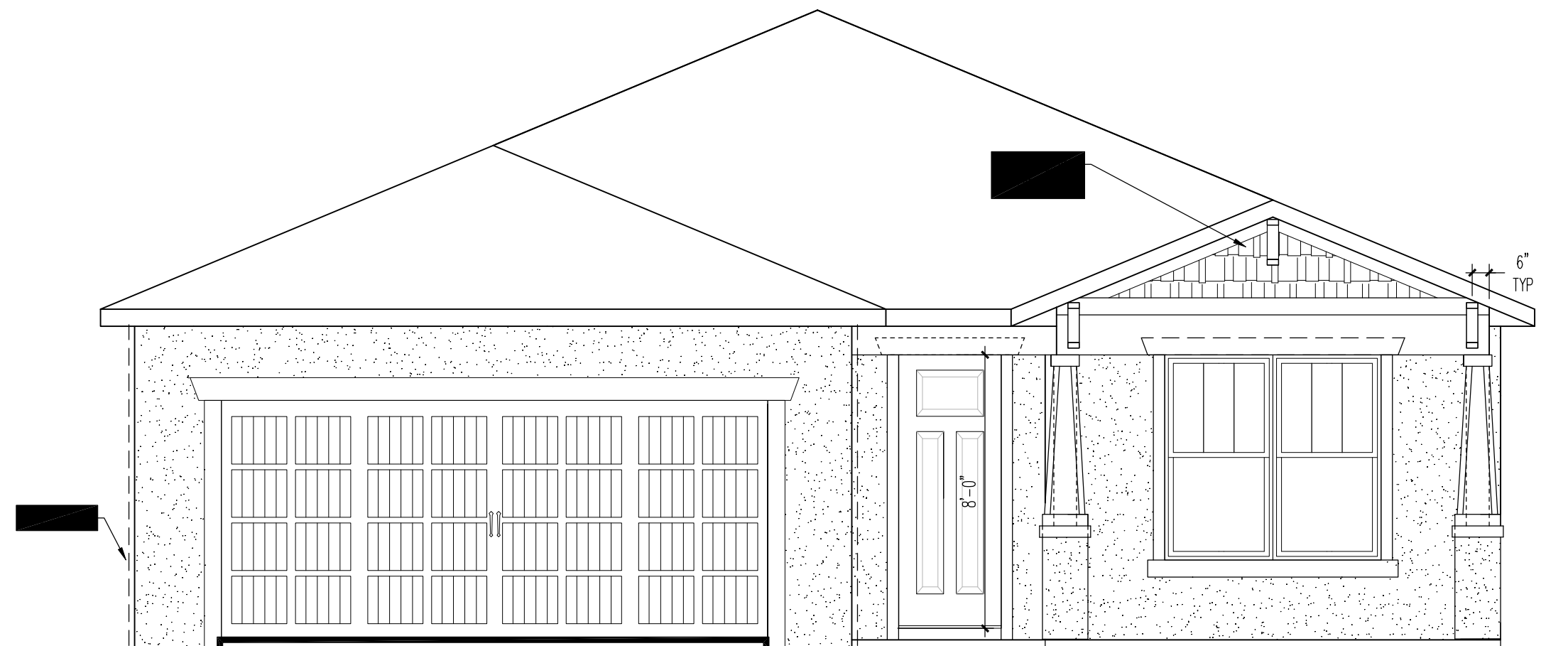
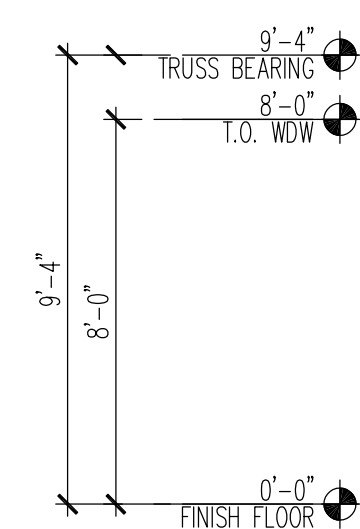
LEFT ELEVATION
SCALE: 1/8"=1'-0"



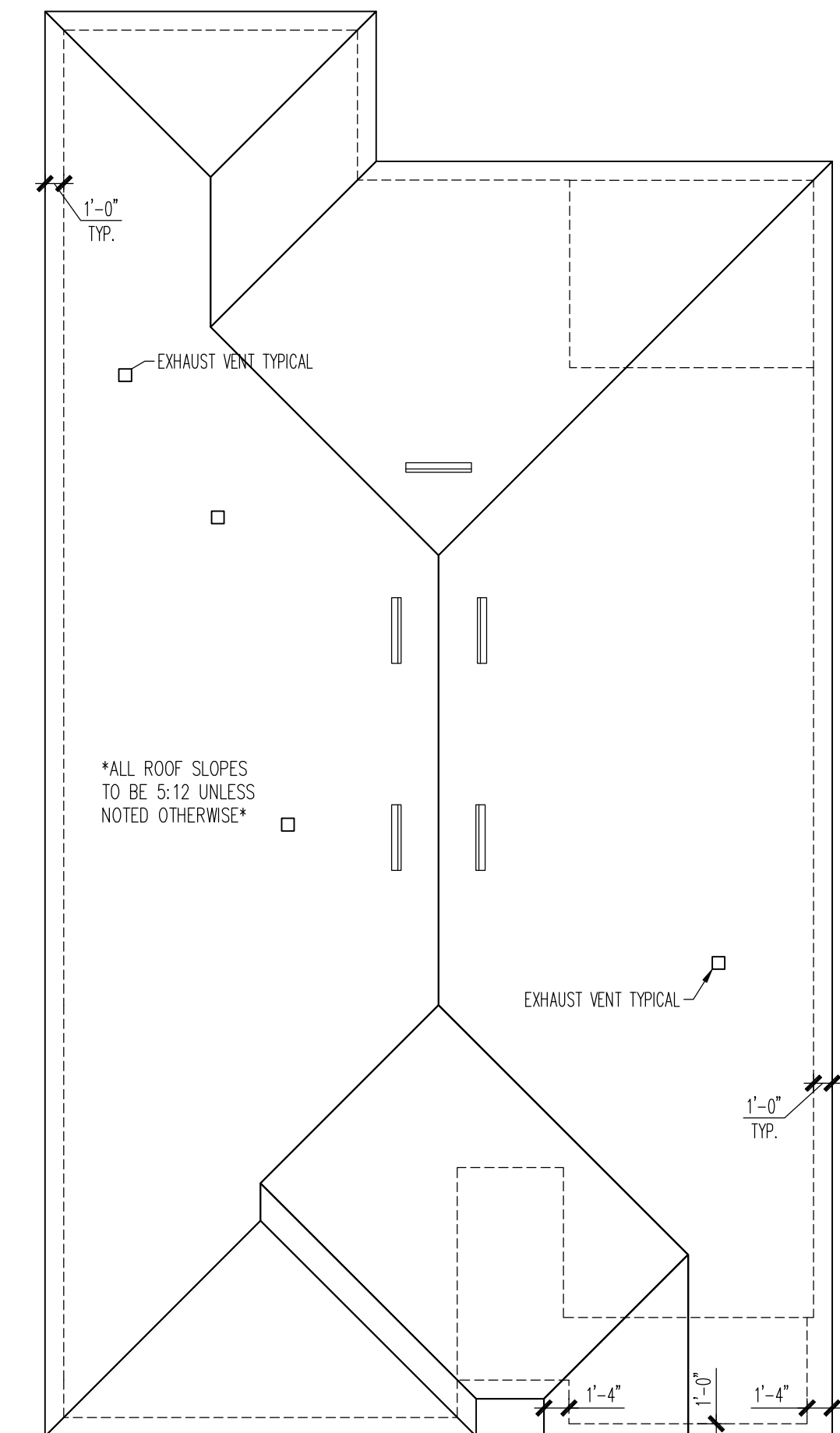
RIGHT ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"

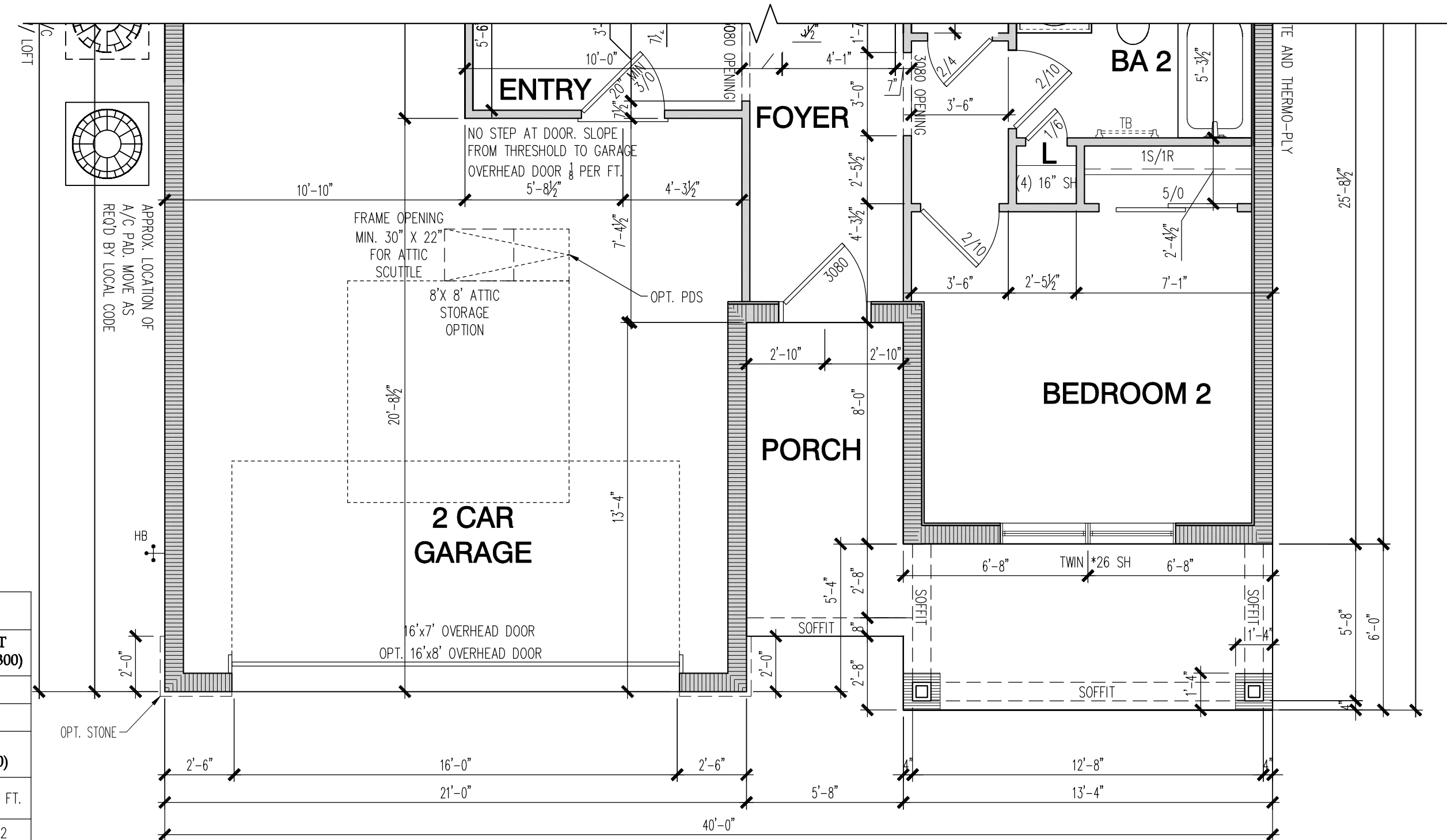


FRONT ELEVATION "C3"
SCALE: 1/4"=1'-0"



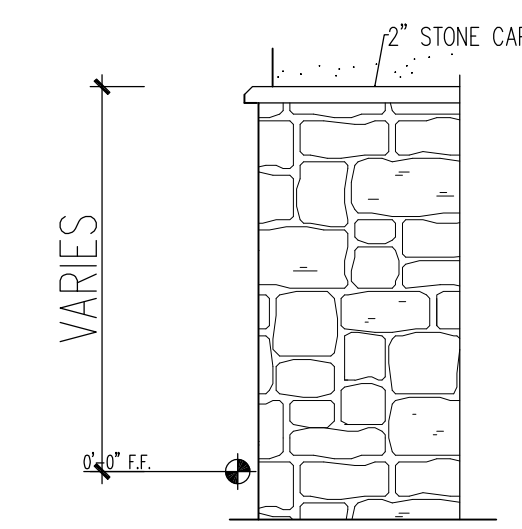
ROOF PLAN
SCALE: 1/8"=1'-0"

ATTIC VENTILATION					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
2857	411408		9.523	1371.360	
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/10.0)		
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.
3.809	548.544	5	5.714	822.816	82
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

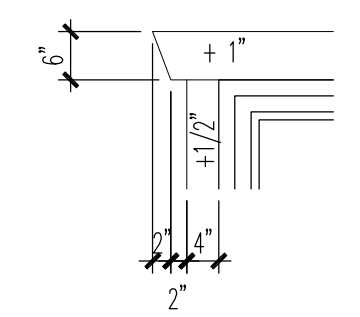


PARTIAL FIRST FLOOR PLAN "C3"
SCALE: 1/4"=1'-0"

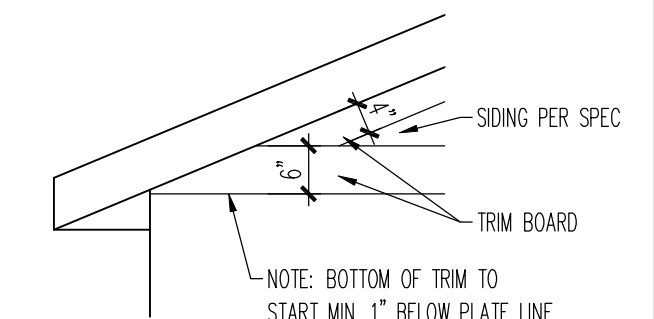
APPROVED ELEVATION



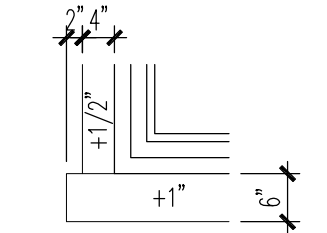
STONE DETAIL
SCALE: 1/2" = 1'-0"



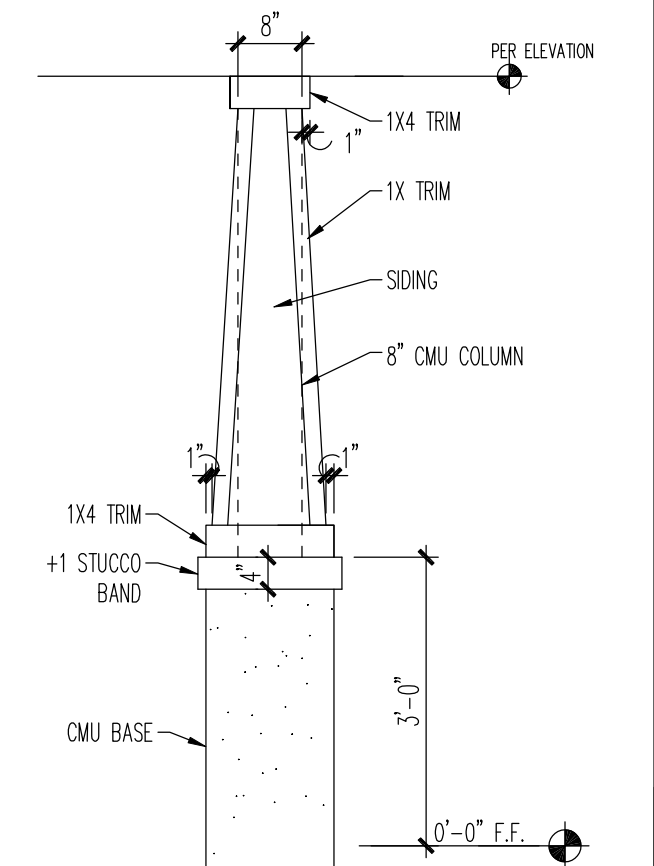
CMU HEADER DTL.
SCALE: 1/2" = 1'-0"



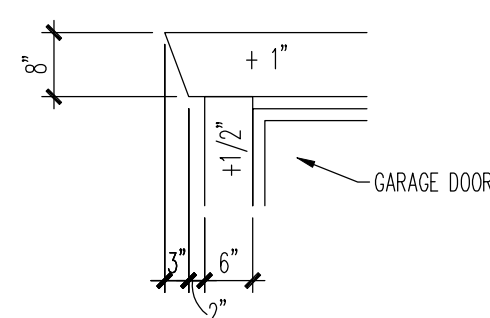
RAKE DETAIL
SCALE: 1/2" = 1'-0"



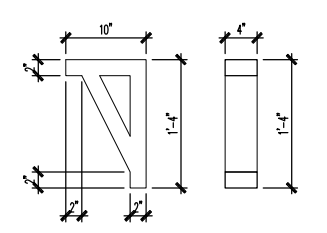
CMU SILL DETAIL
SCALE: 1/2" = 1'-0"



COLUMN DETAIL
SCALE: 1/2" = 1'-0"



GARAGE DETAIL
SCALE: 1/2" = 1'-0"



BRACKET DETAILS
SCALE: 1/2"=1'-0"

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Spring, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION C3
ELEVATIONS

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME
Mystique
NPC NUMBER
2684.500

SHEET
A21C3

Palmary

CONTROL DATE
01/24/2018

PRODUCT ACTION REQUEST / REVISION TRACKING

[illegible]

DRAWING INDEX

Sheet List Table	
Sheet Number	Sheet Title
G1.1	COVER SHEET
GN	GENERAL NOTES
G1.2	ARCHITECTURAL PLAN HISTORY
G2.1	FIRST FLOOR PLAN
G02.1	FLOOR PLAN OPTIONS
G3.1	FIRST FLOOR PLAN
G03.1	FLOOR PLAN OPTIONS
G4.1	FIRST FLOOR PLAN
G04.1	FLOOR PLAN OPTIONS
A1.1	FIRST FLOOR PLAN
A01.1	FLOOR PLAN OPTIONS
A01.2	FLOOR PLAN OPTIONS
A01.3	FLOOR PLAN OPTIONS
A01.4	FLOOR PLAN OPTIONS
A01.5	FLOOR PLAN OPTIONS
A01.6	FLOOR PLAN OPTIONS
A2.1FM1	ELEVATION FM1
A2.1FM1-R	ELEVATION FM1-R
A2.1FM2	ELEVATION FM2
A2.1FM2-R	ELEVATION FM2-R
A2.1FM3	ELEVATION FM3
A2.1FM3-R	ELEVATION FM3-R
A2.1C1	ELEVATION C1
A2.1C1-R	ELEVATION C1-R
A2.1C2	ELEVATION C2
A2.1C2-R	ELEVATION C2-R
A2.1C3	ELEVATION C3
A2.1C3-R	ELEVATION C3-R
A2.1C02A	ELEVATION C02A
A2.1C02A-R	ELEVATION C02A-R
A2.1C02B	ELEVATION C02B
A2.1C02B-R	ELEVATION C02B-R
A2.1C03	ELEVATION C03
A2.1C03-R	ELEVATION C03-R
E1.1	FIRST FLOOR PLAN
E01.1	FLOOR PLAN OPTIONS
E2.1	FIRST FLOOR PLAN
E02.1	FLOOR PLAN OPTIONS
P1.1	FIRST FLOOR PLAN
P01.1	FLOOR PLAN OPTIONS

GENERAL NOTES

- THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:
 - FLORIDA BUILDING CODE 6TH EDITION (2017) RESIDENTIAL
 - 2014 NATIONAL ELECTRIC CODE
 - BUILDING TYPE: VB

SQUARE FOOTAGES

BASE PLAN AND MASTER SET AREA TABLE	
Description	Area
: _CONDITIONED SPACE	
FIRST FLOOR PLAN	1943 SF
:CONDITIONED SPACE - ADDITIONAL (ADDED TO BASE)	
C2 BOX WINDOW	15 SF
FM2 BAY WINDOW	38 SF
FM3 BAY WINDOW	33 SF
SUNROOM	120 SF
: _NON-CONDITIONED SPACE	
C1 FRONT PORCH	40 SF
C2 FRONT PORCH	50 SF
C3 FRONT PORCH 4' EXT. GARAGE	193 SF
C3 FRONT PORCH NON EXT. GARAGE	197 SF
CO2A FRONT PORCH 4' EXT. GARAGE	96 SF
CO2A FRONT PORCH NON EXT. GARAGE	102 SF
CO2B FRONT PORCH	50 SF
CO3 FRONT PORCH 4' EXT. GARAGE	197 SF
CO3 FRONT PORCH NON EXT. GARAGE	197 SF
COVERED LANAI	253 SF
COVERED LANAI W/ SUNROOM	133 SF
FM1 FRONT PORCH	40 SF
FM2 FRONT PORCH	40 SF
FM3 FRONT PORCH	40 SF
Garage - 3rd Car Bay	200 SF
Garage - 4' Ext.	530 SF
Garage - Standard	446 SF

WIDTH & DEPTH		
	WIDTH	DEPTH
BASE HOUSE – FM1	40'-0"	70'-0"
ELEVATION FM2	0	0
ELEVATION FM3	0	0
ELEVATION C1	0	0
ELEVATION C2	0	0
ELEVATION C3	0	0
ELEVATION C02A	0	0
ELEVATION C02B	0	0
ELEVATION C03	0	0
SUNROOM	0	0
GARAGE 4'-0" EXT.	0	+2'-0"
GARAGE 3RD CAR BAY	+10'-0"	0

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Springs, Florida 34134 (239)495-4800 (770)381-3450



COVER SHEET

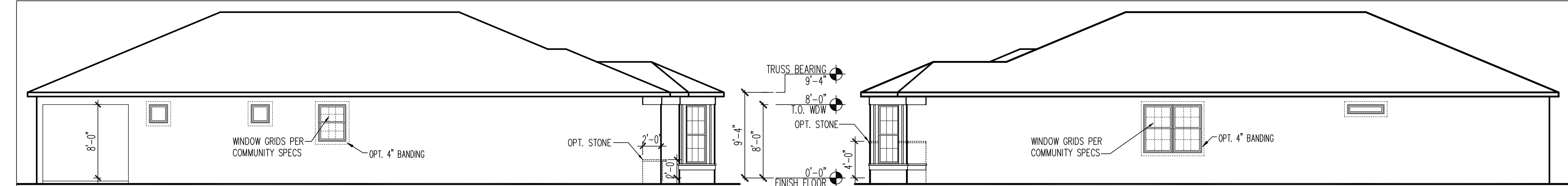
[illegible]

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME	Palmary
IPC NUMBER	2685.500

G1.1



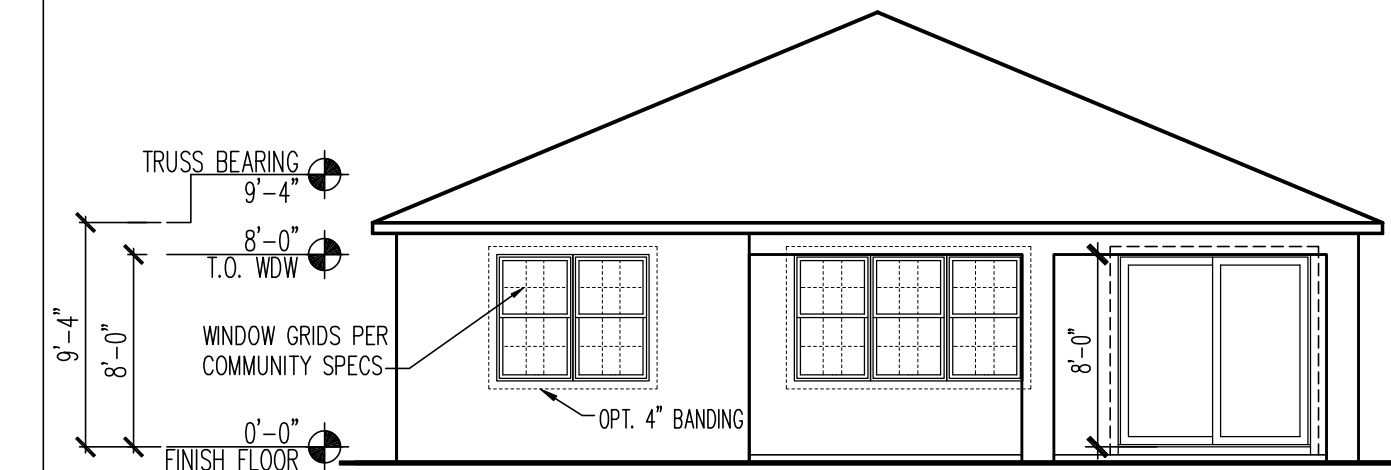
LEFT ELEVATION

SCALE: 1/8"=1'-0"

RIGHT ELEVATION

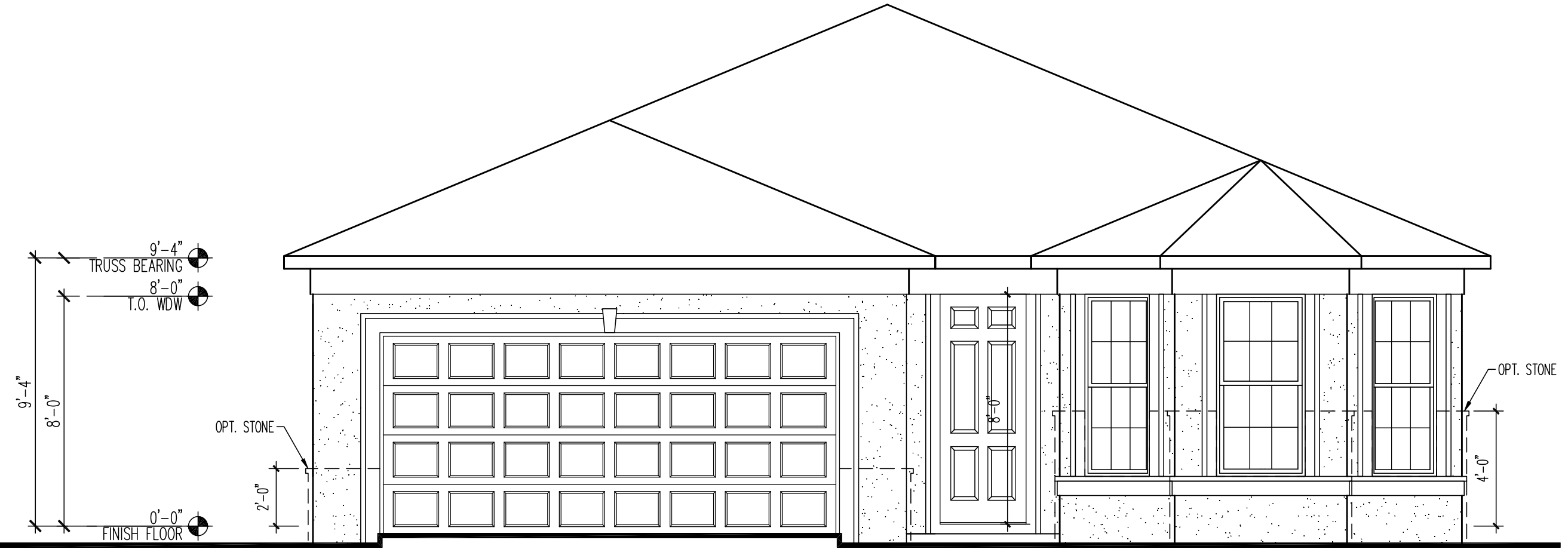
SCALE: 1/8"=1'-0"

APPROVED ELEVATION



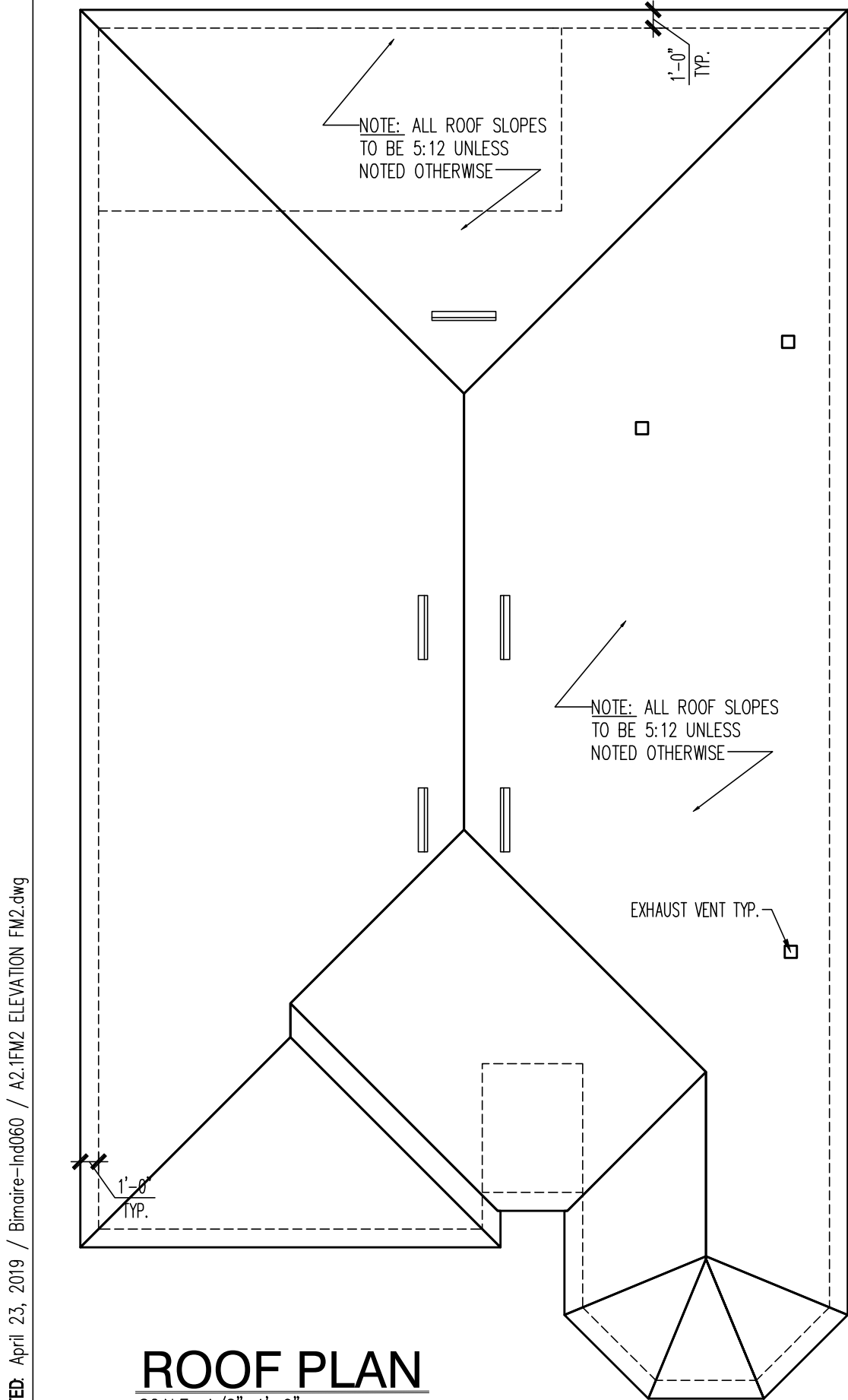
REAR ELEVATION

SCALE: 1/8"=1'-0"



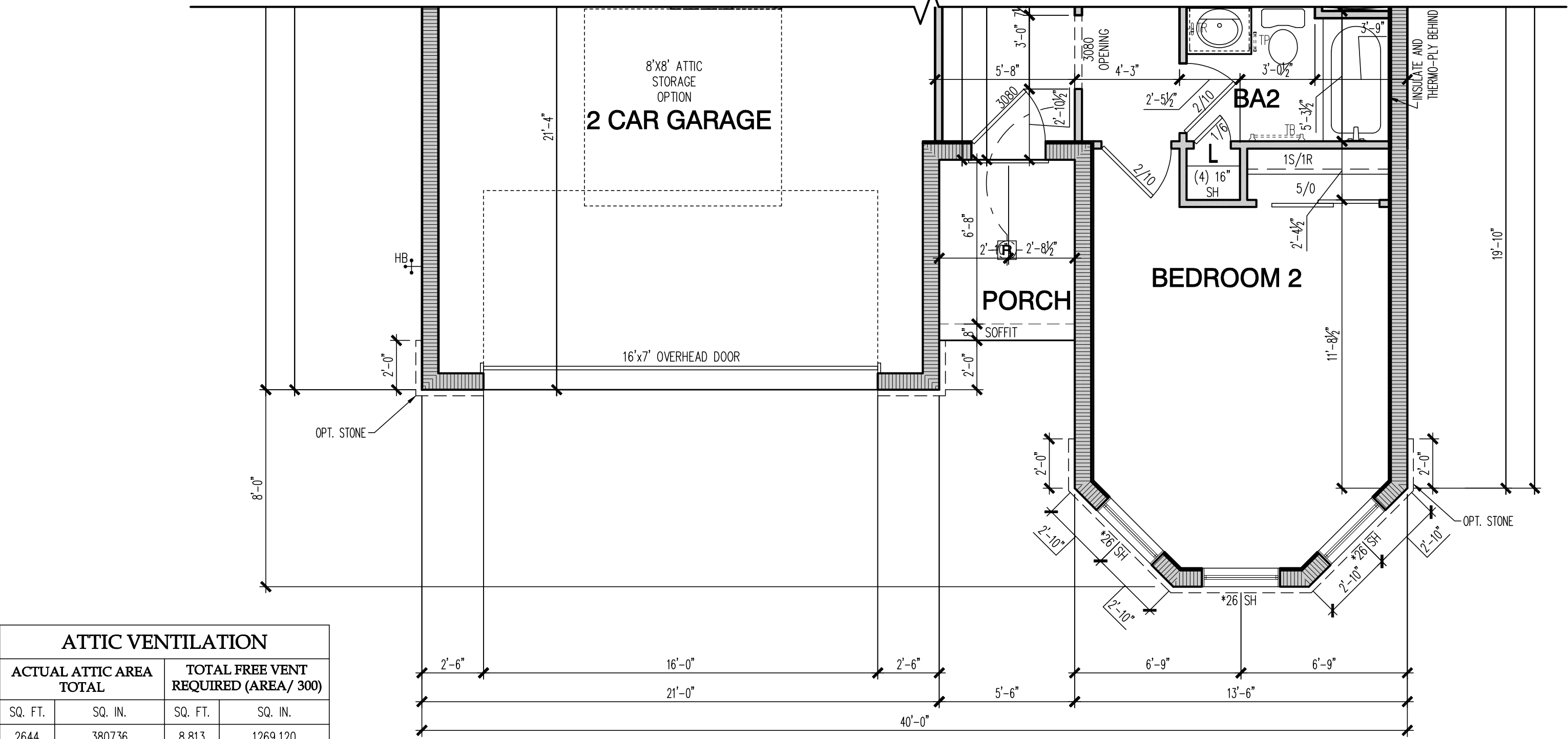
FRONT ELEVATION - "FM2"

SCALE: 1/4"=1'-0"



ROOF PLAN

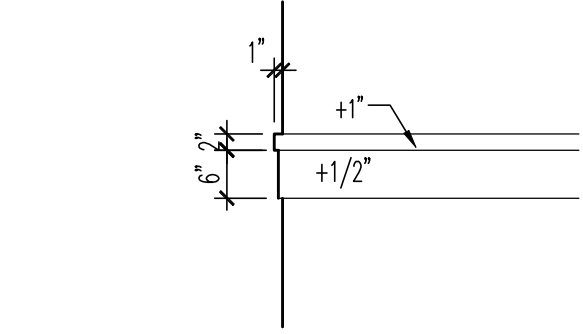
SCALE: 1/8"=1'-0"



PARTIAL FIRST FLOOR PLAN "FM2"

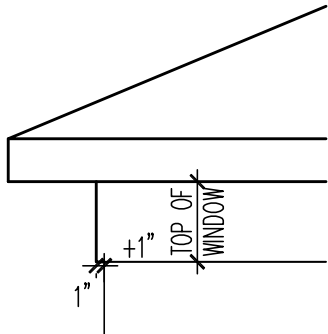
SCALE: 1/4"=1'-0"

ATTIC VENTILATION					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
2644	380736		8.813	1269.120	
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/10.0)		
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.
3.525	507.648	5	5.288	761.472	76
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					



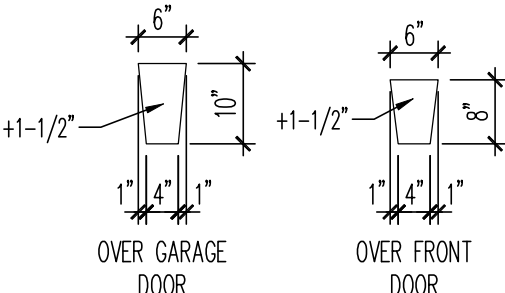
TYP. STUCCO BAND

SCALE: 1/2" = 1'-0"



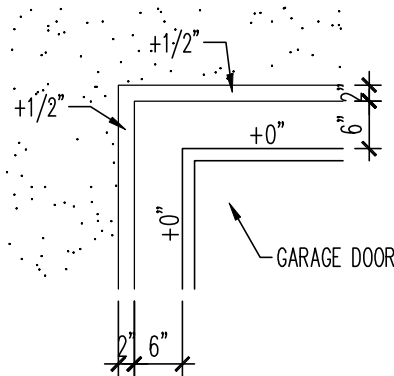
FRIEZE BANDING DTL

SCALE: 1/2" = 1'-0"



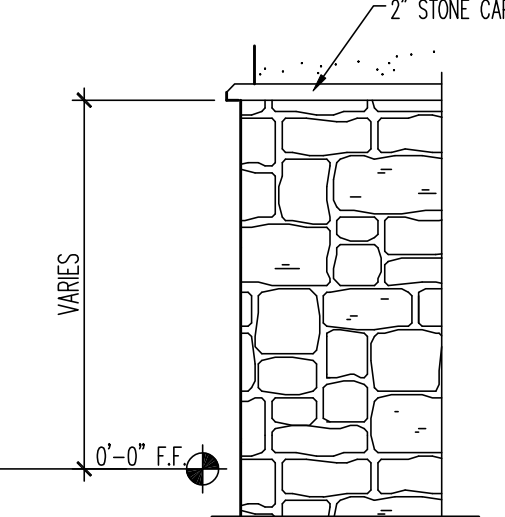
KEYSTONE DETAILS

SCALE: 1/2" = 1'-0"



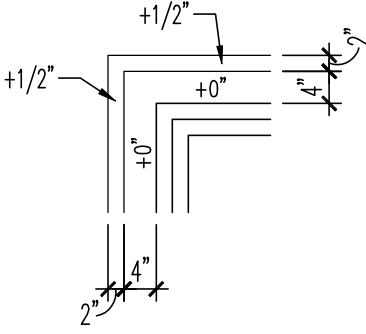
GARAGE TRIM DETAIL

SCALE: 1/2" = 1'-0"



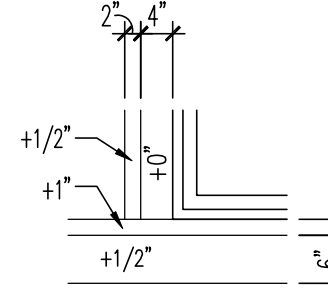
STONE DETAIL

SCALE: 1/2" = 1'-0"



WINDOW/FRONT DOOR TRIM DETAIL

SCALE: 1/2" = 1'-0"



SILL DTL.

SCALE: 1/2" = 1'-0"

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Springs, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION FM2
ELEVATIONS

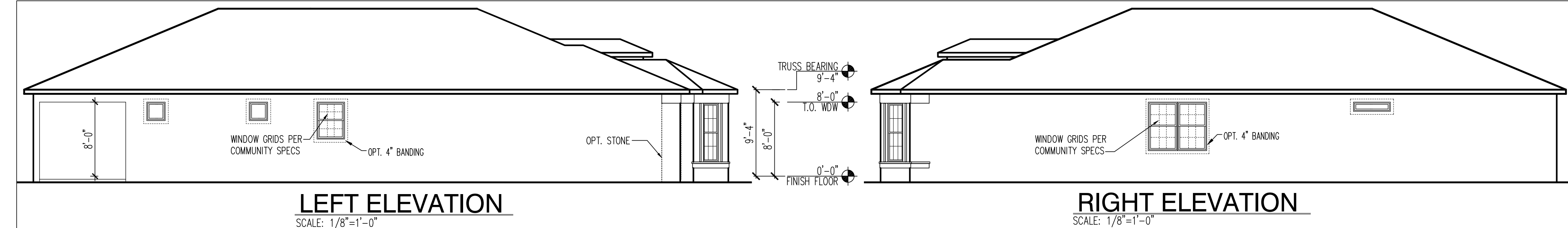
PRODUCT MANAGER	
INITIAL RELEASE	DATE: 1/24/2018
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME
Palmary
NPC NUMBER
2685.500

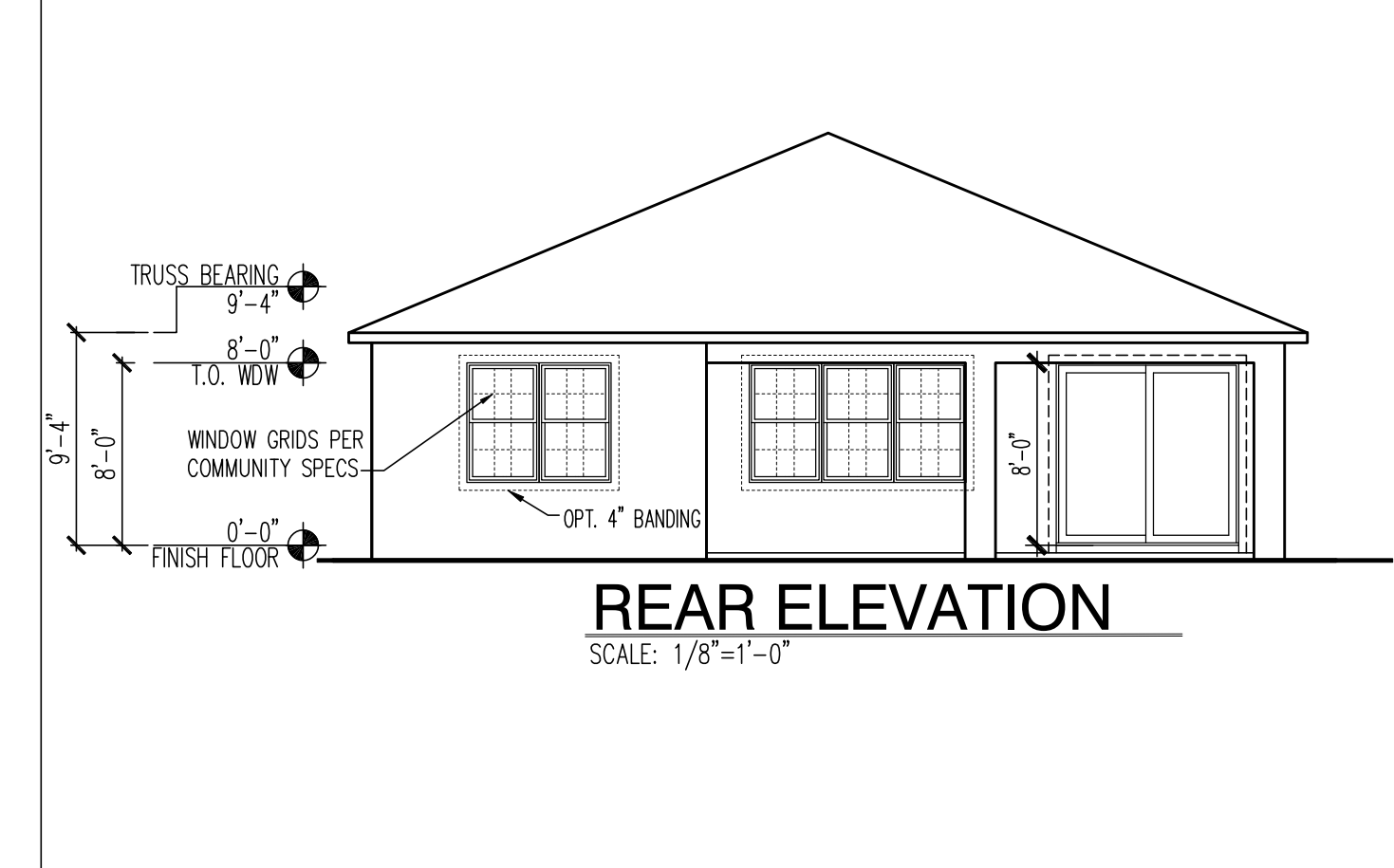
SHEET
A2.1FM2



LEFT ELEVATION
SCALE: 1/8"=1'-0"

RIGHT ELEVATION
SCALE: 1/8"=1'-0"

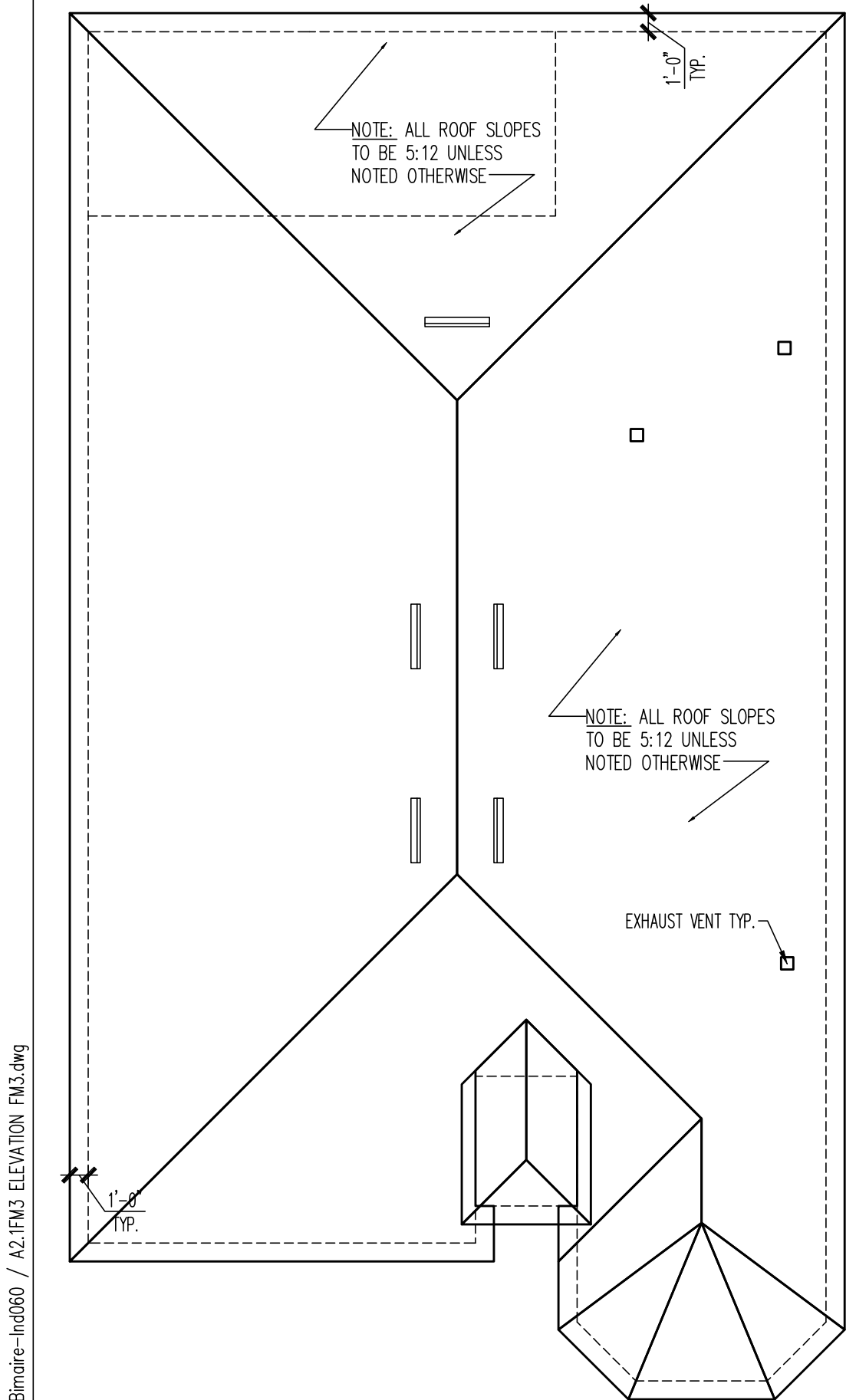
APPROVED ELEVATION



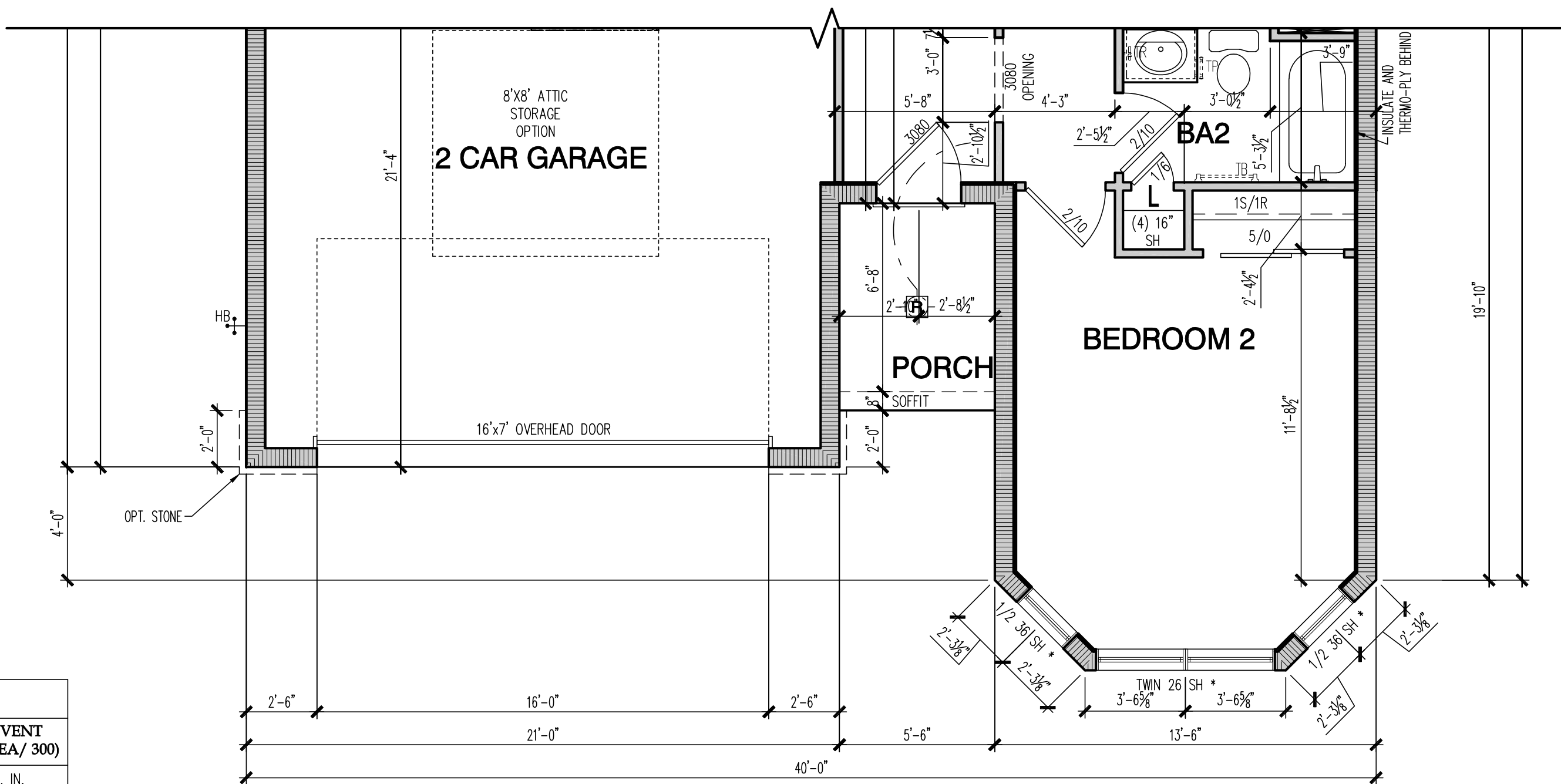
REAR ELEVATION
SCALE: 1/8"=1'-0"



FRONT ELEVATION - "FM3"
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/8"=1'-0"



PARTIAL FIRST FLOOR PLAN "FM3"
SCALE: 1/4"=1'-0"

ATTIC VENTILATION					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
2749	395856		9.163	1319.520	
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/10.0)		
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.
3.665	527.808	5	5.498	791.712	79
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

TYP. STUCCO BAND
SCALE: 1/2" = 1'-0"

CMU FRIEZE BANDING DTL
SCALE: 1/2" = 1'-0"

CORBEL DETAIL
SCALE: 1/2" = 1'-0"

GARAGE TRIM DETAIL
SCALE: 1/2" = 1'-0"

STONE DETAIL
SCALE: 1/2" = 1'-0"

WINDOW/FRONT DOOR TRIM DETAIL
SCALE: 1/2" = 1'-0"

SILL DTL.
SCALE: 1/2" = 1'-0"

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Springs, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION FM3
ELEVATIONS

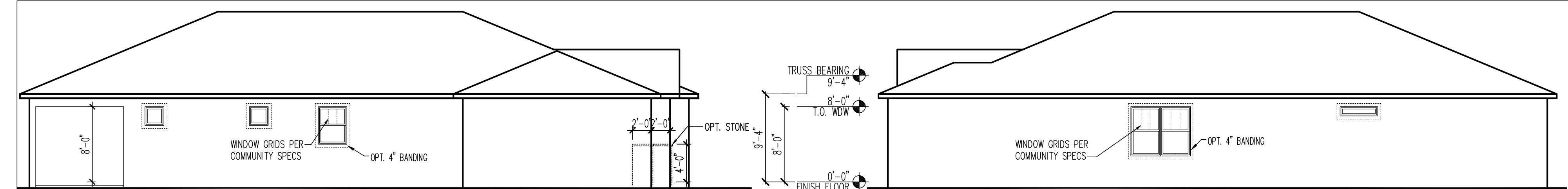
PRODUCT MANAGER	
INITIAL RELEASE	DATE: 1/24/2018
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

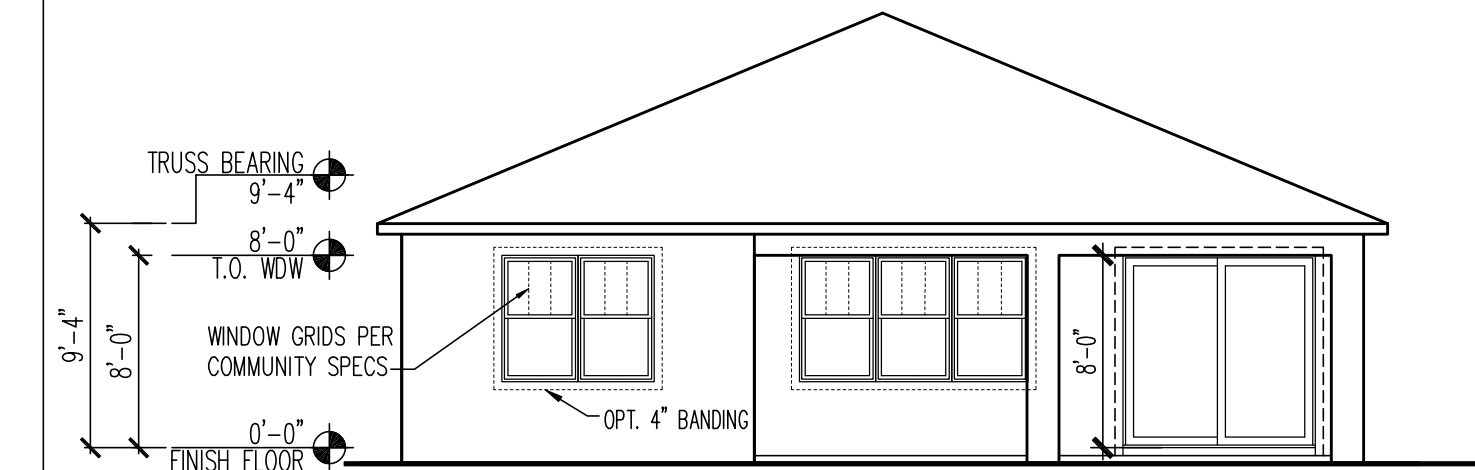
PLAN NAME
Palmary
NPC NUMBER
2685.500

SHEET
A2.1FM3



LEFT ELEVATION
SCALE: 1/8"=1'-0"

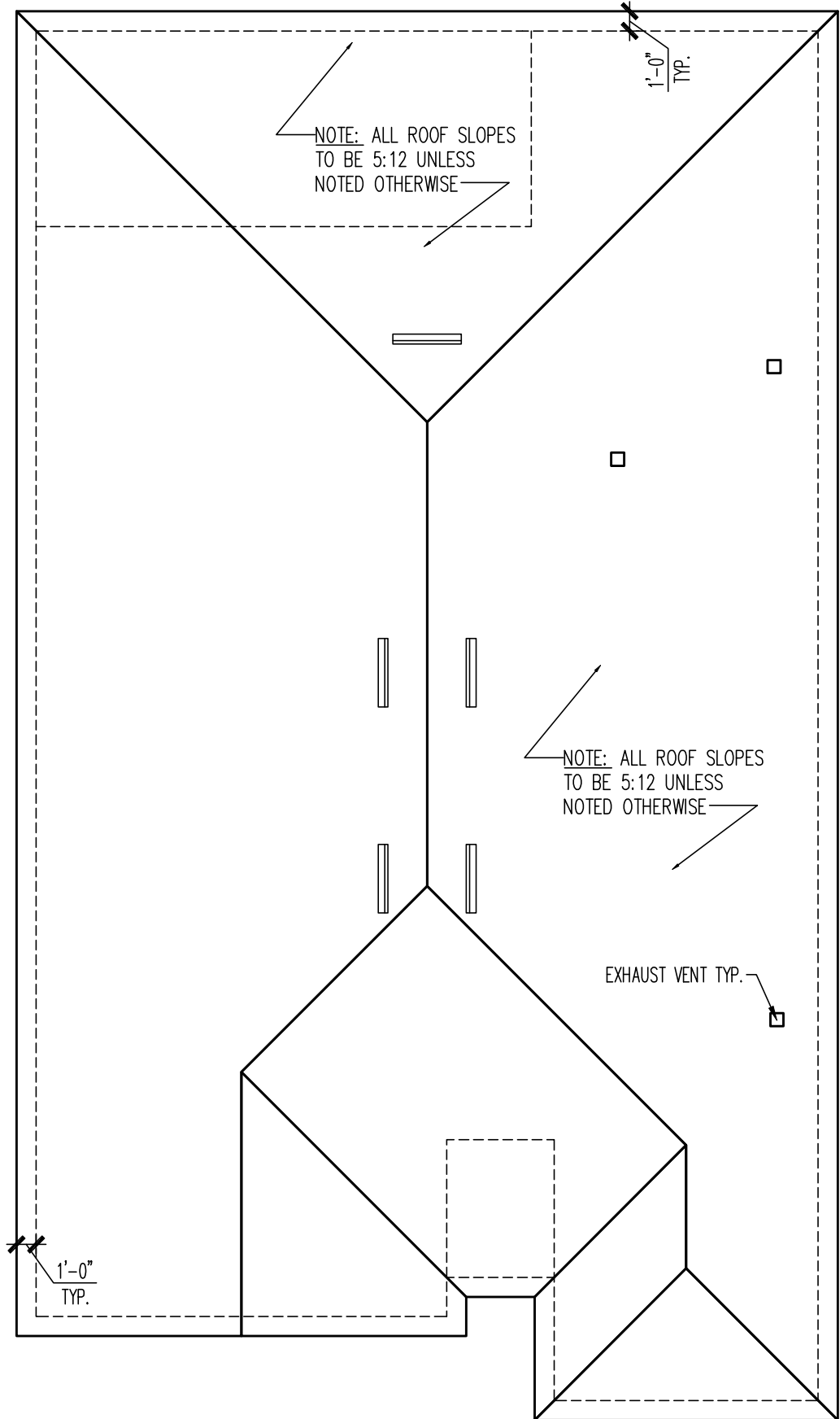
RIGHT ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"

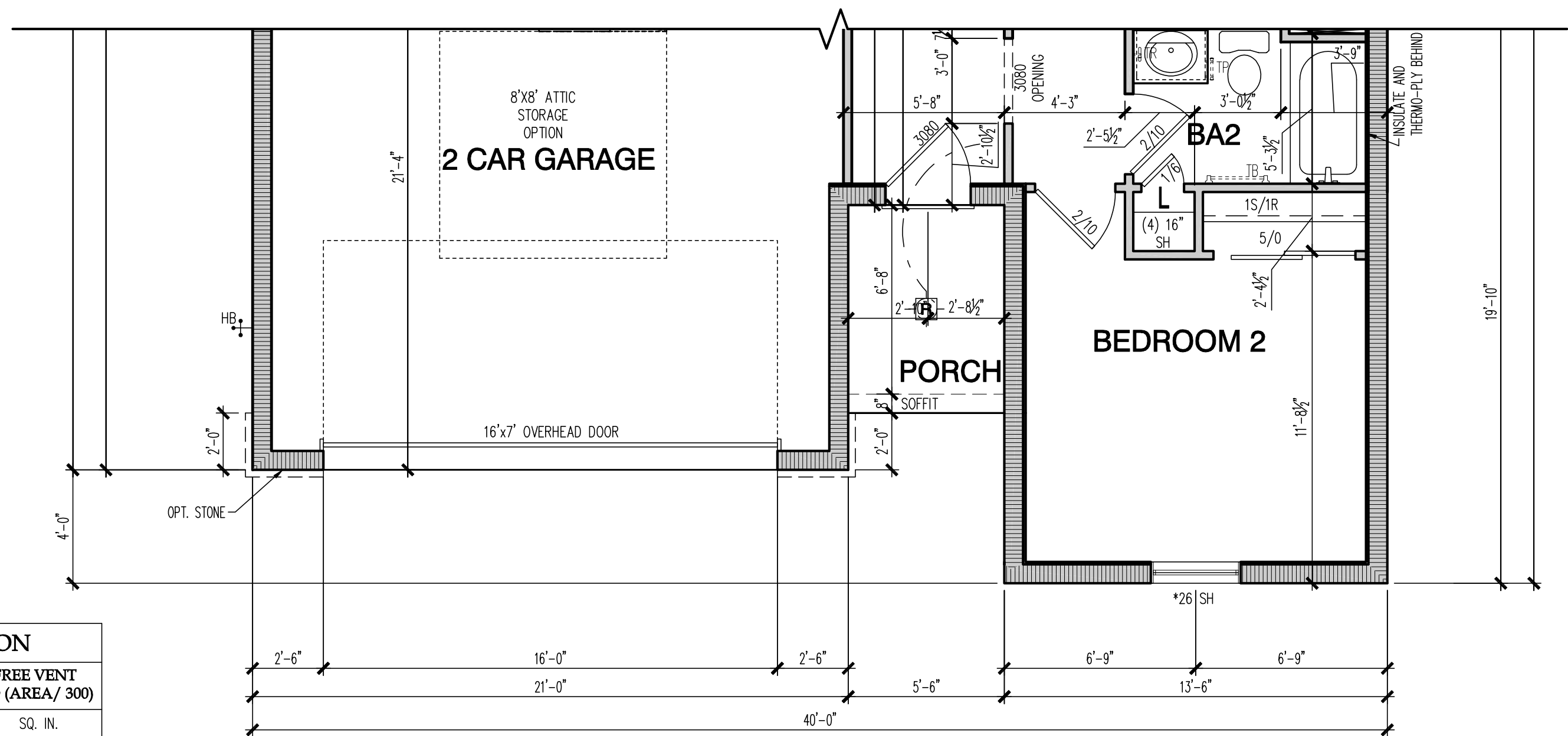


FRONT ELEVATION - "C1"
SCALE: 1/4"=1'-0"



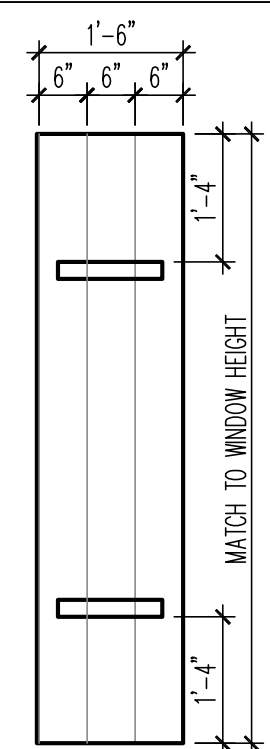
ROOF PLAN
SCALE: 1/8"=1'-0"

ATTIC VENTILATION					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
2604	374976		8.680	1249.920	
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/10.0)		
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.
3.472	499.968	5	5.208	749.952	75
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT. / VENT (121 SQ. IN. VENT)			SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					

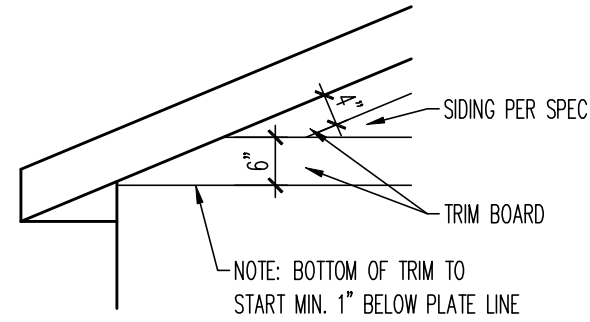


PARTIAL FIRST FLOOR PLAN "C1"
SCALE: 1/4"=1'-0"

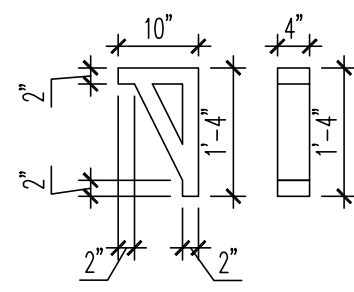
APPROVED ELEVATION



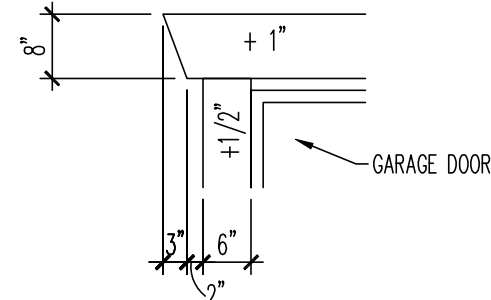
SHUTTER DETAIL
SCALE: 1/2" = 1'-0"



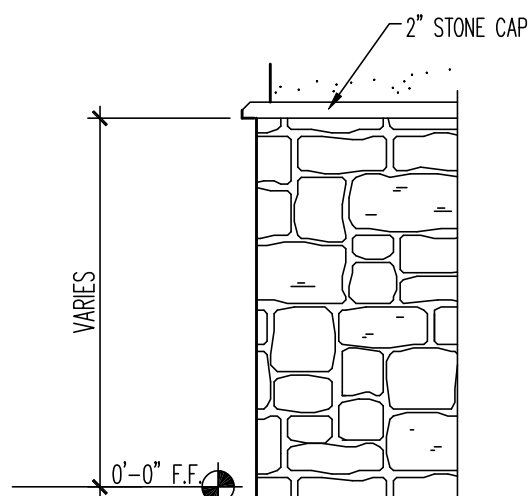
RAKE DETAIL
SCALE: 1/2" = 1'-0"



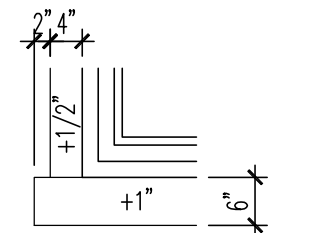
BRACKET DETAIL
SCALE: 1/2" = 1'-0"



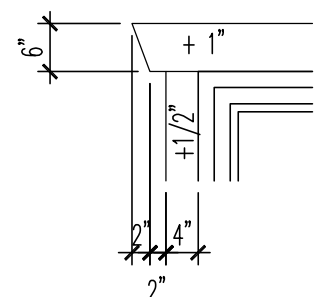
GARAGE DETAIL
SCALE: 1/2" = 1'-0"



STONE DETAIL
SCALE: 1/2" = 1'-0"



CMU SILL DETAIL
SCALE: 1/2" = 1'-0"



CMU HEADER DTL.
SCALE: 1/2" = 1'-0"

©COPYRIGHT: 2016 PZ

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Springs, Florida 34134 (239)495-4800 (770)381-9450

PulteGroup

ELEVATION C1
ELEVATIONS

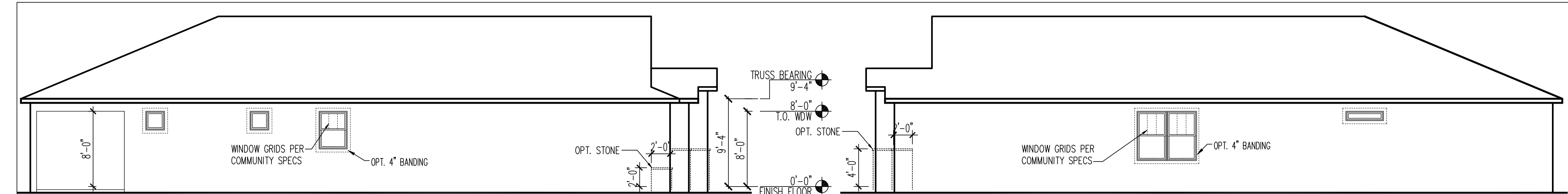
PRODUCT MANAGER	
INITIAL RELEASE	DATE: 1/24/2018
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME
Palmary
NPC NUMBER
2685.500

SHEET
A21C1

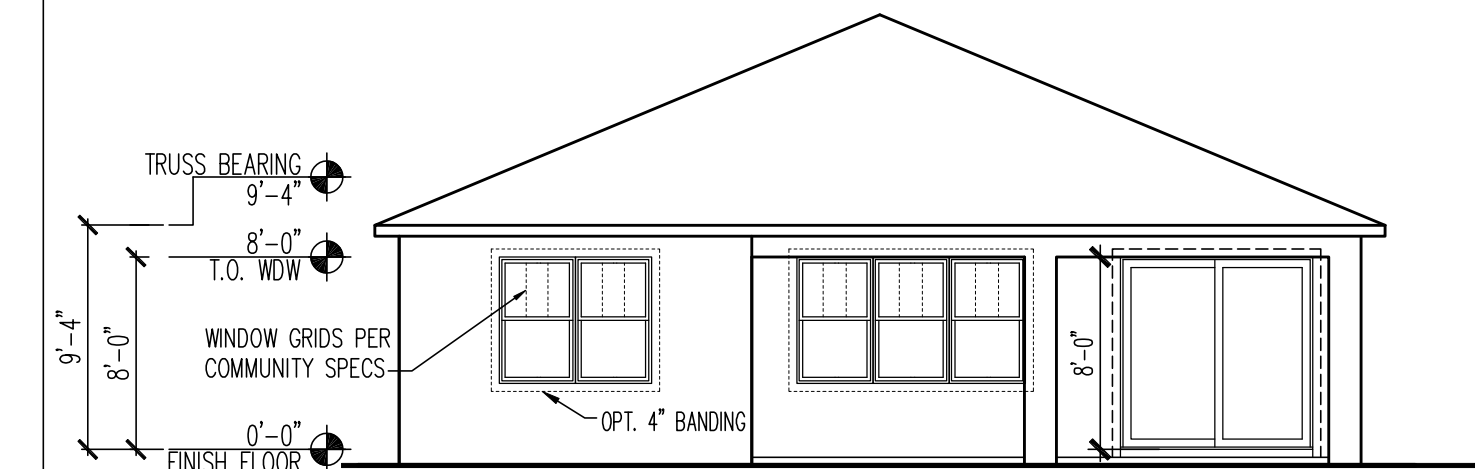


LEFT ELEVATION

SCALE: 1/8"=1'-0"

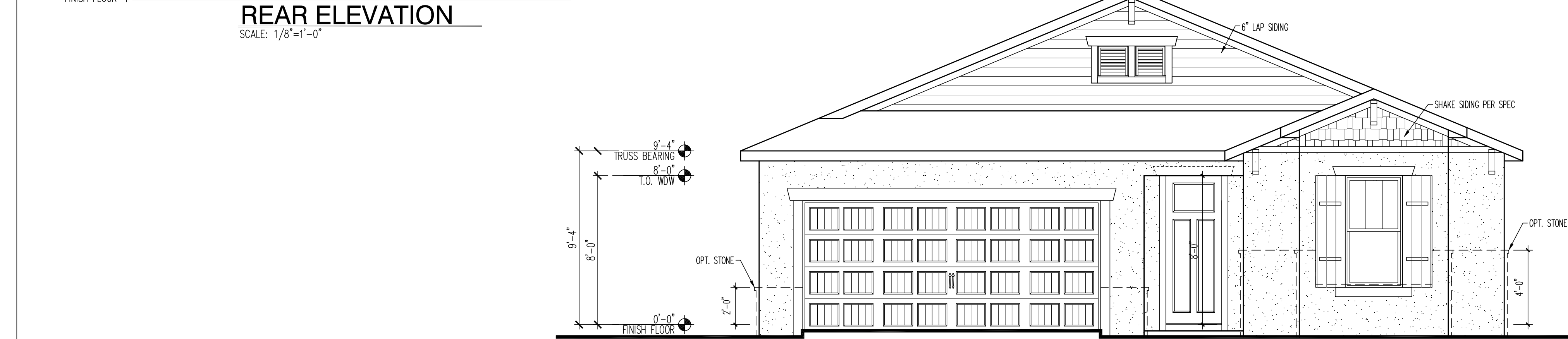
RIGHT ELEVATION

SCALE: 1/8"=1'-0"



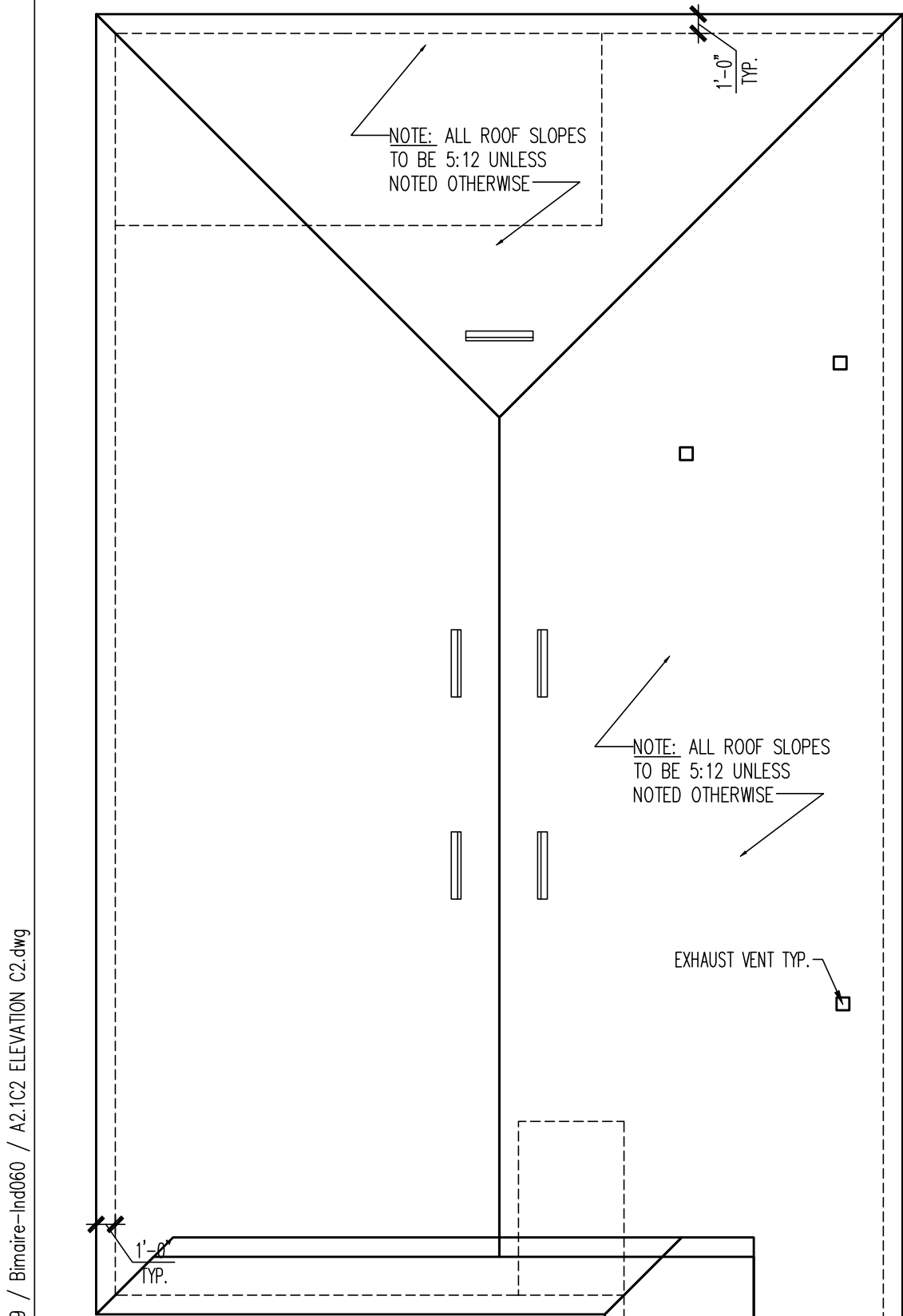
REAR ELEVATION

SCALE: 1/8"=1'-0"



FRONT ELEVATION - "C2"

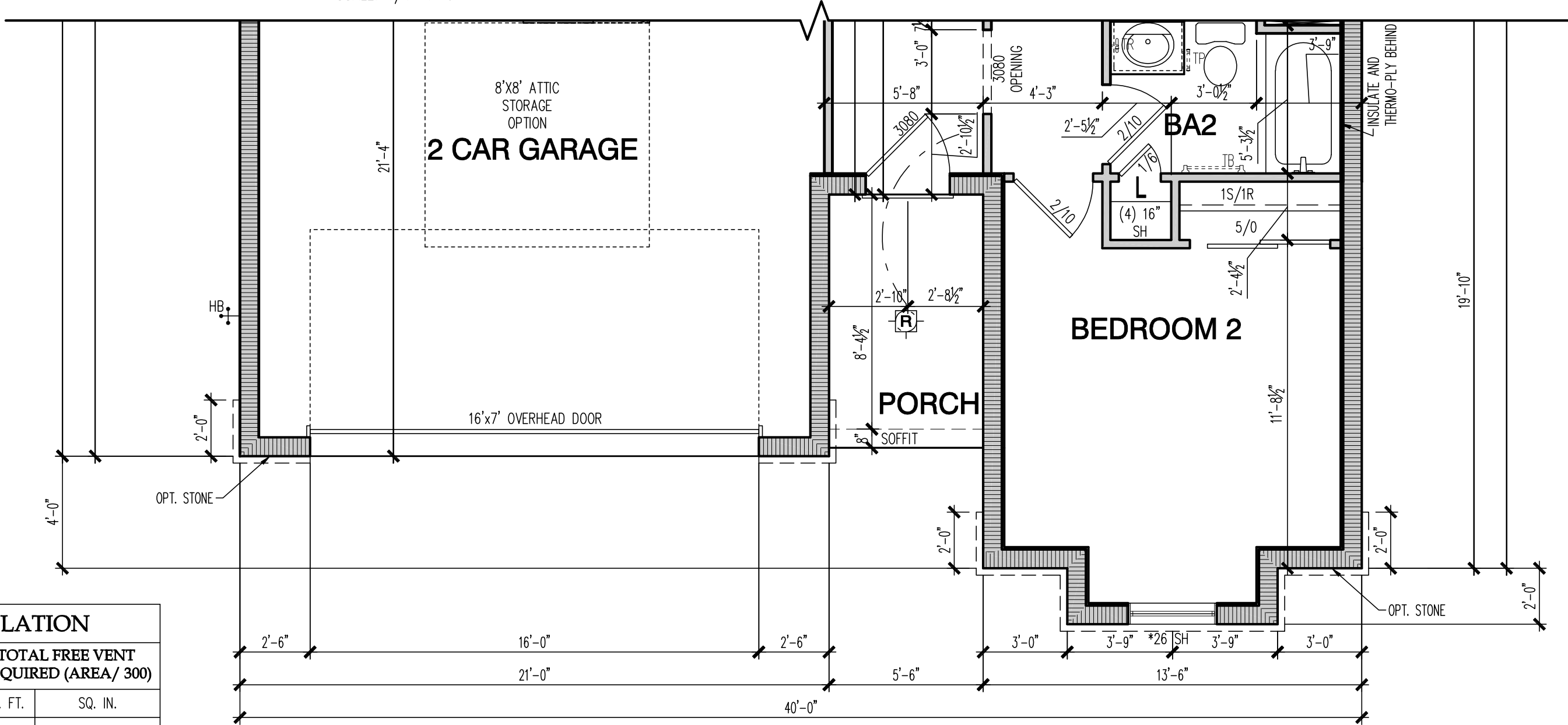
SCALE: 1/4"=1'-0"



ROOF PLAN

SCALE: 1/8"=1'-0"

ATTIC VENTILATION					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
2624	377856		8.747	1259.520	
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/10.0)		
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.
3.499	503.808	5	5.248	755.712	76
ROOF TOP ATTIC VENT: SERIES 121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT TYPE: CONTINUOUS SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					



PARTIAL FIRST FLOOR PLAN "C2"

SCALE: 1/4"=1'-0"

APPROVED ELEVATION

SHUTTER DETAIL

SCALE: 1/2" = 1'-0"

RAKE DETAIL

SCALE: 1/2" = 1'-0"

BRACKET DETAIL

SCALE: 1/2" = 1'-0"

GARAGE DETAIL

SCALE: 1/2" = 1'-0"

DOUBLE LOUVER DETAIL

SCALE: 1/2" = 1'-0"

CMU HEADER DTL.

SCALE: 1/2" = 1'-0"

STONE DETAIL

SCALE: 1/2" = 1'-0"

CMU SILL DETAIL

SCALE: 1/2" = 1'-0"

©COPYRIGHT: 2016 PZ

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Springs, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION C2
ELEVATIONS

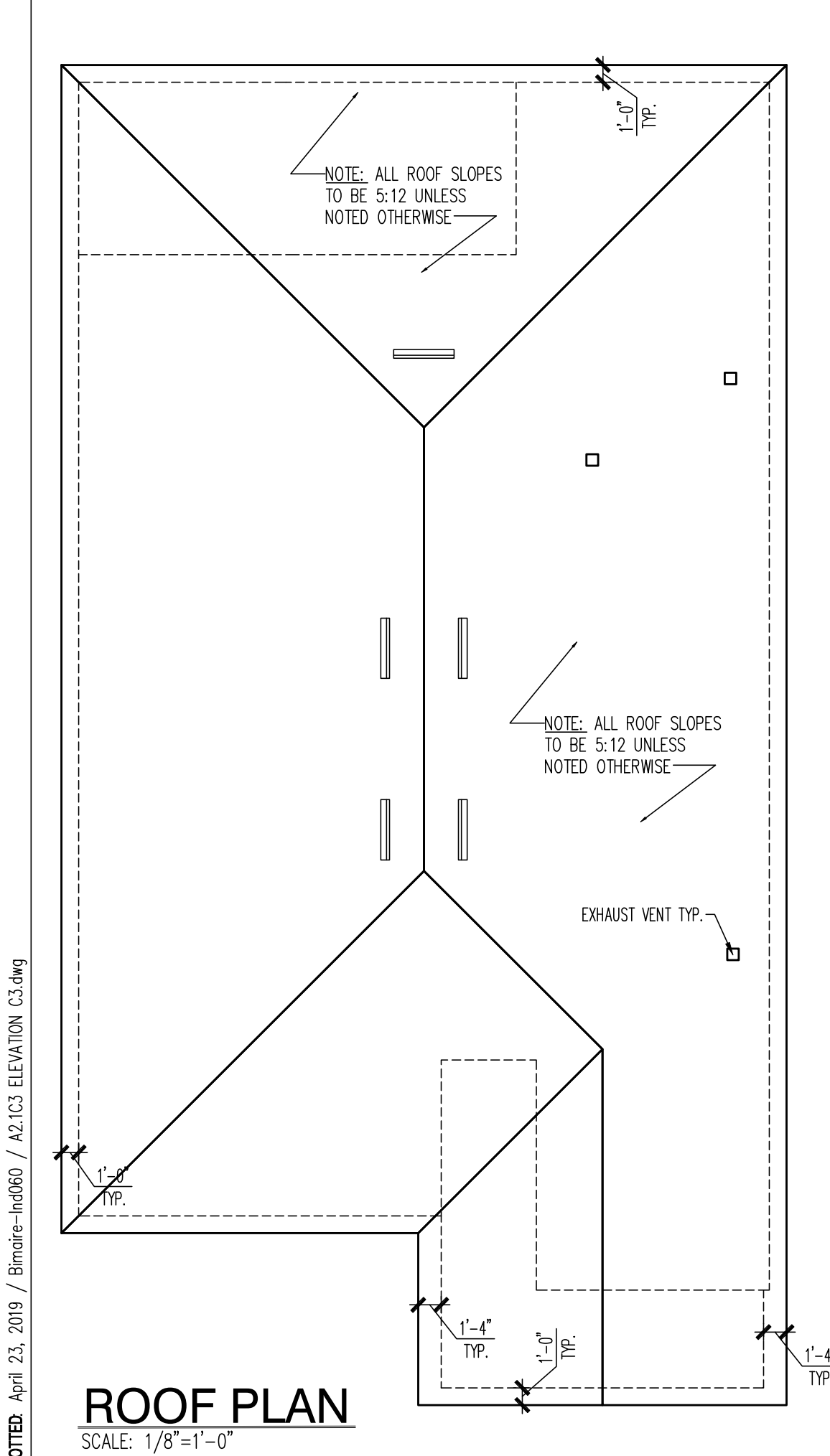
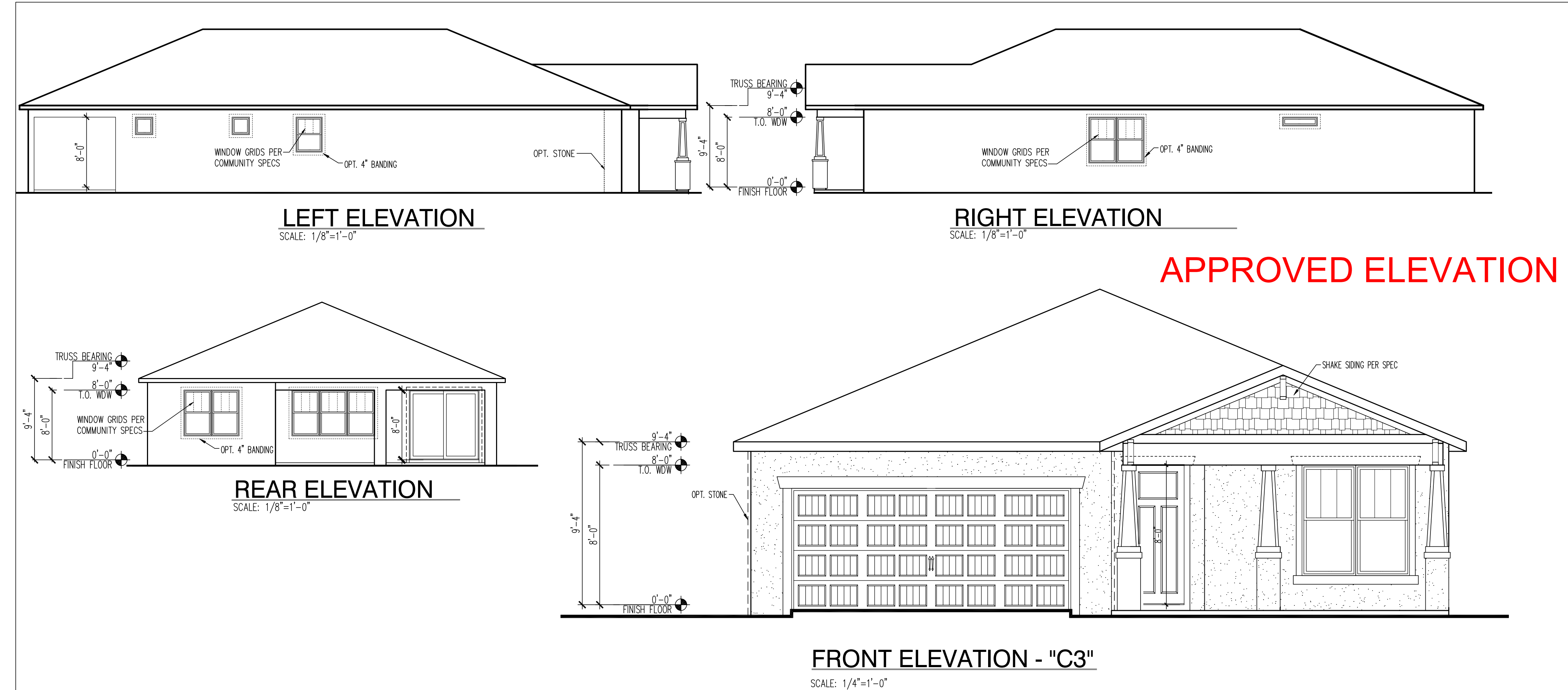
PRODUCT MANAGER	
INITIAL RELEASE	DATE: 1/24/2018
REV#	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE
Single Family

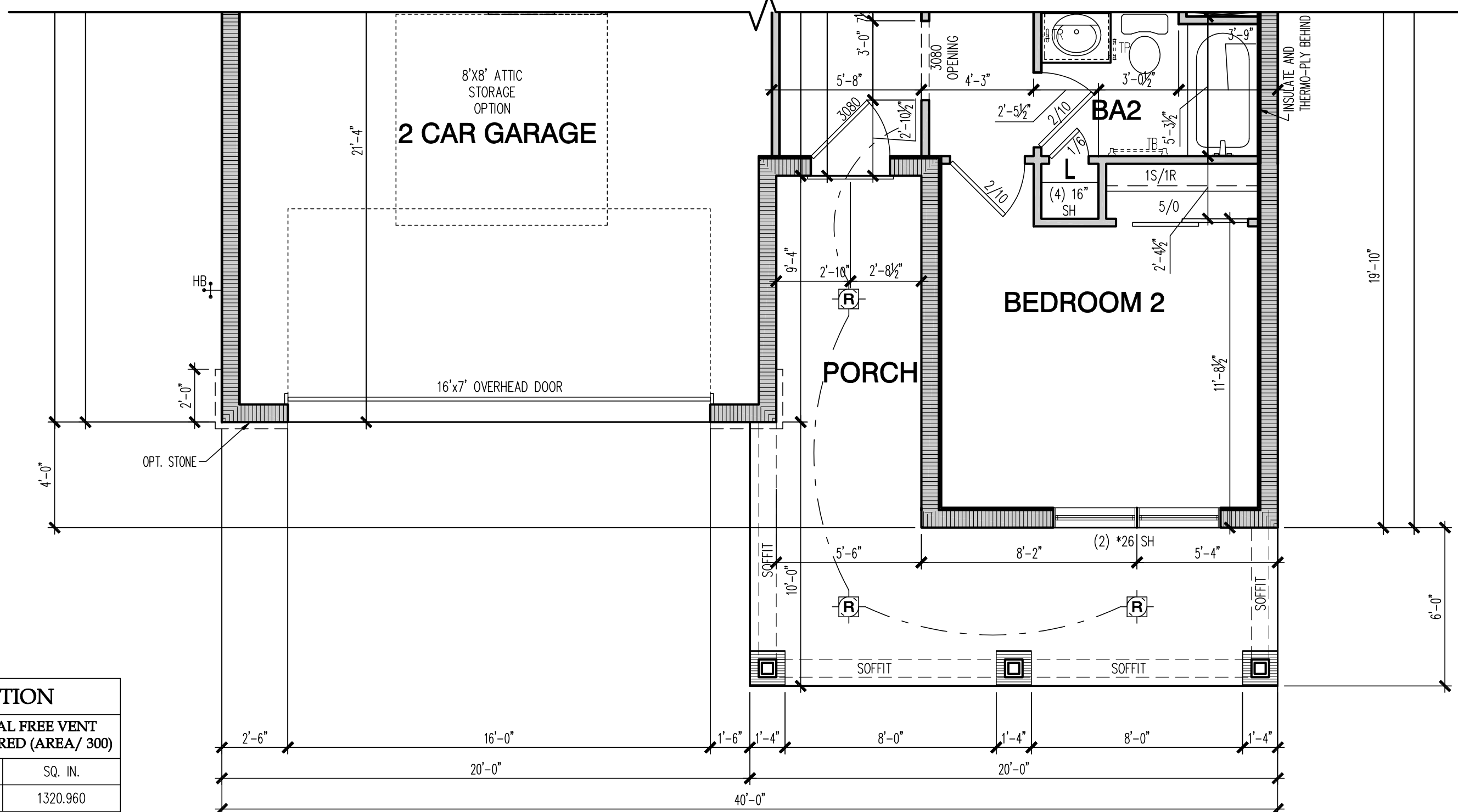
SPECIFICATION LEVEL
Pulte

PLAN NAME
Palmary
NPC NUMBER
2685.500

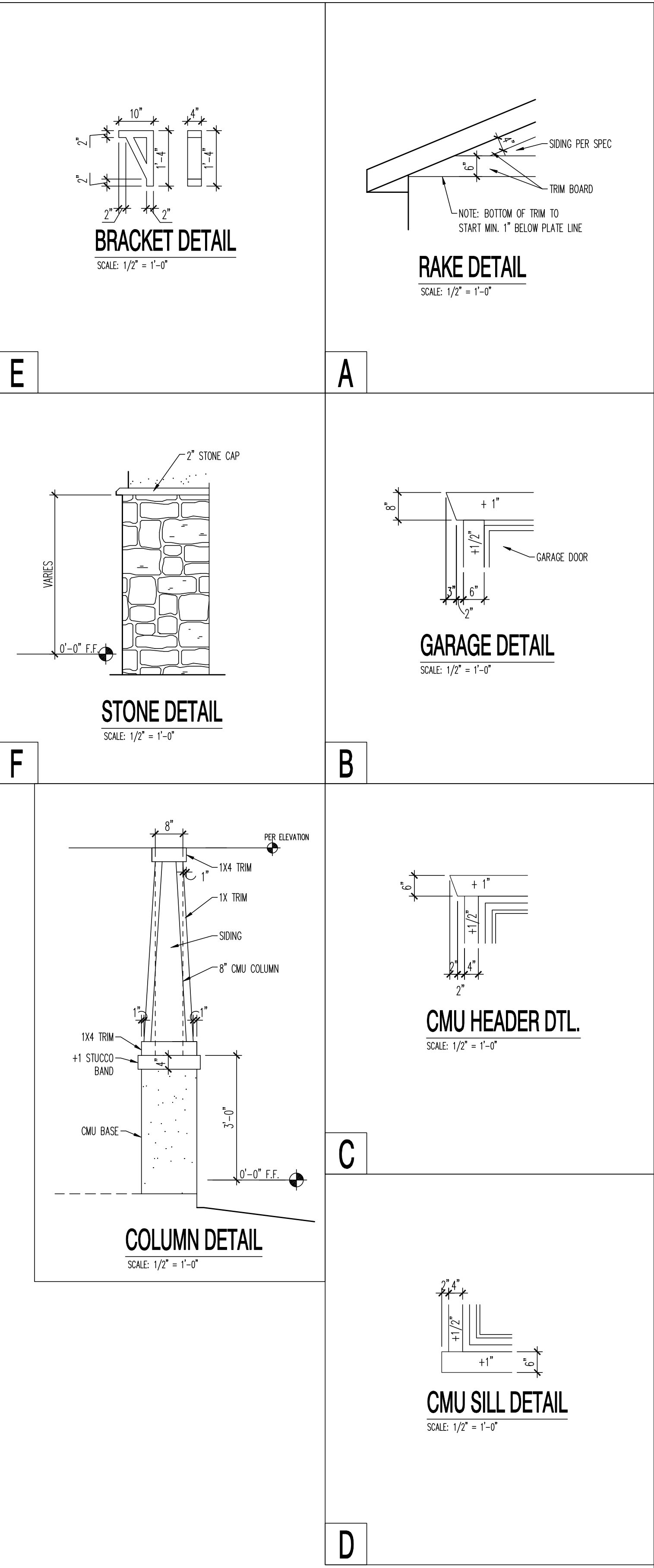
SHEET
A21C2



ATTIC VENTILATION					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
2752	396288		9.173	1320.960	
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/10.0)		
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.
3.669	528.384	5	5.504	792.576	79
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					



APPROVED ELEVATION



©COPYRIGHT: 2016 P3

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Springs, Florida 34134 (239)495-4800 (770)381-3450

PulteGroup

ELEVATION C3
ELEVATIONS

REV#	DATE/DESCRIPTION
△	---
△	---
△	---
△	---
△	---
△	---
△	---
△	---
△	---
△	---

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME
Palmary
NPC NUMBER
2685.500

SHEET
A21C3

Prestige

CONTROL DATE	01/24/2018
--------------	------------

PRODUCT ACTION REQUEST / REVISION TRACKING

[illegible]

DRAWING INDEX

Sheet List Table	
Sheet Number	Sheet Title
G1.1	COVER SHEET
GN	General Notes
G1.2	ARCHITECTURAL PLAN HISTORY
G2.1	FIRST FLOOR PLAN
G02.1	FLOOR PLAN OPTIONS
G3.1	FIRST FLOOR PLAN
G03.1	FLOOR PLAN OPTIONS
G4.1	FIRST FLOOR PLAN
G04.1	FLOOR PLAN OPTIONS
A1.1	FIRST FLOOR PLAN
A01.1	FLOOR PLAN OPTIONS
A01.2	FLOOR PLAN OPTIONS
A01.3	FLOOR PLAN OPTIONS—RAISED PLATE
A01.4	FLOOR PLAN OPTIONS
A01.5	FLOOR PLAN OPTIONS—RAISED PLATE
A01.6	FLOOR PLAN OPTIONS
A01.7	FLOOR PLAN OPTIONS
A01.8	FLOOR PLAN OPTIONS
A2.1FM1	ELEVATION FM1
A2.1FM1-R	ELEVATION FM1-R
A2.1FM2	ELEVATION FM2
A2.1FM2-R	ELEVATION FM2-R
A2.1FM3	ELEVATION FM3
A2.1FM3-R	ELEVATION FM3-R
A2.1C1	ELEVATION C1
A2.1C1-R	ELEVATION C1-R
A2.1C2	ELEVATION C2
A2.1C2-R	ELEVATION C2-R
A2.1C3	ELEVATION C3
A2.1C3-R	ELEVATION C3-R
A2.1C02A	ELEVATION C02A
A2.1C02A-R	ELEVATION C02A-R
A2.1C02B	ELEVATION C02B
A2.1C02B-R	ELEVATION C02B-R
A2.1C03	ELEVATION C03
A2.1C03-R	ELEVATION C03-R
E1.1	FIRST FLOOR PLAN
E01.1	FLOOR PLAN OPTIONS
E2.1	FIRST FLOOR PLAN
E02.1	FLOOR PLAN OPTIONS
P1.1	FIRST FLOOR PLAN
P01.1	FLOOR PLAN OPTIONS

GENERAL NOTES

- THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:
 - FLORIDA BUILDING CODE 6TH EDITION (2017) RESIDENTIAL
 - 2014 NATIONAL ELECTRIC CODE
 - BUILDING TYPE: VB

SQUARE FOOTAGES

BASE PLAN AND MASTER SET AREA TABLE	
Description	Area
:_CONDITIONED SPACE	
BASE PLAN	2080 SF
FM3 BAY WINDOW	27 SF
:CONDITIONED SPACE - ADDITIONAL (ADDED TO BASE)	
CR2 BOX BAY WINDOW	18 SF
FM2 BAY WINDOW	34 SF
SUNROOM	177 SF
:	
FM3 BAY WINDOW	27 SF
: NON-CONDITIONED SPACE	
2 CAR GARAGE W/ 4' EXTENSION	538 SF
3 CAR GARAGE W/ 4' EXTENSION	738 SF
C1 FRONT PORCH	48 SF
C2 FRONT PORCH	48 SF
C3 FRONT PORCH W/ 4' EXT GAR	193 SF
C3 FRONT PORCH W/ STANDARD GARAGE	197 SF
CO2A FRONT PORCH W/ 4' EXT GAR	62 SF
CO2A FRONT PORCH W/ STANDARD GARAGE	64 SF
CO2B FRONT PORCH	48 SF
CO3 FRONT PORCH W/ 4' EXT GAR	192 SF
CO3 FRONT PORCH W/ STANDARD GARAGE	194 SF
COVERED LANAI W/ SUNROOM	91 SF
EXTENDED COVERED LANAI	268 SF
FM1 FRONT PORCH	48 SF
FM2 FRONT PORCH W/ 4' EXT GAR	62 SF
FM2 FRONT PORCH W/ STANDARD GAR	64 SF
FM3 FRONT PORCH W/ 4' EXT GAR	62 SF
FM3 FRONT PORCH W/ STANDARD GARAGE	64 SF
STANDARD 2 CAR GARAGE	453 SF
STANDARD 3 CAR GARAGE	653 SF
STANDARD COVERED LANAI	178 SF

WIDTH & DEPTH		
	WIDTH	DEPTH
CMU-BASE HOUSE - FM1	40'-0"	74'-0"
CMU-ELEVATION FM2	0	+3'-10"
CMU-ELEVATION FM3	0	+2'-8"
CMU-ELEVATION C1	0	0
CMU-ELEVATION C2	0	+2'-0"
CMU-ELEVATION C3	0	+6'-0"
CMU-ELEVATION CO2A	0	0
CMU-ELEVATION CO2B	0	0
CMU-ELEVATION CO3	0	+6'-0"
3 CAR GARAGE	+10'-0"	0
CMU-SUNROOM	0	0
CMU-GARAGE 4'-0" EXT.	0	+4'-0
CMU-EXTENDED COVERED LANAI	0	0

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Spring, Florida 34134 (239) 495-4800 (770) 381-3450



COVER SHEET

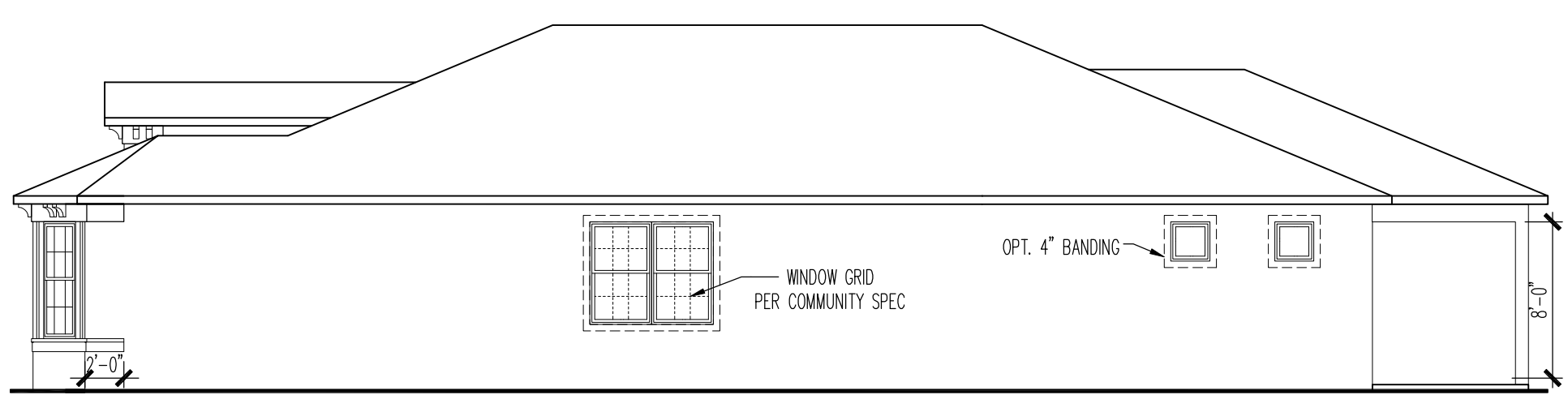
[illegible]

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME	Prestige
NPC NUMBER	2697.500

SHEET
G1.1



RIGHT ELEVATION "FM3"

SCALE: 1/8"=1'-0"



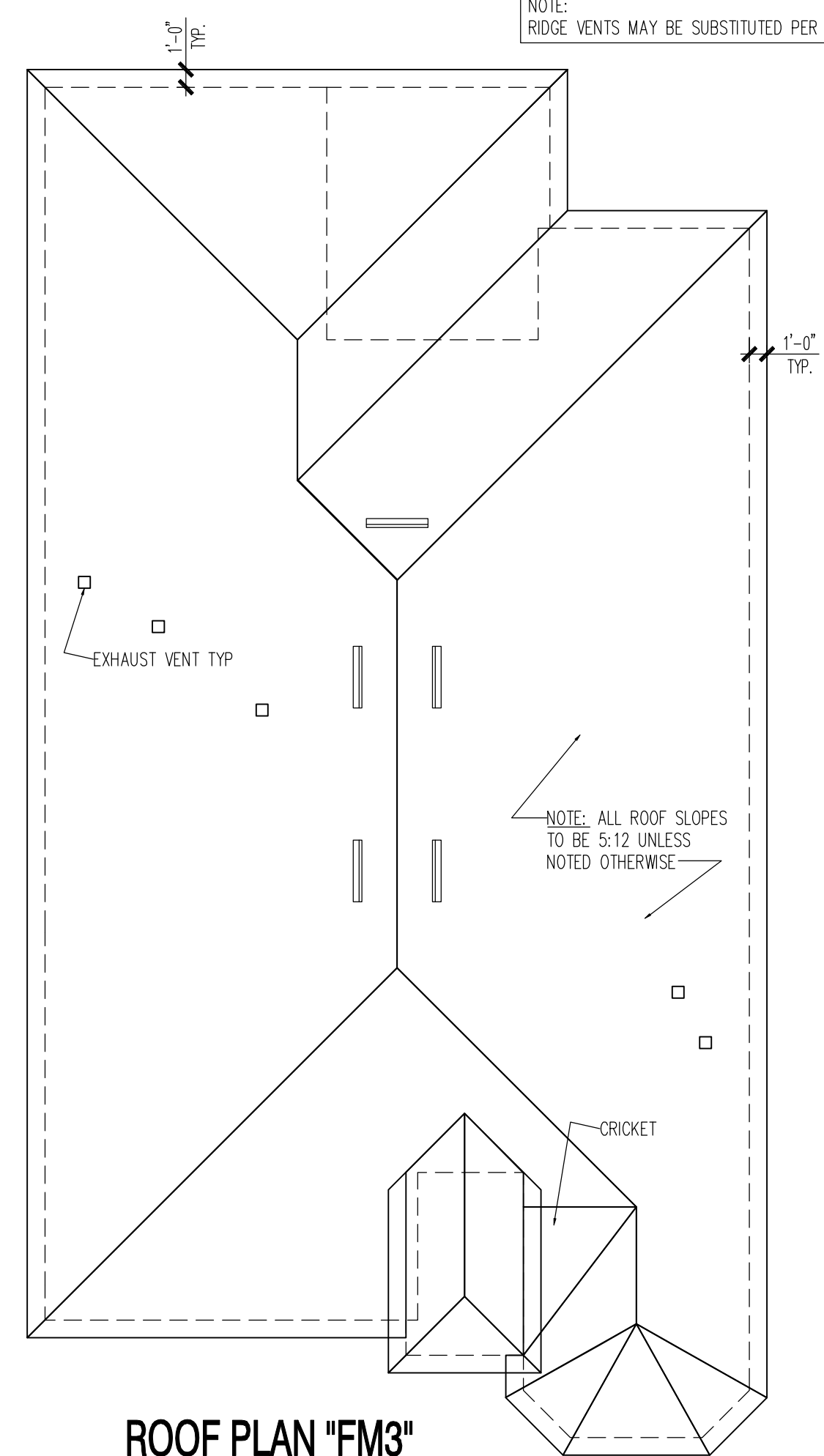
FRONT ELEVATION - "FM3"

SCALE: $1/4"=1'-0"$

[illegible]

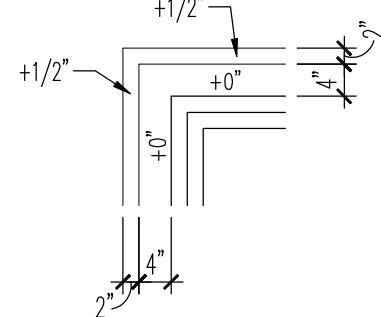
ROOF PLAN "FM3"

SCALE: 1/8"=1'-0"



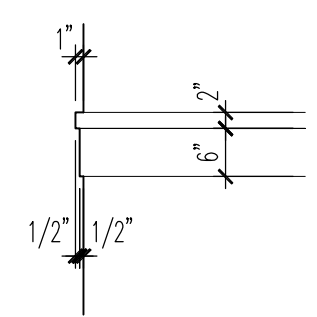
ROOF PLAN "FM3"

SCALE: 1/8"=1'-0"



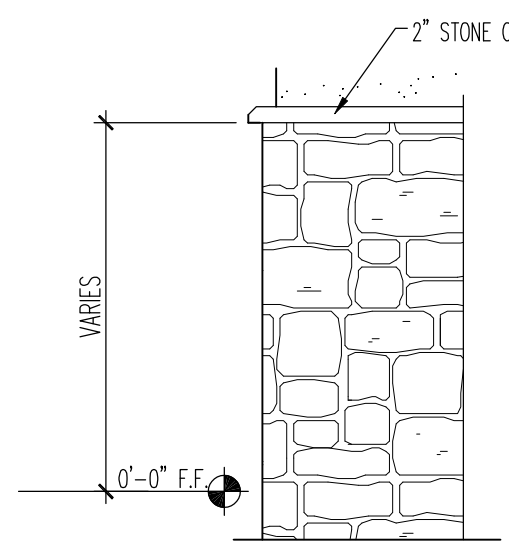
WINDOW/FRONT DOOR

SCALE: 1/2" = 1'-0"



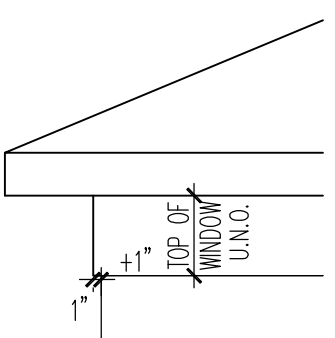
GARAGE TRIM DETAIL

SCALE: 1/2" = 1'-0"



SILL DTL

SCALE: $1/2" = 1'-0"$

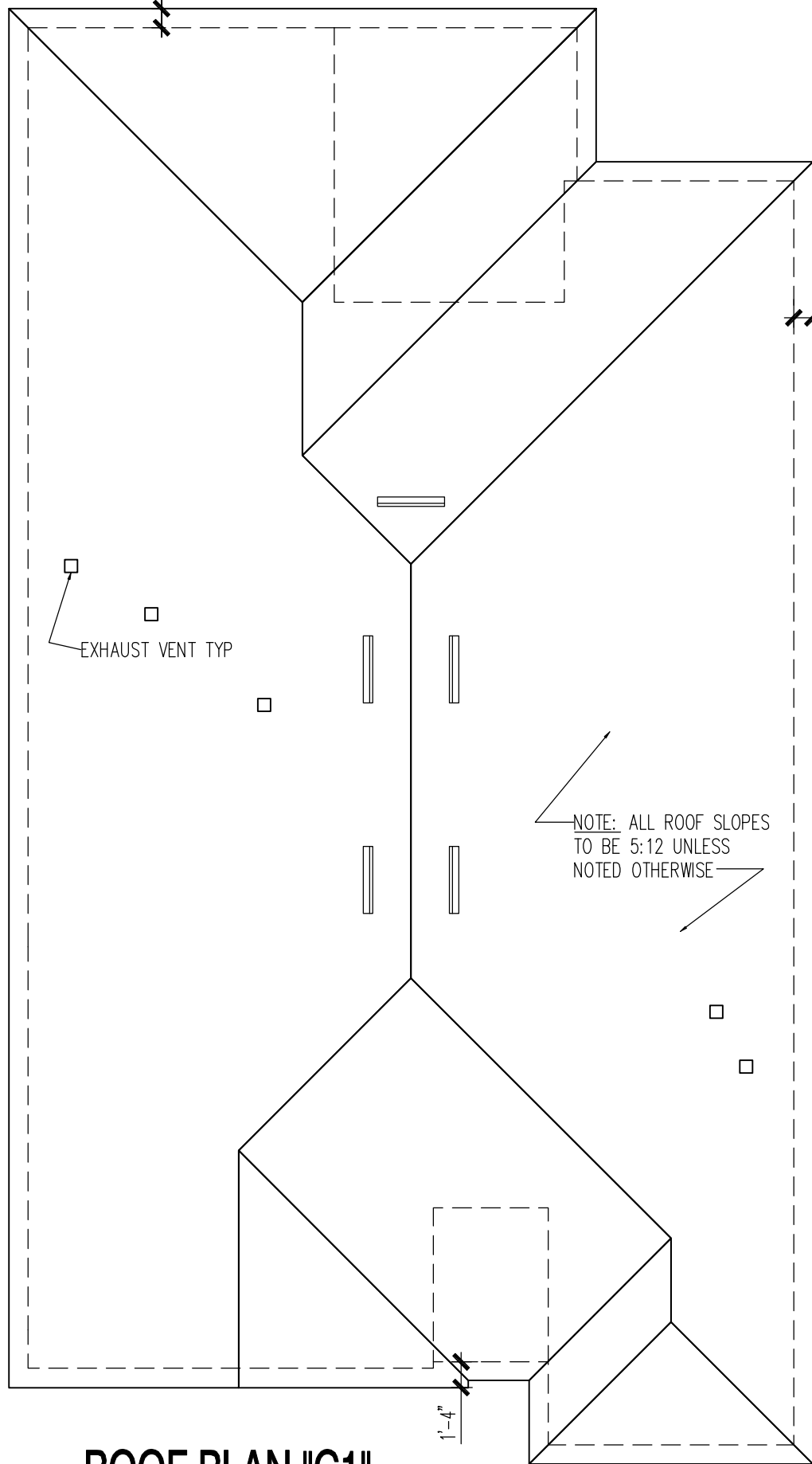


FRIEZE BANDING DTL

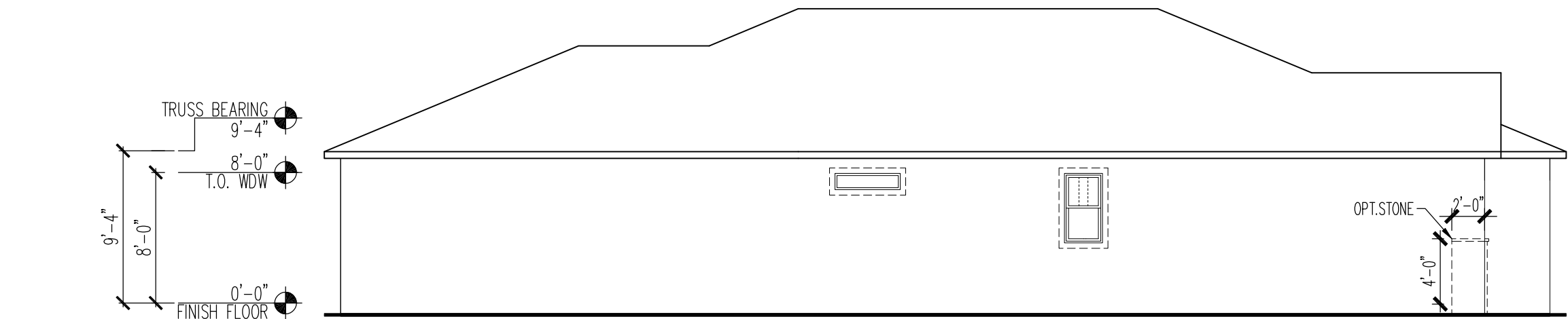
SCALE: 1/2" = 1'-0"

PLOTTED: April 12, 2019 / user=422 / A21C1: ELEVATION CRI.dwg

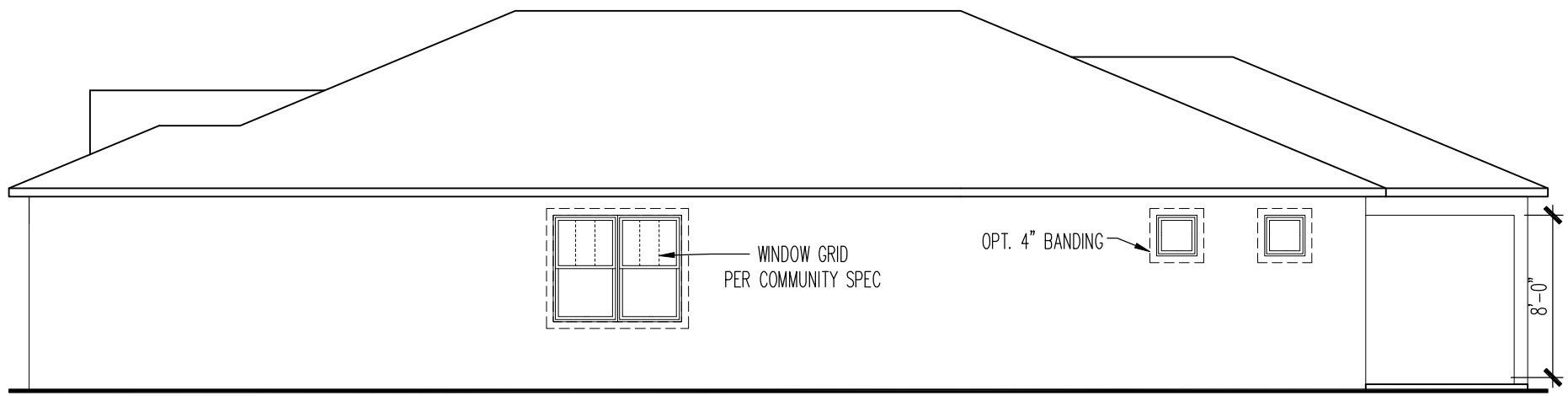
ATTIC VENTILATION					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
2688	387072		8.960	1290.240	
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/10.0)		
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.
3.584	516.096	5	4.480	645.120	65
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					



ROOF PLAN "C1"
 SCALE: 1/8"=1'-0"

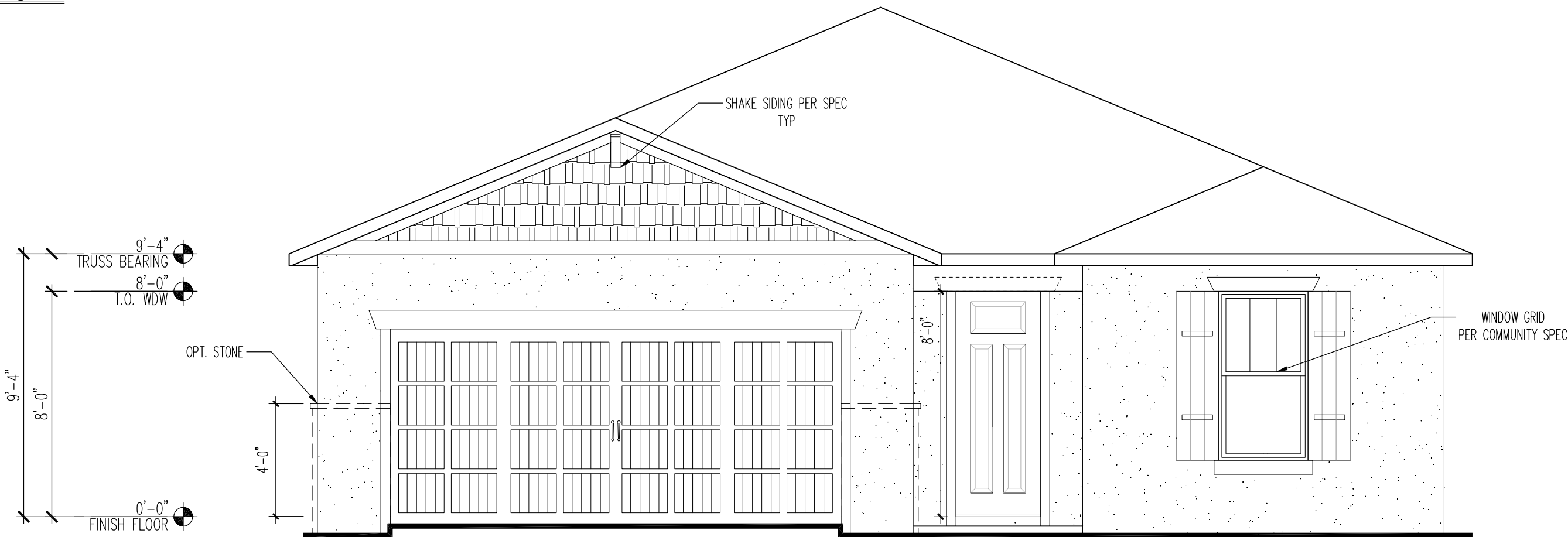


LEFT ELEVATION "C1"
 SCALE: 1/8"=1'-0"

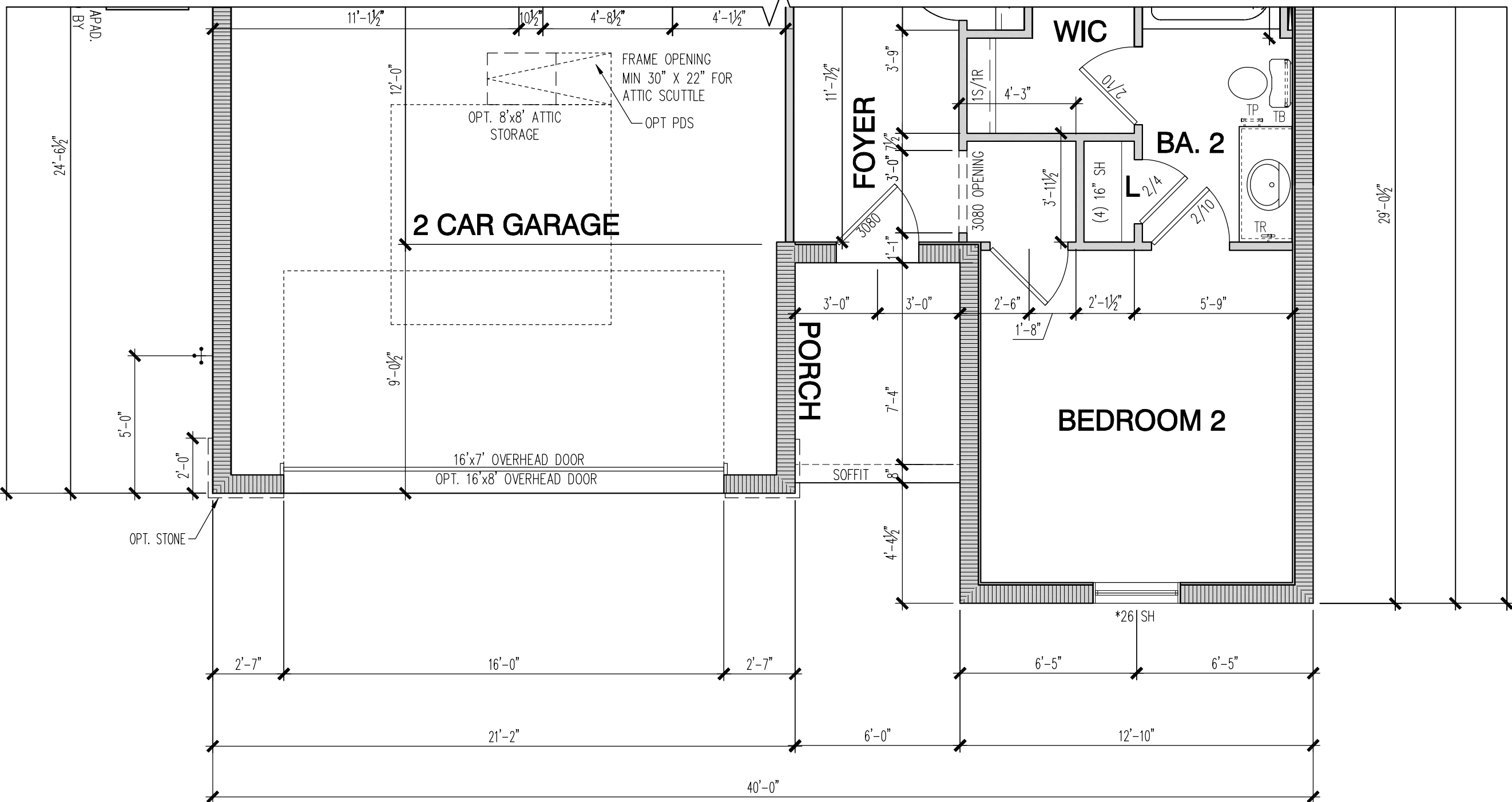


RIGHT ELEVATION "C1"
 SCALE: 1/8"=1'-0"

REAR ELEVATION "C1"
 SCALE: 1/8"=1'-0"



FRONT ELEVATION - "C1"
 SCALE: 1/4"=1'-0"



PARTIAL FIRST FLOOR PLAN "C1"
 SCALE: 1/4"=1'-0"

APPROVED ELEVATION

BRACKET DETAIL
 SCALE: 1/2" = 1'-0"

CMU HEADER DTL.
 SCALE: 1/2" = 1'-0"

RAKE DETAIL
 SCALE: 1/2" = 1'-0"

GARAGE DETAIL
 SCALE: 1/2" = 1'-0"

STONE DETAIL
 SCALE: 1/2" = 1'-0"

CMU SILL DETAIL
 SCALE: 1/2" = 1'-0"

GABLE DETAIL
 SCALE: 1/2" = 1'-0"

SHUTTER DETAIL
 SCALE: 1/2" = 1'-0"

©COPYRIGHT: 2016 PZ

Florida Zone
 24311 Walden Center Dr., Suite 300
 Bonita Spring, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION C1
 ELEVATIONS

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

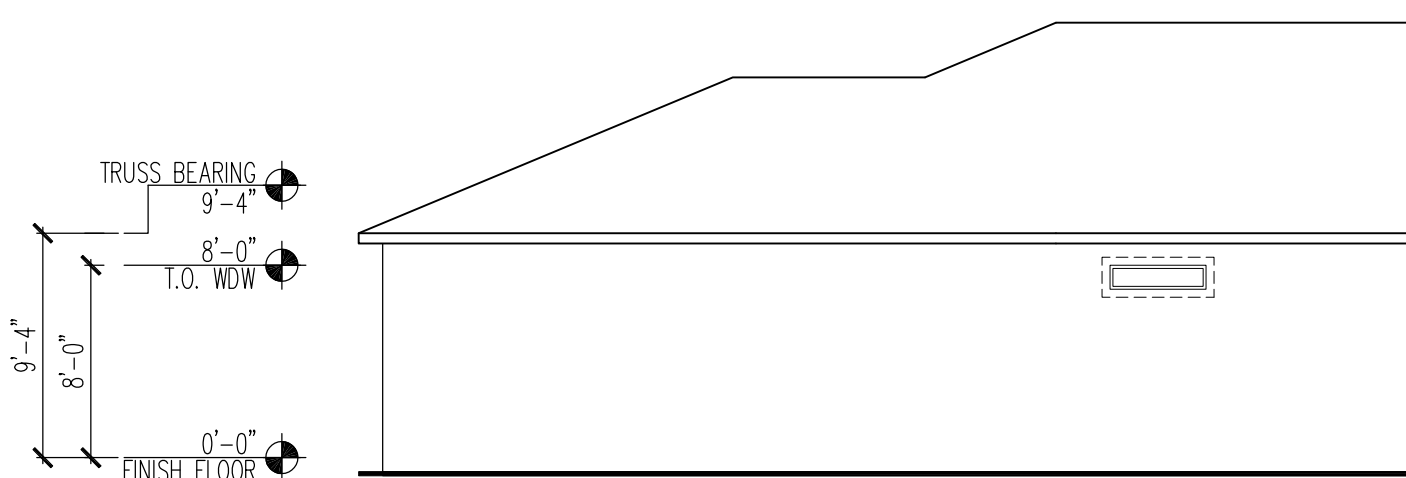
PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

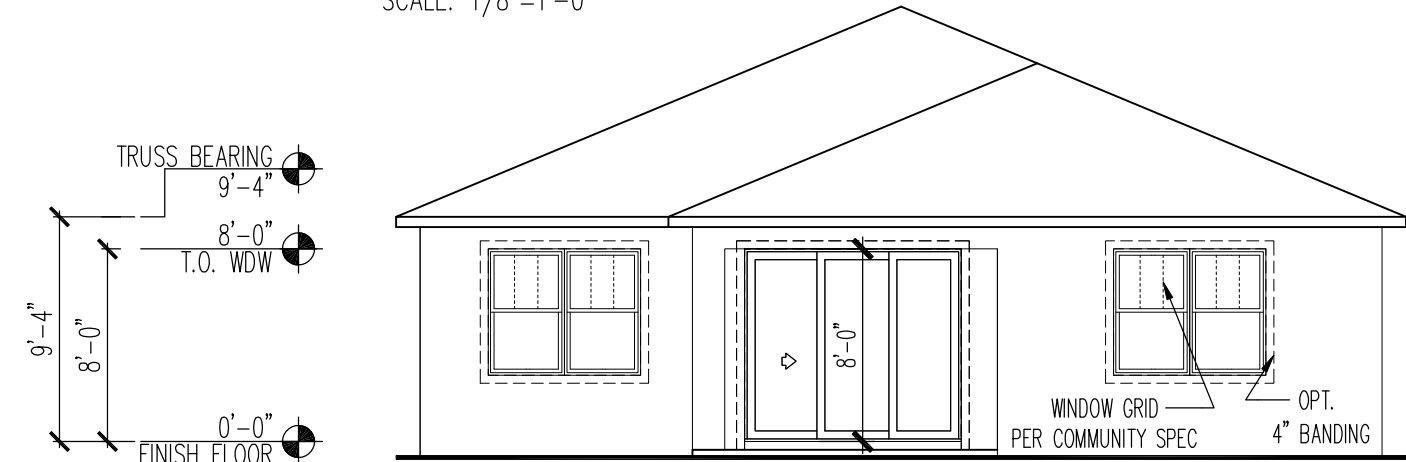
PLAN NAME
 Prestige
 NPC NUMBER
 2697.500

SHEET
 A21C1

PLOTTED: April 12, 2019 / user=422 / A21C2 ELEVATION CR2.dwg

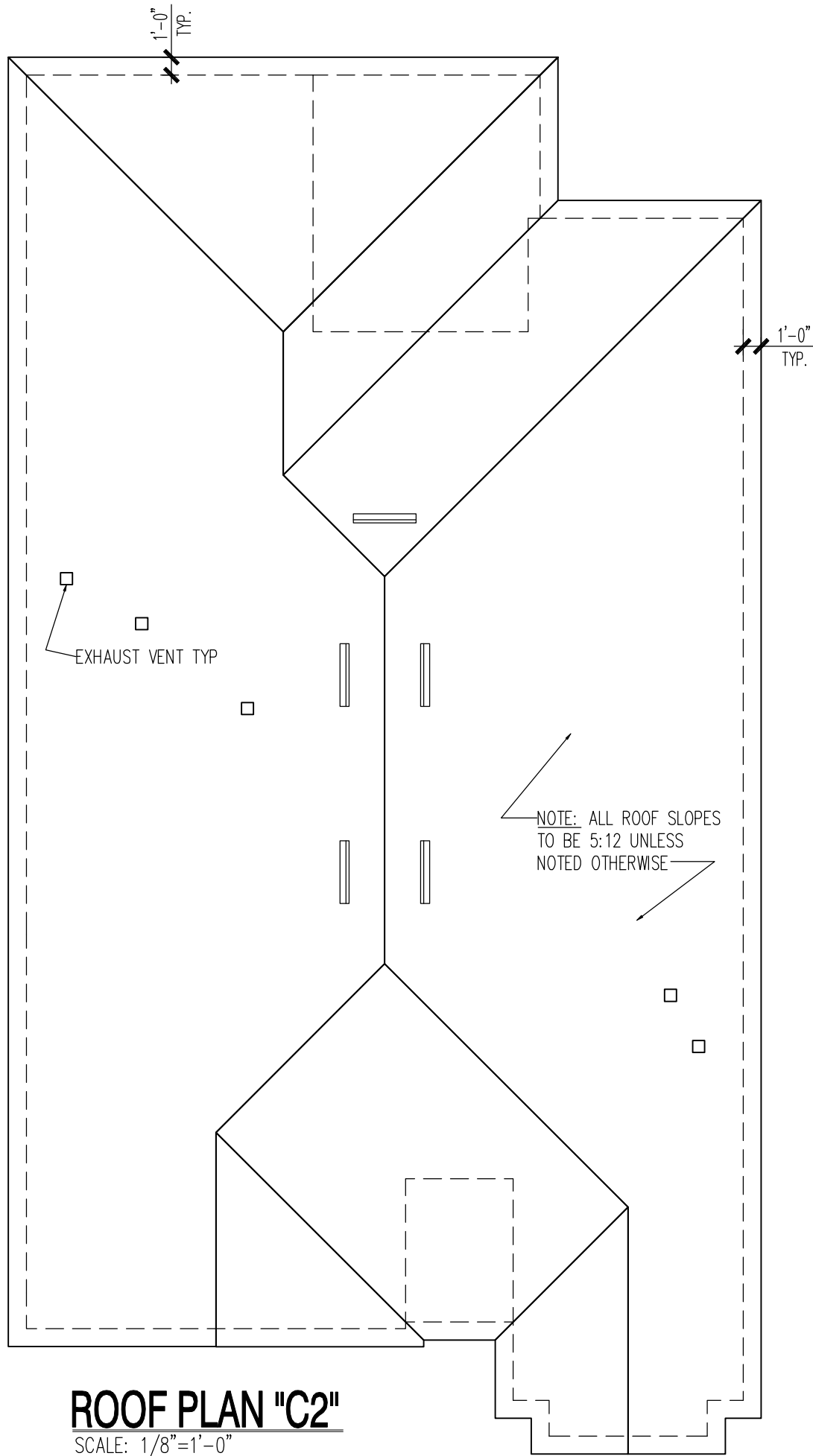


LEFT ELEVATION "C2"
 SCALE: 1/8"=1'-0"

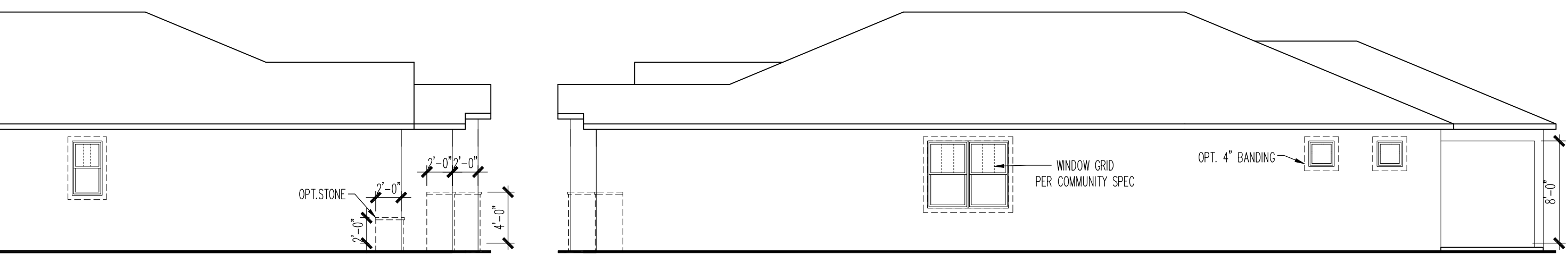


REAR ELEVATION "C2"
 SCALE: 1/8"=1'-0"

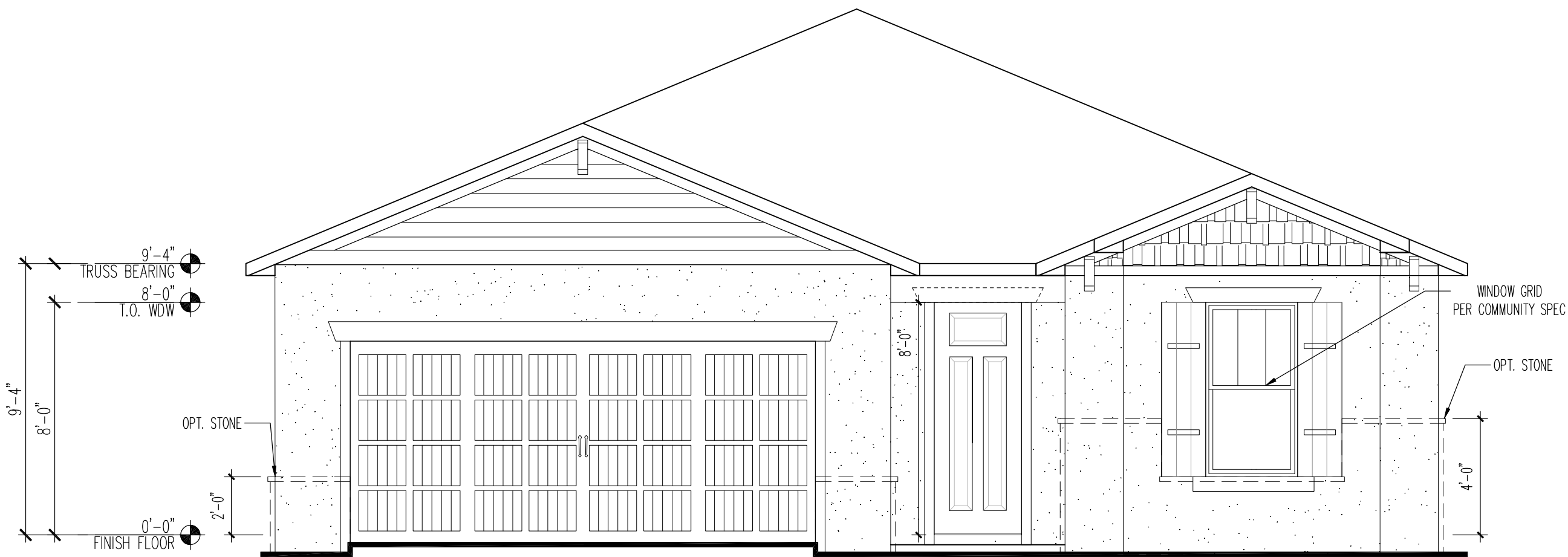
ATTIC VENTILATION					
ACTUAL ATTIC AREA TOTAL			TOTAL FREE VENT REQUIRED (AREA/ 300)		
SQ. FT.	SQ. IN.		SQ. FT.	SQ. IN.	
2707	389808		9.023	1299.360	
ROOF VENTS REQUIRED			SOFFIT VENTS REQUIRED (SI/10.0)		
SQ. FT.	SQ. IN.	# OF VENTS	SQ. FT.	SQ. IN.	LIN. FT.
3.609	519.744	5	4.512	649.680	65
ROOF TOP ATTIC VENT: SERIES			SOFFIT VENT TYPE: CONTINUOUS		
121 = 1 SQ. FT./ VENT (121 SQ. IN. VENT)			SOFFIT VENT = 10.0 SQ. IN. AREA PER LINEAR FT.		
NOTE: RIDGE VENTS MAY BE SUBSTITUTED PER MUNICIPALITY					



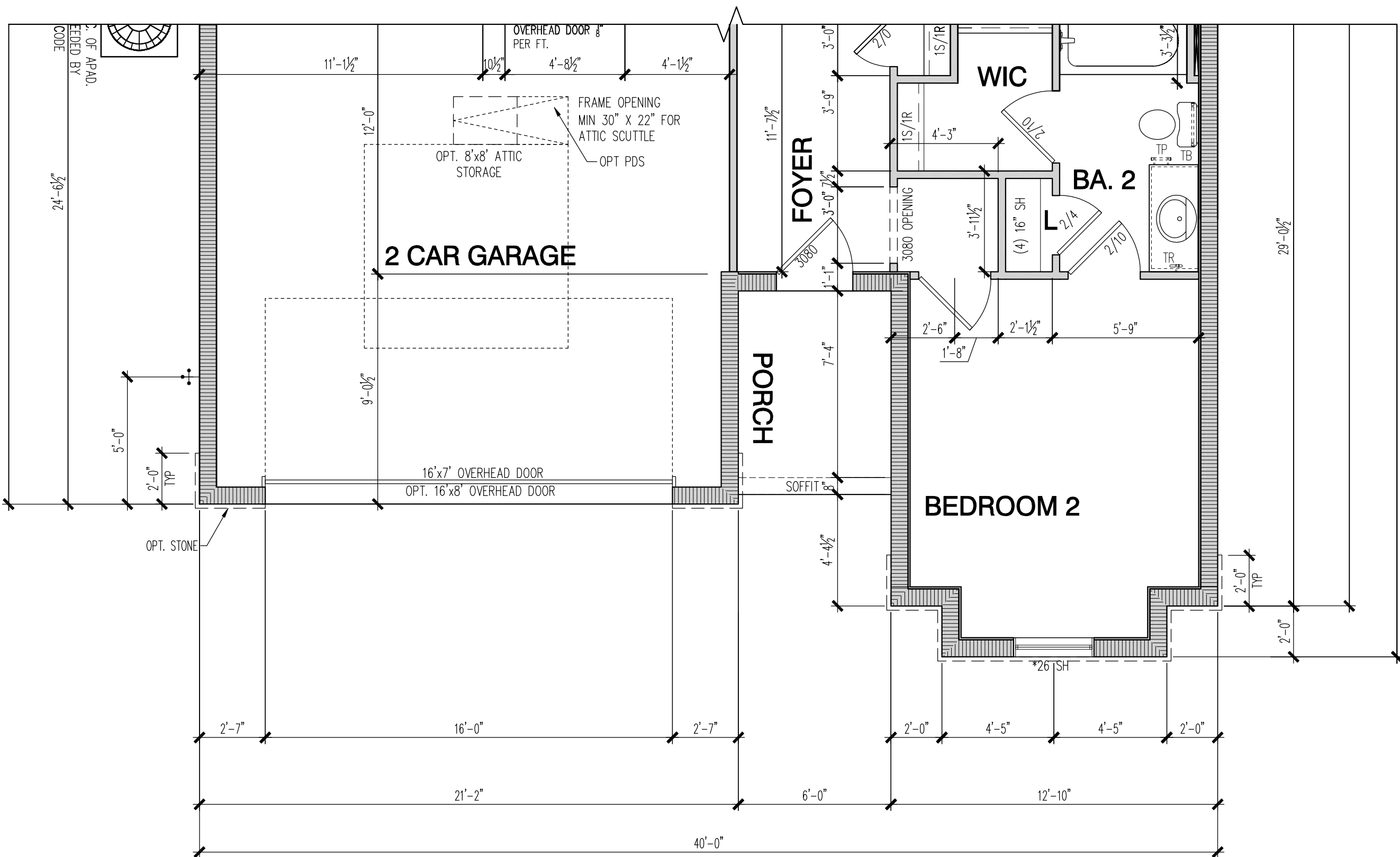
ROOF PLAN "C2"
 SCALE: 1/8"=1'-0"



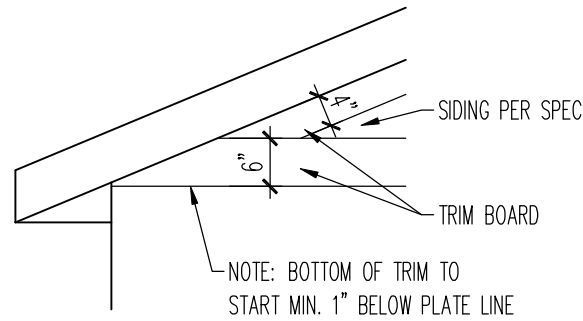
RIGHT ELEVATION "C2"
 SCALE: 1/8"=1'-0"



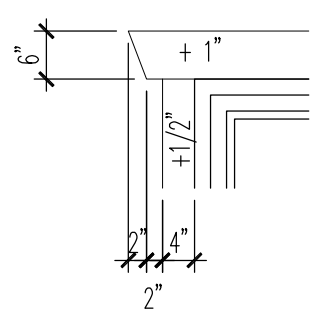
FRONT ELEVATION - "C2"
 SCALE: 1/4"=1'-0"



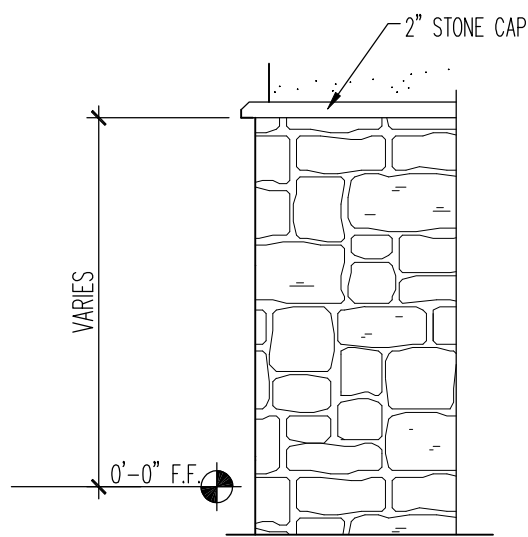
PARTIAL FIRST FLOOR PLAN "C2"
 SCALE: 1/4"=1'-0"



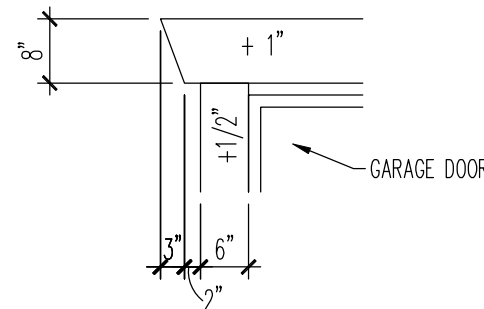
RAKE DETAIL
 SCALE: 1/2" = 1'-0"



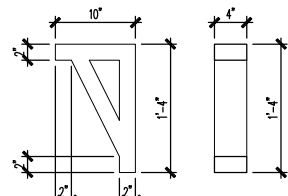
CMU HEADER DTL.
 SCALE: 1/2" = 1'-0"



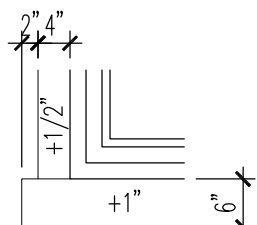
STONE DETAIL
 SCALE: 1/2" = 1'-0"



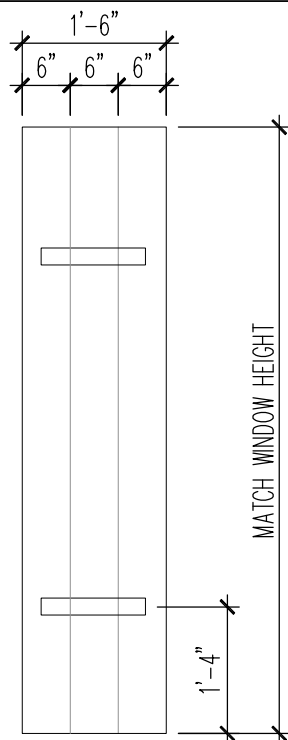
GARAGE DETAIL
 SCALE: 1/2" = 1'-0"



BRACKET DETAIL
 SCALE: 1/2" = 1'-0"



CMU SILL DETAIL
 SCALE: 1/2" = 1'-0"



SHUTTER DETAIL
 SCALE: 1/2" = 1'-0"

Florida Zone
 24311 Walden Center Dr., Suite 300
 Bonita Spring, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION C2
 ELEVATIONS

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

PLAN NAME
 Prestige
 NPC NUMBER
 2697.500

SHEET
 A21C2

Reverence

CONTROL DATE
01/24/18

PRODUCT ACTION REQUEST / REVISION TRACKING

[illegible]

DRAWING INDEX

Sheet List Table	
Sheet Number	Sheet Title
G1.1	COVER SHEET
GN	General Notes
G1.2	ARCHITECTURAL PLAN HISTORY
G2.1	FIRST FLOOR PLAN
G2.2	SECOND FLOOR PLAN
G3.1	FIRST FLOOR PLAN
G3.2	SECOND FLOOR PLAN
G4.1	FIRST FLOOR PLAN
G04.1	FLOOR PLAN OPTIONS
G4.2	SECOND FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A01.1	FLOOR PLAN OPTIONS
A01.12	FLOOR PLAN OPTIONS
A01.2	FLOOR PLAN OPTIONS
A01.3	FLOOR PLAN OPTIONS
A01.4	FLOOR PLAN OPTIONS
A01.5	FLOOR PLAN OPTIONS
A01.6	FLOOR PLAN OPTIONS
A2.1FM1	ELEVATION FM1
A2.12FM1	ELEVATION FM1
A2.1FM1-R	ELEVATION FM1-R
A2.12FM1-R	ELEVATION FM1-R
A2.1FM1-L	ELEVATION FM1-L
A2.12FM1-L	ELEVATION FM1-L
A2.1FM2	ELEVATION FM2
A2.12FM2	ELEVATION FM2
A2.1FM2-R	ELEVATION FM2-R
A2.12FM2-R	ELEVATION FM2-R
A2.1FM2-L	ELEVATION FM2-L
A2.12FM2-L	ELEVATION FM2-L
A2.1FM3	ELEVATION FM3
A2.12FM3	ELEVATION FM3
A2.1FM3-R	ELEVATION FM3-R
A2.12FM3-R	ELEVATION FM3-R
A2.1FM3-L	ELEVATION FM3-L
A2.12FM3-L	ELEVATION FM3-L
A2.1C1	ELEVATION C1
A2.12C1	ELEVATION C1
A2.1C1-R	ELEVATION C1-R
A2.12C1-R	ELEVATION C1-R
A2.1C1-L	ELEVATION C1-L
A2.12C1-L	ELEVATION C1-L
A2.1C2	ELEVATION C2
A2.12C2	ELEVATION C2
A2.1C2-R	ELEVATION C2-R
A2.12C2-R	ELEVATION C2-R
A2.1C2-L	ELEVATION C2-L
A2.12C2-L	ELEVATION C2-L
A2.1C3	ELEVATION C3
A2.12C3	ELEVATION C3
A2.1C3-R	ELEVATION C3-R
A2.12C3-R	ELEVATION C3-R
A2.1C3-L	ELEVATION C3-L
A2.12C3-L	ELEVATION C3-L
A2.1C02A	ELEVATION C02A
A2.12C02A	ELEVATION C02A
A2.1C02A-R	ELEVATION C02A-R
A2.12C02A-R	ELEVATION C02A-R
A2.1C02A-L	ELEVATION C02A-L
A2.12C02A-L	ELEVATION C02A-L
A2.1C02B	ELEVATION C02B
A2.12C02B	ELEVATION C02B
A2.1C02B-R	ELEVATION C02B-R
A2.12C02B-R	ELEVATION C02B-R

A2.1C02B-L	ELEVATION C02B-L
A2.12C02B-L	ELEVATION C02B-L
A2.1C03	ELEVATION C03
A2.12C03	ELEVATION C03
A2.1C03-R	ELEVATION C03-R
A2.12C03-R	ELEVATION C03-R
A2.1C03-L	ELEVATION C03-L
A2.12C03-L	ELEVATION C03-L
E1.1	FIRST FLOOR PLAN
E1.2	SECOND FLOOR PLAN
E01.1	FLOOR PLAN OPTIONS
E2.1	FIRST FLOOR PLAN
E2.2	SECOND FLOOR PLAN
P1.1	FIRST FLOOR PLAN
P1.2	SECOND FLOOR PLAN
P01.1	FLOOR PLAN OPTIONS

GENERAL NOTES

- THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:

- FLORIDA BUILDING CODE 6TH EDITION (2017) RESIDENTIAL
- 2014 NATIONAL ELECTRIC CODE
- BUILDING TYPE: VB

SQUARE FOOTAGES

BASE PLAN AND MASTER SET AREA TABLE	
Description	Area
: _CONDITIONED SPACE	
BASE PLAN	2669 SF
:CONDITIONED SPACE - ADDITIONAL (ADDED TO BASE)	
FM2 BAY WINDOW	38 SF
FM3 BAY WINDOW	34 SF
GATHERING ROOM EXT.	157 SF
LOFT	894 SF
: _NON-CONDITIONED SPACE	
C1 FRONT PORCH	61 SF
C2 FRONT PORCH	61 SF
C3 FRONT PORCH	61 SF
C02A FRONT PORCH	61 SF
C02B FRONT PORCH	61 SF
C03 FRONT PORCH	61 SF
COVERED LANAI	210 SF
COVERED LANAI - EXTENDED (NON - POOL BATH)	370 SF
COVERED LANAI - EXTENDED (POOL BATH)	300 SF
COVERED LANAI W/ GATHERING ROOM EXT.	210 SF
COVERED LANAI W/ GATHERING ROOM EXT. W/ POOL BATH	140 SF
COVERED LANAI W/ POOL BATH	140 SF
FM1 FRONT PORCH	61 SF
FM2 FRONT PORCH	61 SF
FM3 FRONT PORCH	61 SF
GARAGE STANDARD	604 SF
GARAGE W/ 4' FRONT EXT.	679 SF

WIDTH & DEPTH		
	WIDTH	DEPTH
BASE HOUSE – FM1	54'-0"	72'-0"
ELEVATION FM2	0	0
ELEVATION FM3	0	0
ELEVATION C1	0	0
ELEVATION C2	0	0
ELEVATION C3	0	0
ELEVATION C02A	0	0
ELEVATION C02B	0	0
ELEVATION C03	0	0
LOFT W/BED & BATH	0	0
GARAGE 4'-0" EXT.	0	0

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Springs, Florida 34134 (239)495-4800 (770)381-3450



COVER SHEET

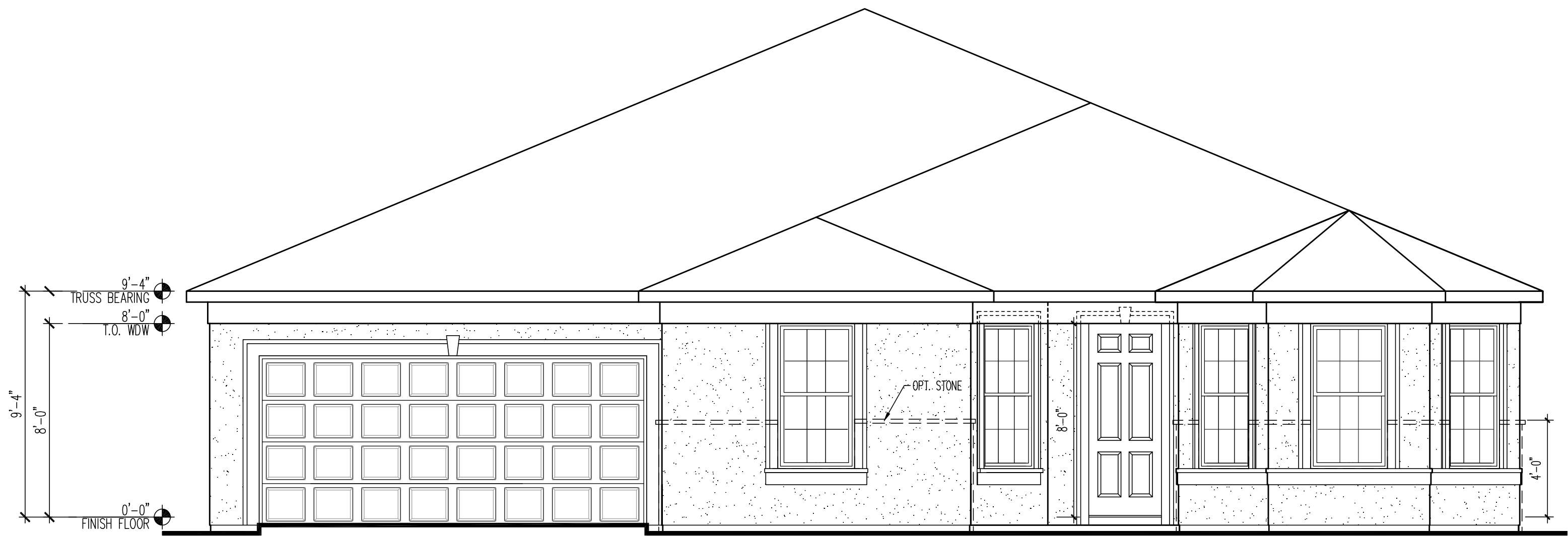
[illegible]

PROJECT TYPE
Single Family

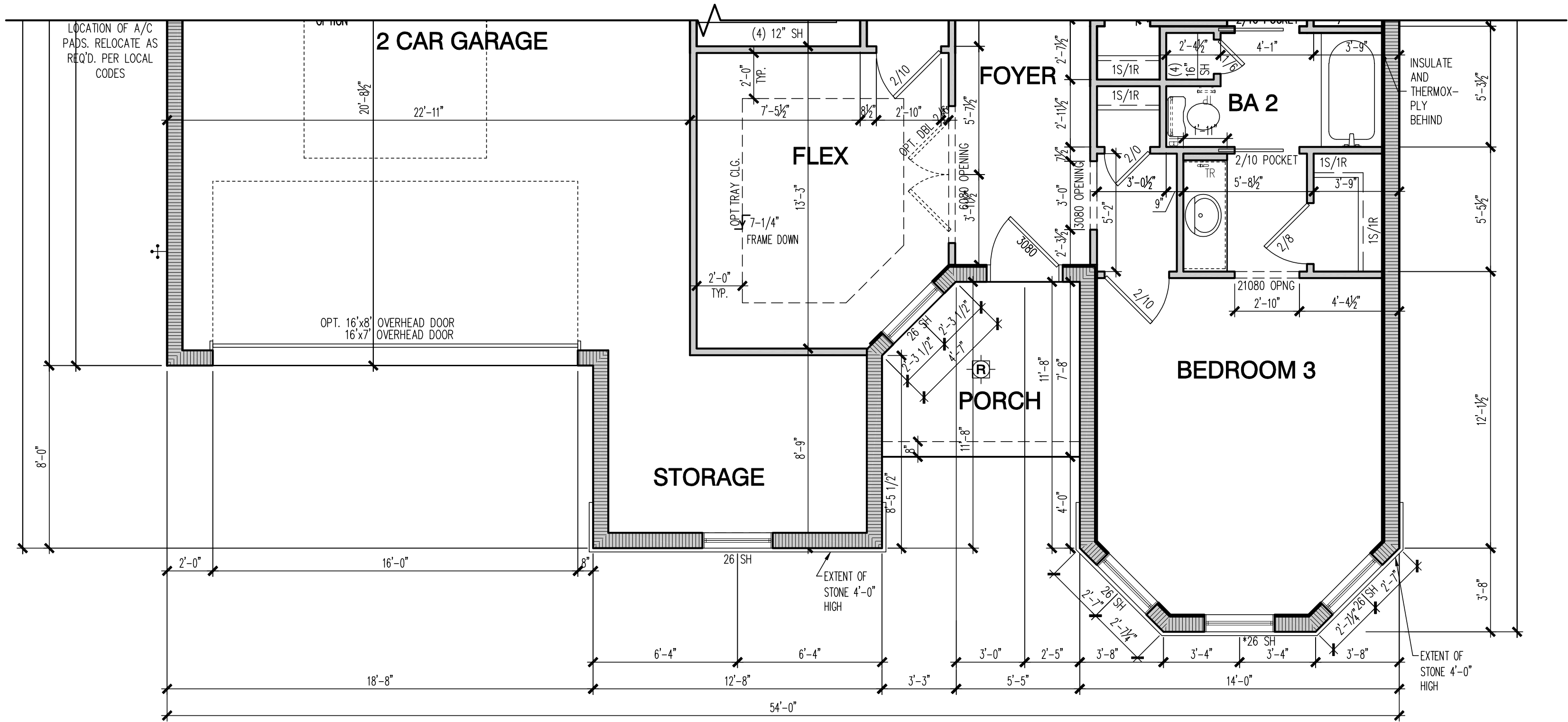
SPECIFICATION LEVEL
Pulte

PLAN NAME	Reverence
NPC NUMBER	2699.500

SHEET
G1.1

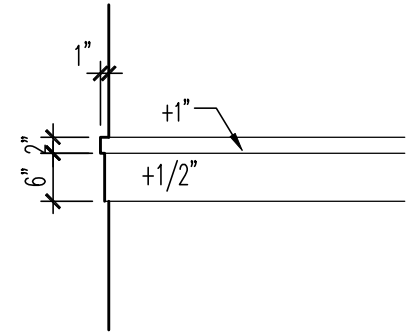


FRONT ELEVATION - "FM2"
 SCALE: 1/4"=1'-0"

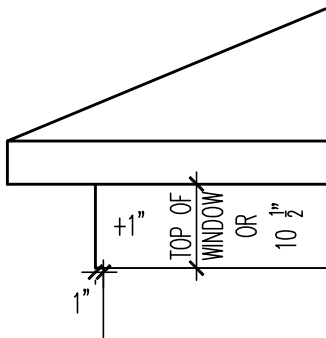


PARTIAL FIRST FLOOR PLAN - "FM2"
 SCALE: 1/4"=1'-0"

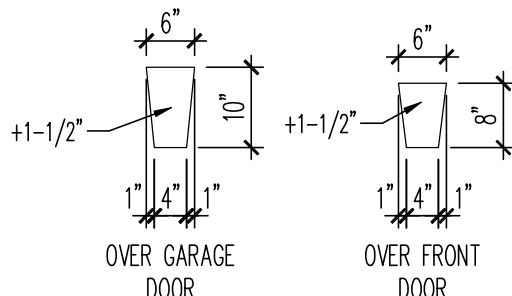
APPROVED ELEVATION



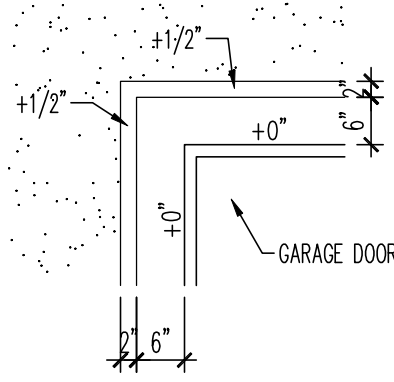
TYP. STUCCO BAND
 SCALE: 1/2" = 1'-0"



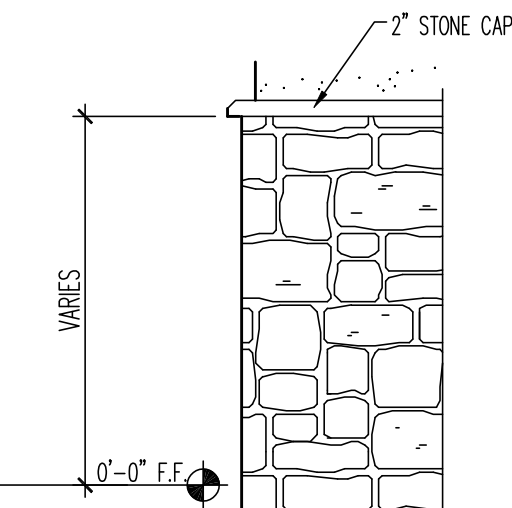
CMU FRIEZE BANDING DTL
 SCALE: 1/2" = 1'-0"



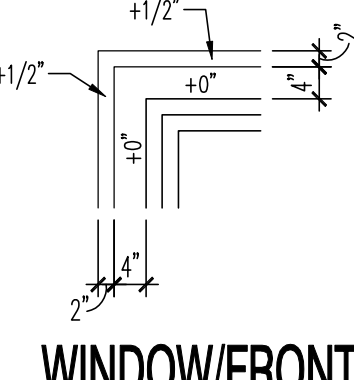
KEYSTONE DETAILS
 SCALE: 1/2" = 1'-0"



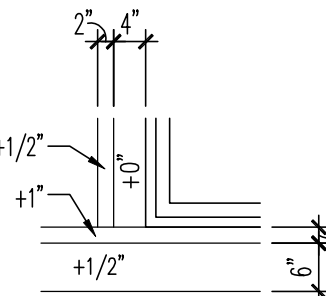
GARAGE TRIM DETAIL
 SCALE: 1/2" = 1'-0"



STONE DETAIL
 SCALE: 1/2" = 1'-0"



WINDOW/FRONT DOOR
 TRIM DETAIL
 SCALE: 1/2" = 1'-0"



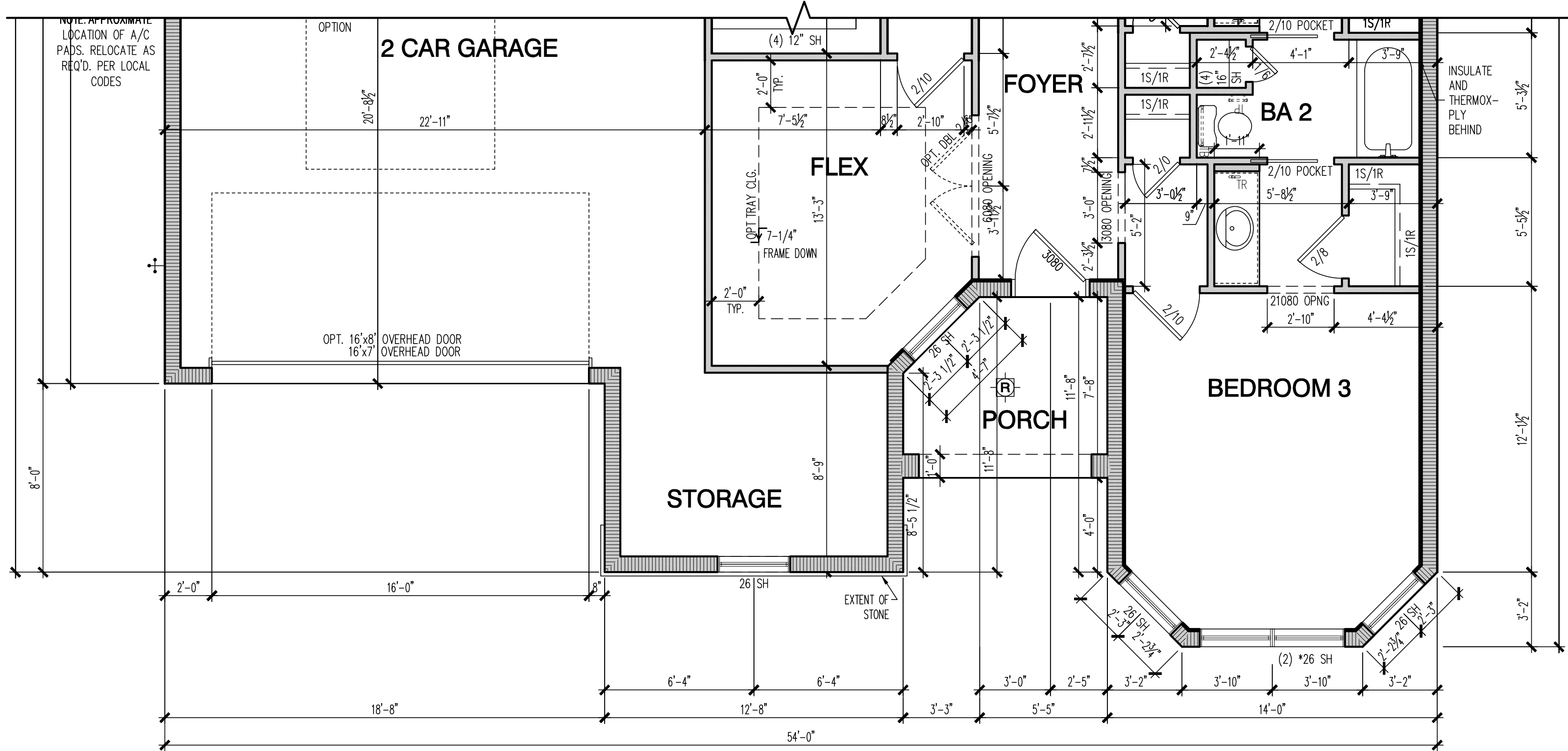
SILL DTL.
 SCALE: 1/2" = 1'-0"

PLOTTED: April 22, 2019 / B:\Miami\650 / A2.FM3 ELEVATION FM3.dwg



FRONT ELEVATION - "FM3"

SCALE: 1/4"=1'-0"



PARTIAL FIRST FLOOR PLAN - "FM3"

SCALE: 1/4"=1'-0"

APPROVED ELEVATION

TYP. STUCCO BAND

SCALE: 1/2" = 1'-0"

CMU FRIEZE BANDING DTL

SCALE: 1/2" = 1'-0"

KEYSTONE DETAILS

SCALE: 1/2" = 1'-0"

GARAGE TRIM DETAIL

SCALE: 1/2" = 1'-0"

STONE DETAIL

SCALE: 1/2" = 1'-0"

WINDOW/FRONT DOOR TRIM DETAIL

SCALE: 1/2" = 1'-0"

SILL DTL.

SCALE: 1/2" = 1'-0"

ENGAGED COLUMN DETAIL

SCALE: 1/2" = 1'-0"

Florida Zone
 24311 Walden Center Dr., Suite 300
 Bonita Springs, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION FM3
 ELEVATIONS

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

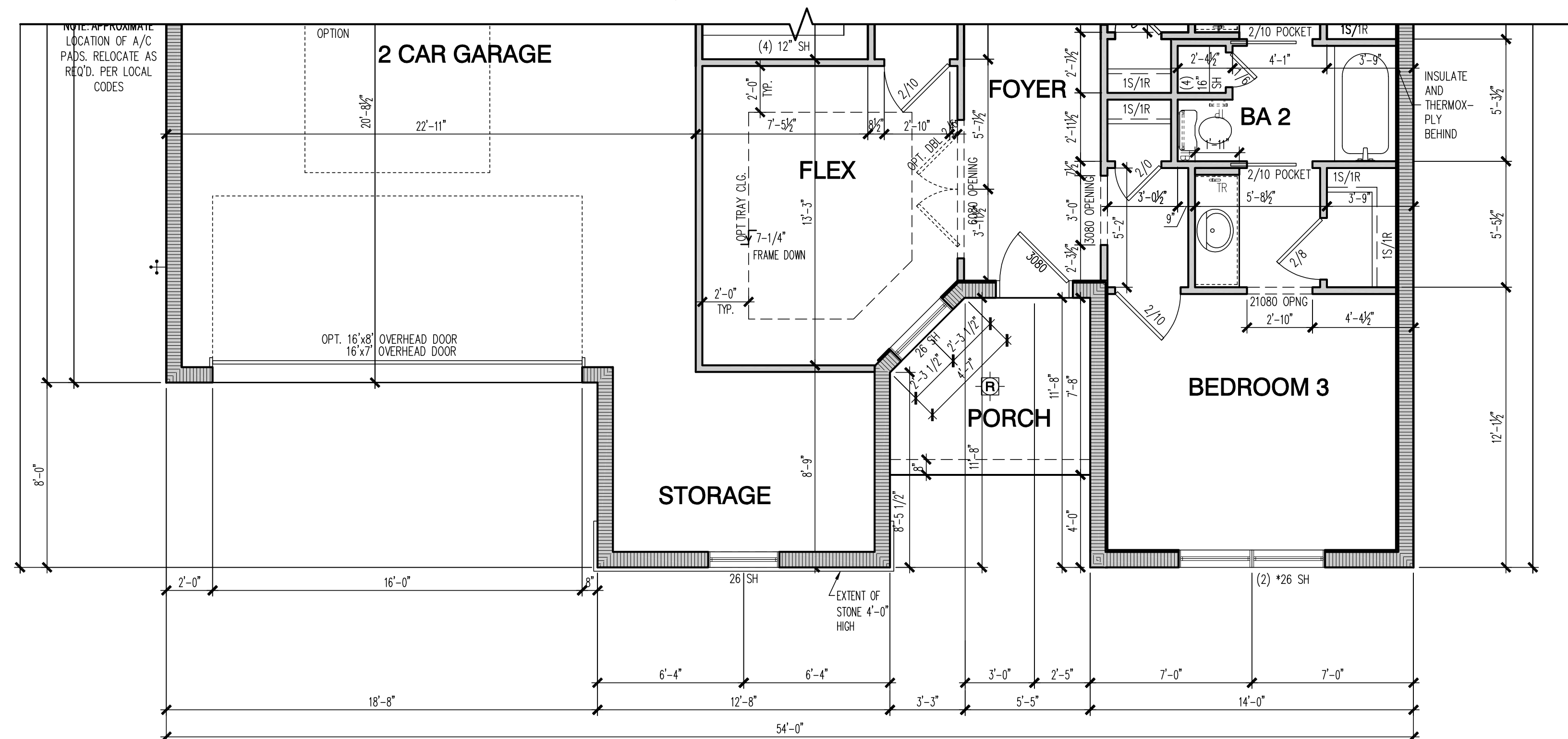
PLAN NAME
 Reverence
 NPC NUMBER
 2699.500

SHEET
 A2.1FM3

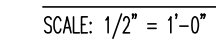
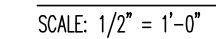
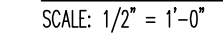
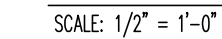
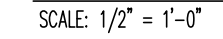
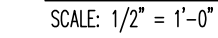
Architectural elevation drawing of a ranch-style house. The drawing includes the following details and dimensions:

- Roof:** Gabled roof with a 12:12 pitch. The main roof is labeled "SHAKE SIDING PER SPEC". The smaller gable over the entrance is labeled "6" LAP SIDING PER SPEC".
- Left Section:** A large two-car garage with a grid of windows. Dimensions on the left indicate a height of 9'-4" to the truss bearing, 8'-0" to the top of the window (T.O. WDW), and 0'-0" to the finish floor.
- Central Section:** Features a single window above the entrance door. The area between the window and the door is labeled "OPT. STONE". The door is 8'-0" high. The window above the door is 4'-0" high.
- Right Section:** A gabled section with a double window. The gable height is 1'-4".

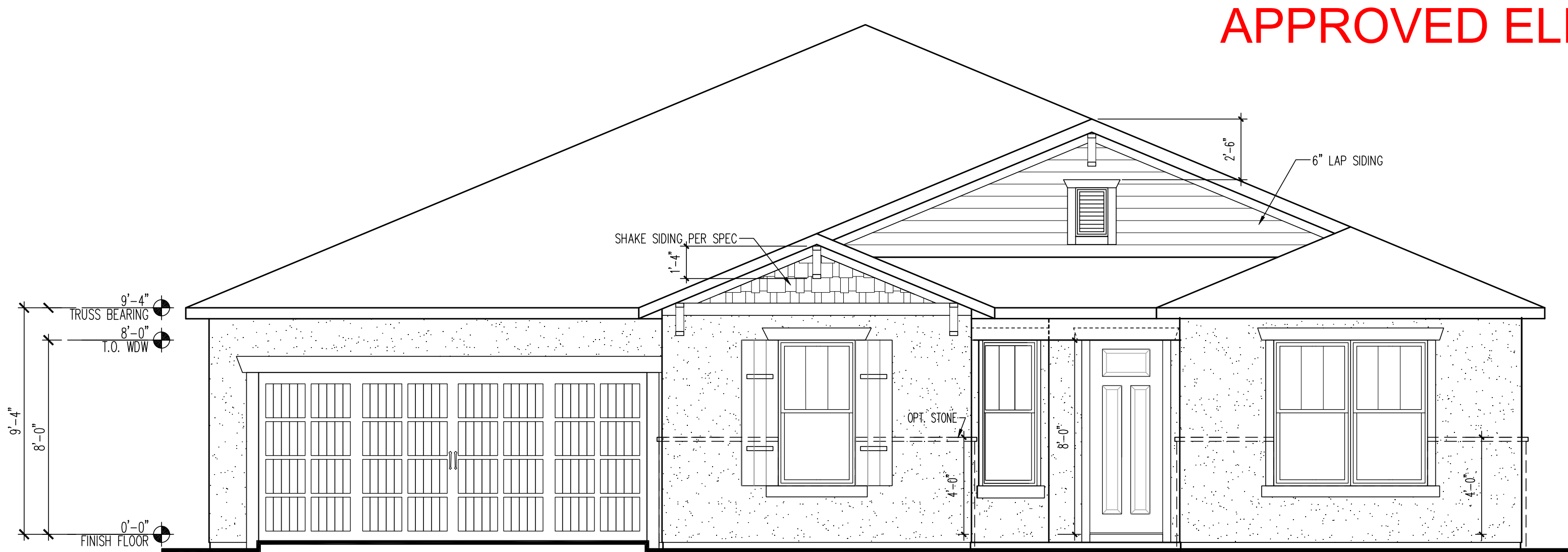
SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

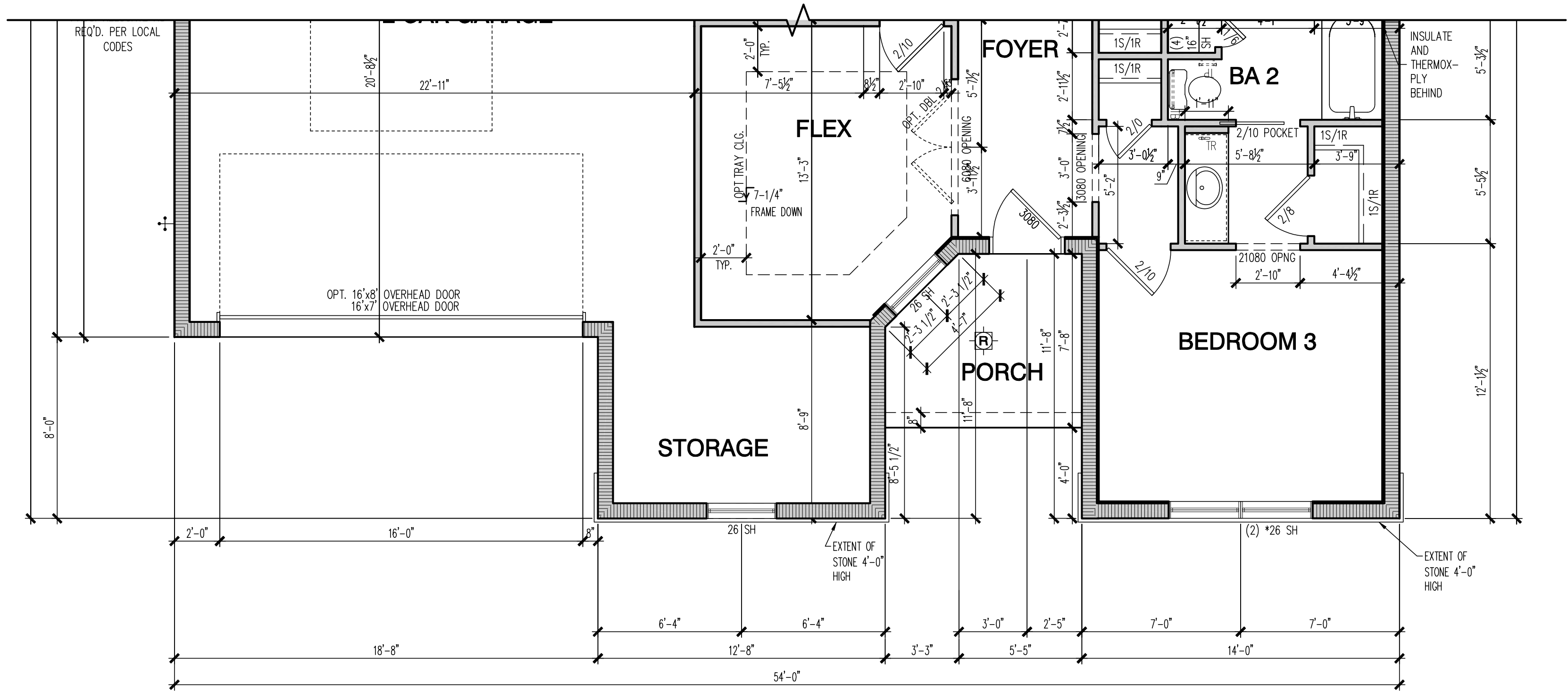


PLOTTED: April 22, 2019 / B:\Miami\650 / A2.1C2 ELEVATION C2.dwg



FRONT ELEVATION - C2

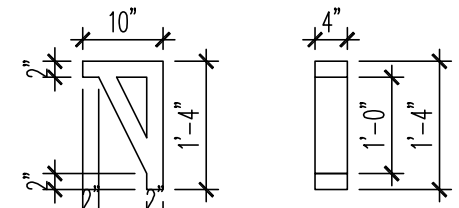
SCALE: 1/4"=1'-0"



PARTIAL FIRST FLOOR PLAN - C2

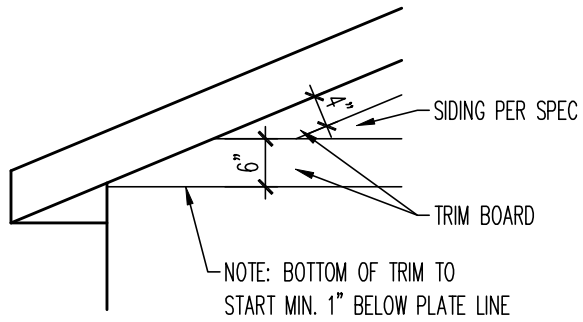
SCALE: 1/4"=1'-0"

APPROVED ELEVATION



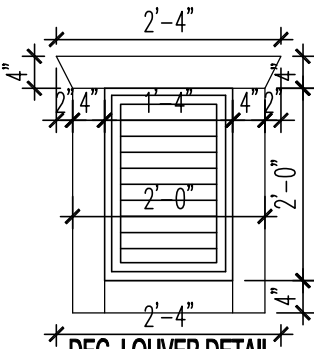
BRACKET DETAIL

SCALE: 1/2" = 1'-0"



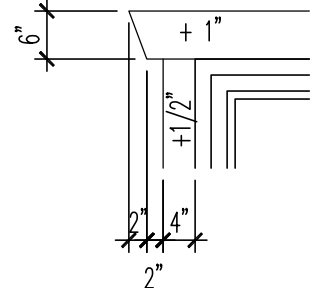
CMU RAKE DETAIL

SCALE: 1/2" = 1'-0"



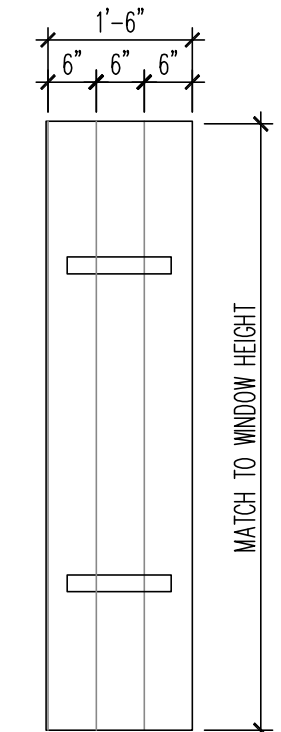
DEC. LOUVER DETAIL

SCALE: 1/2" = 1'-0"



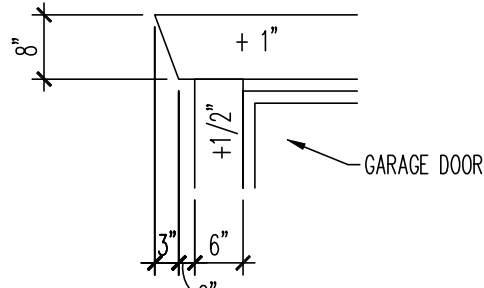
CMU HEADER DTL.

SCALE: 1/2" = 1'-0"



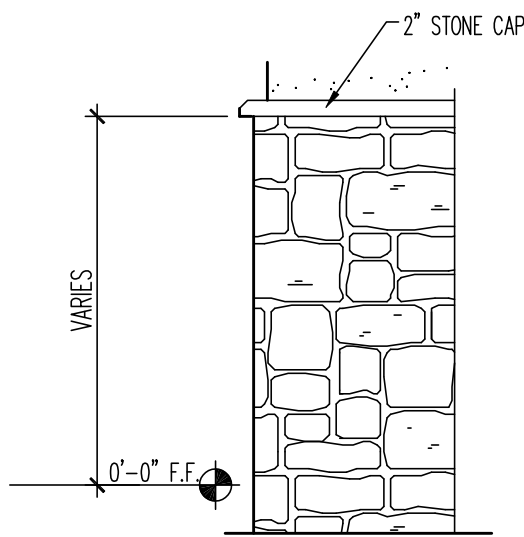
SHUTTER DETAIL

SCALE: 1/2" = 1'-0"



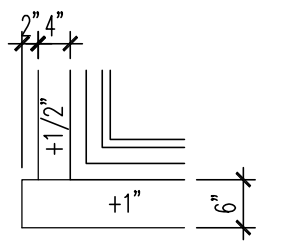
GARAGE DETAIL

SCALE: 1/2" = 1'-0"



STONE DETAIL

SCALE: 1/2" = 1'-0"



CMU SILL DETAIL

SCALE: 1/2" = 1'-0"

Florida Zone
 24311 Walden Center Dr., Suite 300
 Bonita Springs, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION C2
 ELEVATIONS

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

PLAN NAME
 Reverence
 NPC NUMBER
 2699.500

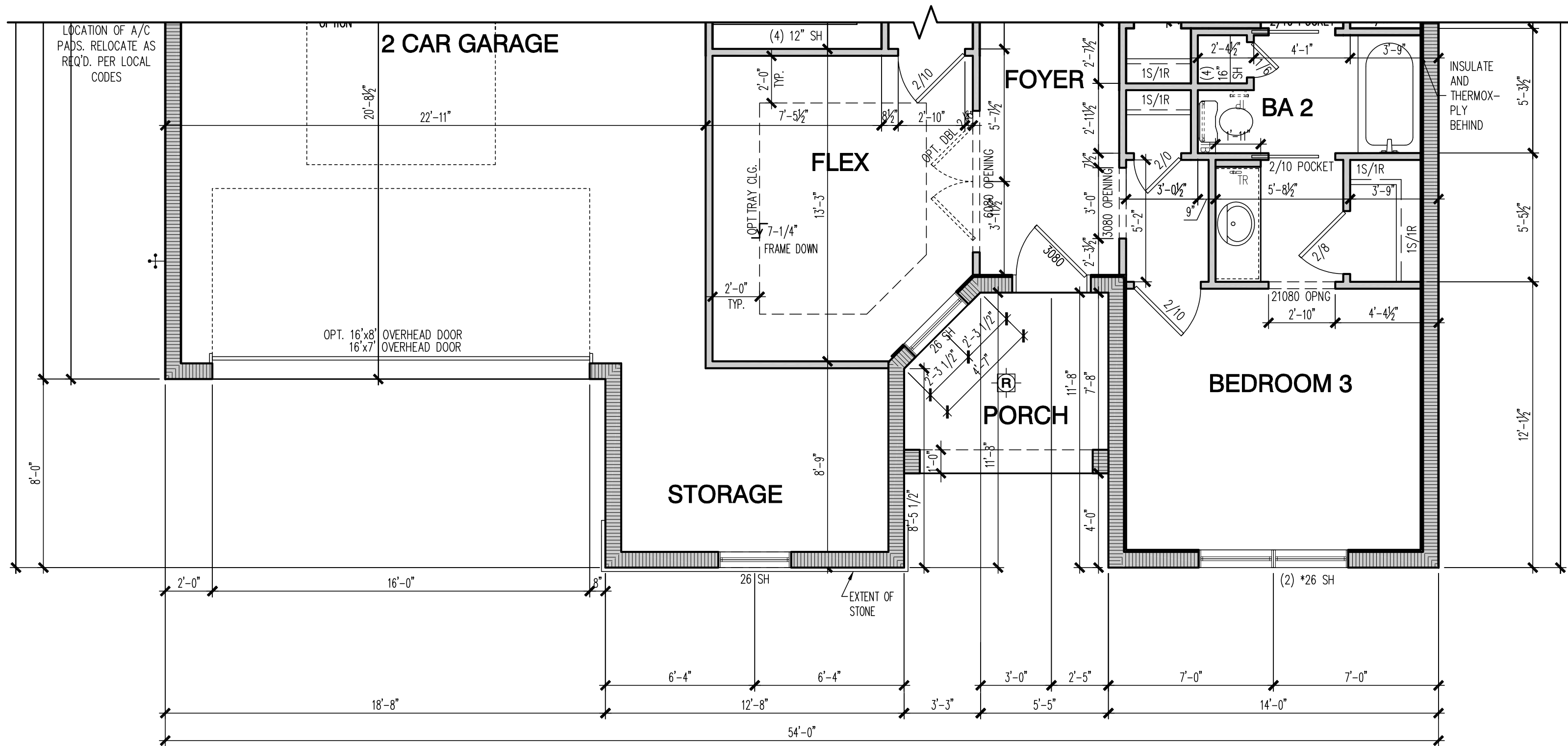
SHEET
 A2.1C2

PLOTTED: April 22, 2019 / B:\In-Progress\A21C3 ELEVATION C3.dwg



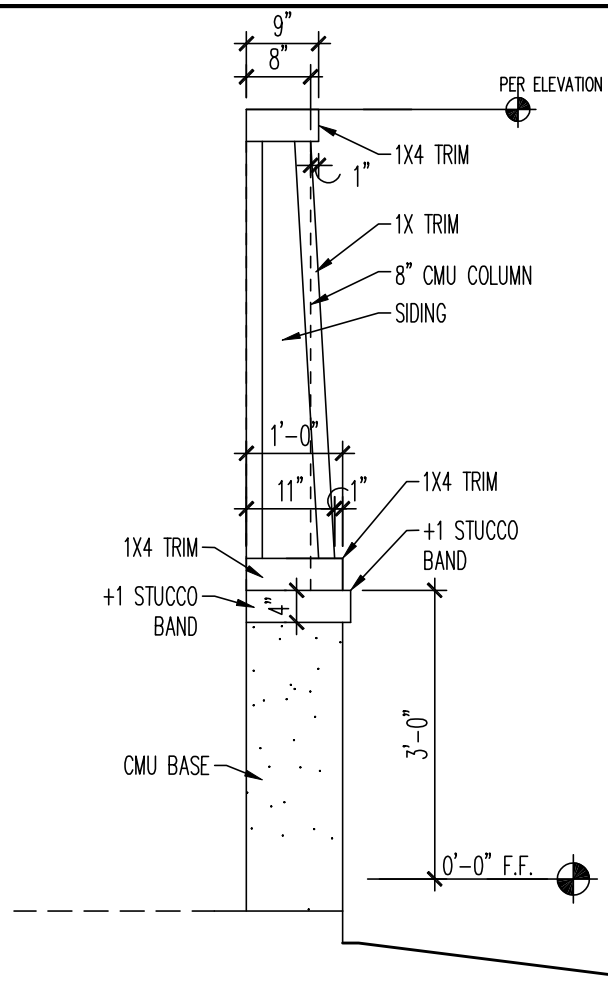
FRONT ELEVATION - C3

SCALE: 1/4"=1'-0"



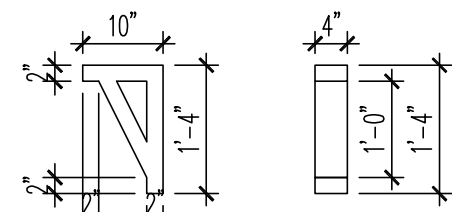
PARTIAL FIRST FLOOR PLAN - C3

SCALE: 1/4"=1'-0"



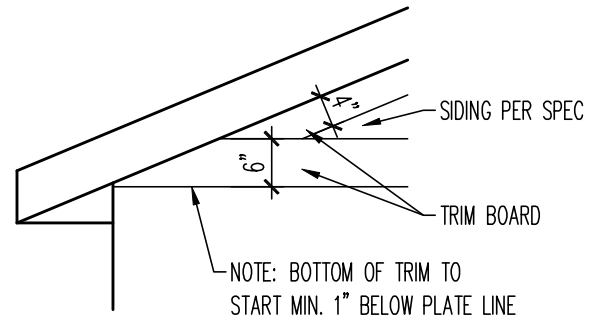
ENGAGED COLUMN DETAIL

SCALE: 1/2" = 1'-0"



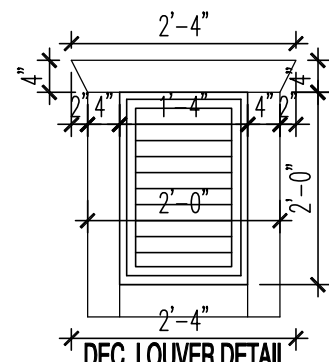
BRACKET DETAIL

SCALE: 1/2" = 1'-0"



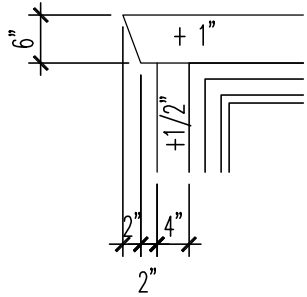
CMU RAKE DETAIL

SCALE: 1/2" = 1'-0"



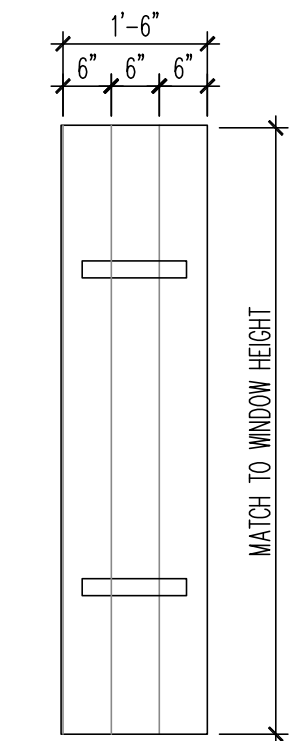
DEC. LOUVER DETAIL

SCALE: 1/2" = 1'-0"



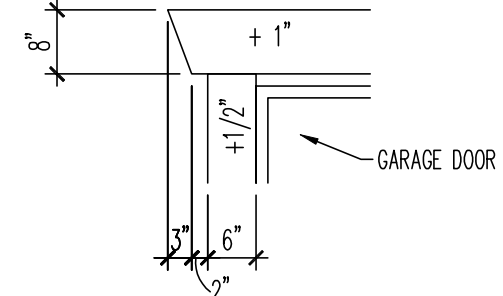
CMU HEADER DTL.

SCALE: 1/2" = 1'-0"



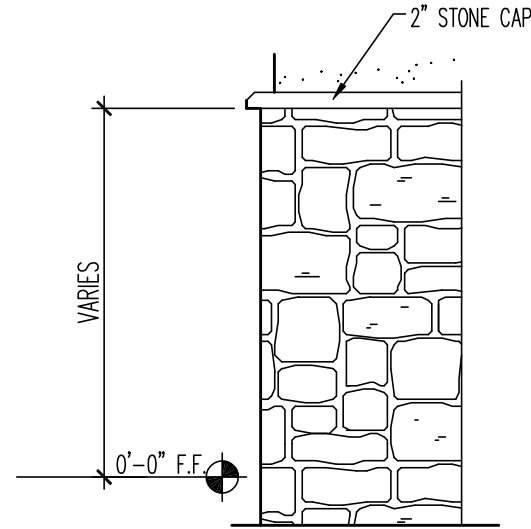
SHUTTER DETAIL

SCALE: 1/2" = 1'-0"



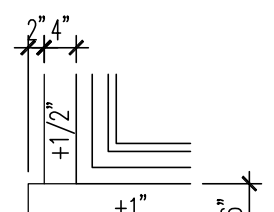
GARAGE DETAIL

SCALE: 1/2" = 1'-0"



STONE DETAIL

SCALE: 1/2" = 1'-0"



CMU SILL DETAIL

SCALE: 1/2" = 1'-0"

COPYRIGHT: 2016 PZ

Florida Zone
 24311 Walden Center Dr., Suite 300
 Bonita Springs, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION C3
 ELEVATIONS

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

PLAN NAME
 Reverence
 NPC NUMBER
 2699.500

SHEET
 A21C3

Stardom

CONTROL DATE
03/30/2018

PRODUCT ACTION REQUEST / REVISION TRACKING

[illegible]

DRAWING INDEX

Sheet List Table	
Sheet Number	Sheet Title
G1.1	COVER SHEET – CMU
GN	General Notes – CMU
G1.2	ARCHITECTURAL PLAN HISTORY – CMU
G2.1	FIRST FLOOR PLAN – CMU
G02.1	FLOOR PLAN OPTIONS – CMU
G3.1	FIRST FLOOR PLAN – CMU
G4.1	FIRST FLOOR PLAN – CMU
A1.1	FIRST FLOOR PLAN – CMU
A01.1	FLOOR PLAN OPTIONS – CMU
A01.2	FLOOR PLAN OPTIONS– CMU
A01.3	FLOOR PLAN OPTIONS– CMU
A2.1FM1	ELEVATION FM1 – CMU
A2.12FM1	ELEVATION FM1 – CMU
A2.1FM1-R	ELEVATION FM1-R – 1008 PLATE HEIGHT – CMU
A2.12FM1-R	ELEVATION FM1-R – 1008 PLATE HEIGHT – CMU
A2.1FM2	ELEVATION FM2 – CMU
A2.12FM2	ELEVATION FM2 – CMU
A2.1FM2-R	ELEVATION FM2-R – 1008 PLATE HEIGHT – CMU
A2.12FM2-R	ELEVATION FM2-R – 1008 PLATE HEIGHT – CMU
A2.1FM3	ELEVATION FM3 – CMU
A2.12FM3	ELEVATION FM3 – CMU
A2.1FM3-R	ELEVATION FM3-R – 1008 PLATE HEIGHT – CMU
A2.12FM3-R	ELEVATION FM3-R – 1008 PLATE HEIGHT – CMU
A2.1C1	ELEVATION C1 – CMU
A2.12C1	ELEVATION C1 – CMU
A2.1C1-R	ELEVATION C1-R – 1008 PLATE HEIGHT – CMU
A2.12C1-R	ELEVATION C1-R – 1008 PLATE HEIGHT – CMU
A2.1C2	ELEVATION C2 – CMU
A2.12C2	ELEVATION C2 – CMU
A2.1C2-R	ELEVATION C2-R – 1008 PLATE HEIGHT – CMU
A2.12C2-R	ELEVATION C2-R – 1008 PLATE HEIGHT – CMU
A2.1C3	ELEVATION C3 – CMU
A2.12C3	ELEVATION C3 – CMU
A2.1C3-R	ELEVATION C3-R – 1008 PLATE HEIGHT – CMU
A2.12C3-R	ELEVATION C3-R – 1008 PLATE HEIGHT – CMU
A2.1C02A	ELEVATION C02A – CMU
A2.12C02A	ELEVATION C02A – CMU
A2.1C02A-R	ELEVATION C02A-R – 1008 PLATE HEIGHT – CMU
A2.12C02A-R	ELEVATION C02A-R – 1008 PLATE HEIGHT – CMU
A2.1C02B	ELEVATION C02B – CMU
A2.12C02B	ELEVATION C02B – CMU
A2.1C02B-R	ELEVATION C02B-R – 1008 PLATE HEIGHT – CMU
A2.12C02B-R	ELEVATION C02B-R – 1008 PLATE HEIGHT – CMU
A2.1C03	ELEVATION C03 – CMU
A2.12C03	ELEVATION C03 – CMU
A2.1C03-R	ELEVATION C03-R – 1008 PLATE HEIGHT – CMU
A2.12C03-R	ELEVATION C03-R – 1008 PLATE HEIGHT – CMU
E1.1	FIRST FLOOR PLAN – CMU
E01.1	FLOOR PLAN OPTIONS – CMU
E2.1	FIRST FLOOR PLAN – CMU
E02.1	FLOOR PLAN OPTIONS – CMU
P1.1	FIRST FLOOR PLAN – CMU
P01.1	FLOOR PLAN OPTIONS – CMU

GENERAL NOTES

- THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:

- FLORIDA BUILDING CODE 6TH EDITION (2017) RESIDENTIAL
- 2014 NATIONAL ELECTRIC CODE
- BUILDING TYPE: VB

SQUARE FOOTAGES

BASE PLAN AND MASTER SET AREA TABLE	
Description	Area
: <u>CONDITIONED SPACE</u>	
CMU-BASE PLAN	2269 SF
:CONDITIONED SPACE - ADDITIONAL (ADDED TO BASE)	
CMU-C2 BAY WINDOW	20 SF
CMU-FM2 BAY WINDOW	36 SF
CMU-FM3 BAY WINDOW	32 SF
CMU-POOL BATH	56 SF
: <u>NON-CONDITIONED SPACE</u>	
CMU-COVERED LANAI	240 SF
CMU-COVERED LANAI W/ POOL BATH	184 SF
CMU-FRONT PORCH ELEVATION C1	31 SF
CMU-FRONT PORCH ELEVATION C2	31 SF
CMU-FRONT PORCH ELEVATION C3	166 SF
CMU-FRONT PORCH ELEVATION C3-3 CAR GARAGE	160 SF
CMU-FRONT PORCH ELEVATION C02A	31 SF
CMU-FRONT PORCH ELEVATION C02B	31 SF
CMU-FRONT PORCH ELEVATION C03	164 SF
CMU-FRONT PORCH ELEVATION C03-3 CAR GARAGE	160 SF
CMU-FRONT PORCH ELEVATION FM1	29 SF
CMU-FRONT PORCH ELEVATION FM2	31 SF
CMU-FRONT PORCH ELEVATION FM3	31 SF
CMU-GARAGE- 2 CAR	611 SF
CMU-GARAGE-2 CAR W/ 4' EXT	696 SF
CMU-GARAGE-3 CAR	693 SF

WIDTH & DEPTH

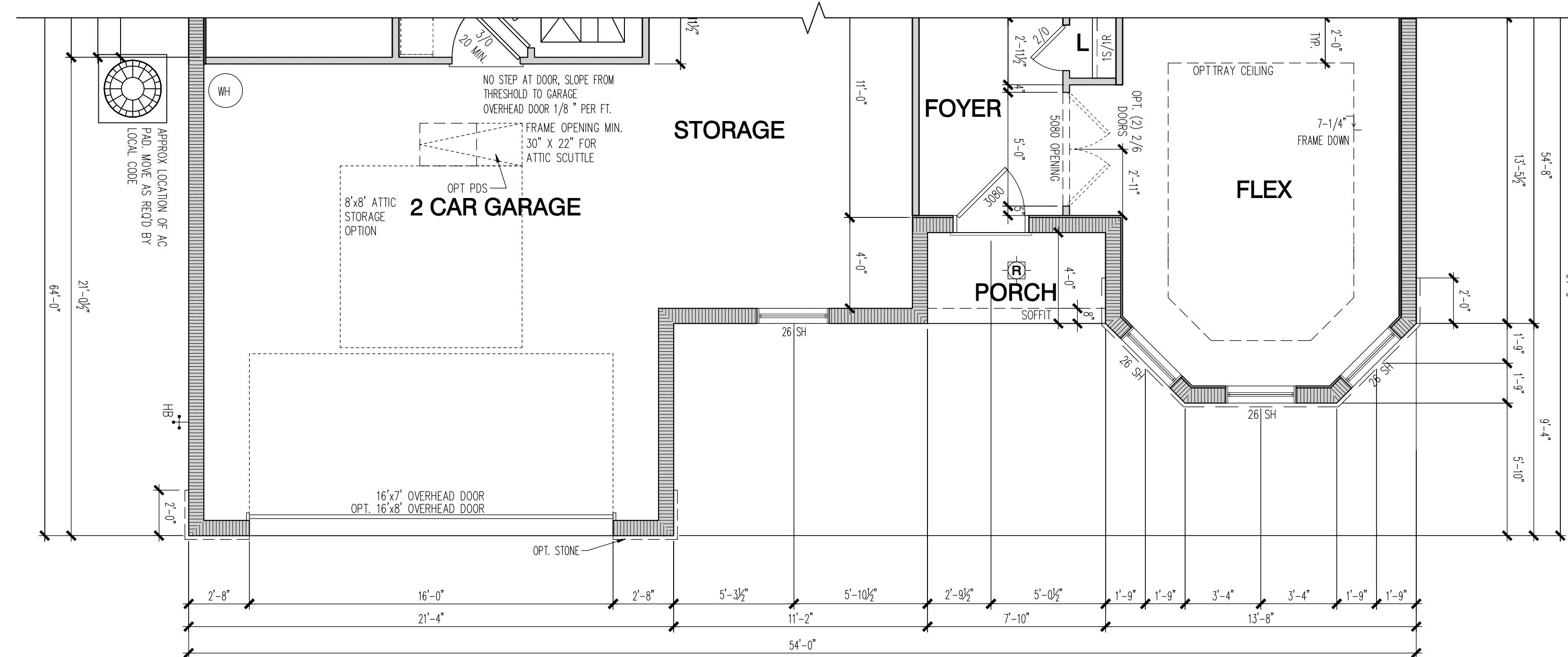
WIDTH & DEPTH		
	WIDTH	DEPTH
CMU-BASE HOUSE - FM1	54'-0"	64'-0"
CMU-ELEVATION FM2	0	0
CMU-ELEVATION FM3	0	0
CMU-ELEVATION C1	0	0
CMU-ELEVATION C2	0	0
CMU-ELEVATION C3	0	0
CMU-ELEVATION C02A	0	0
CMU-ELEVATION C02B	0	0
CMU-ELEVATION C03	0	0
CMU-GARAGE 4'-0" EXT.	0	+ 4'-0"

Architectural elevation drawing of a house. The drawing includes the following dimensions and features:

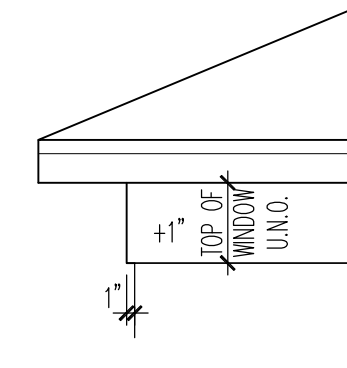
- Roof:** Gabled roof with a peak height of 9'-4" from the finished floor to the truss bearing.
- Windows:**
 - Left side: A large multi-pane garage door.
 - Center: A single window with a height of 8'-0" from the finished floor to the window header.
 - Right side: A three-pane window with a height of 8'-0" from the finished floor to the top of the panes.
- Door:** A central front door with a height of 8'-0" from the finished floor to the top of the door frame.
- Other Features:**
 - Truss bearing: 9'-4" from the finished floor.
 - Window header: 8'-0" from the finished floor.
 - Opt. stone: A decorative element on the left side of the garage door.
 - Finished floor: 0'-0" from the finished floor.

A red "APPROVED" stamp is visible in the top right corner of the drawing.

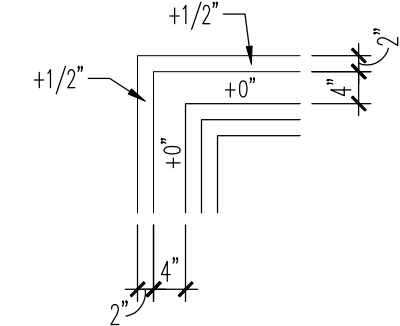
SCALE: 1/4"=1'-0"



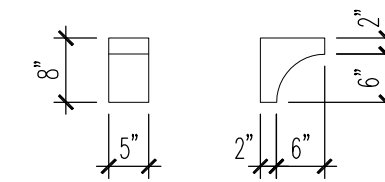
SCALE: $1/4"=1'-0"$



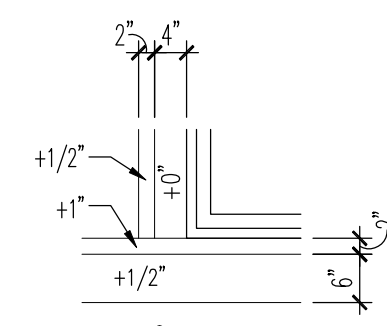
SCALE: $1/2" = 1'-0"$



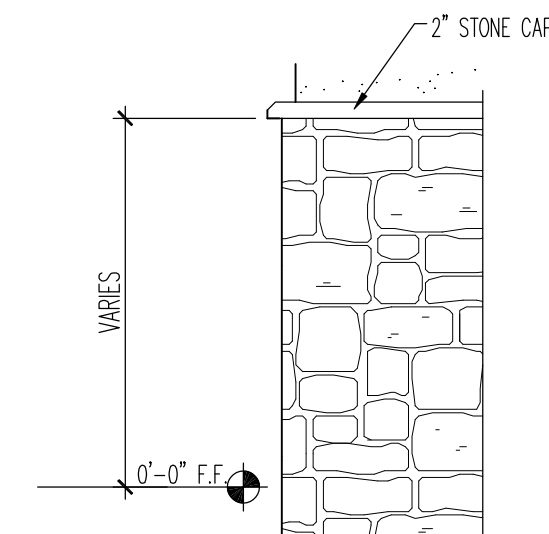
TRIM DETAIL



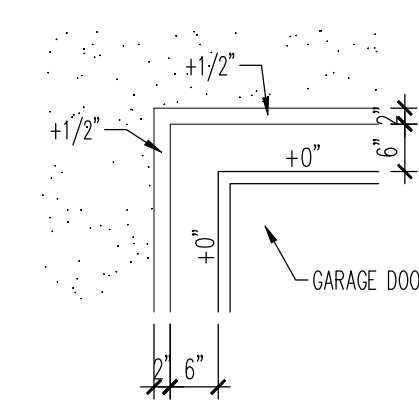
SCALE: $1/2'' = 1'-0''$



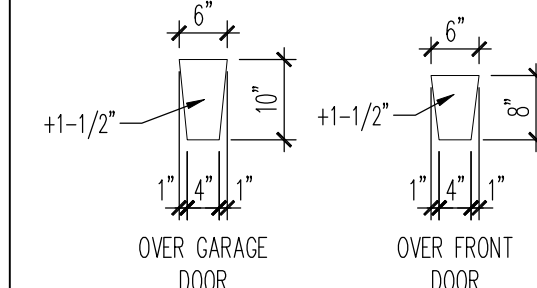
SCALE: $1/2'' = 1'-0''$



SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"



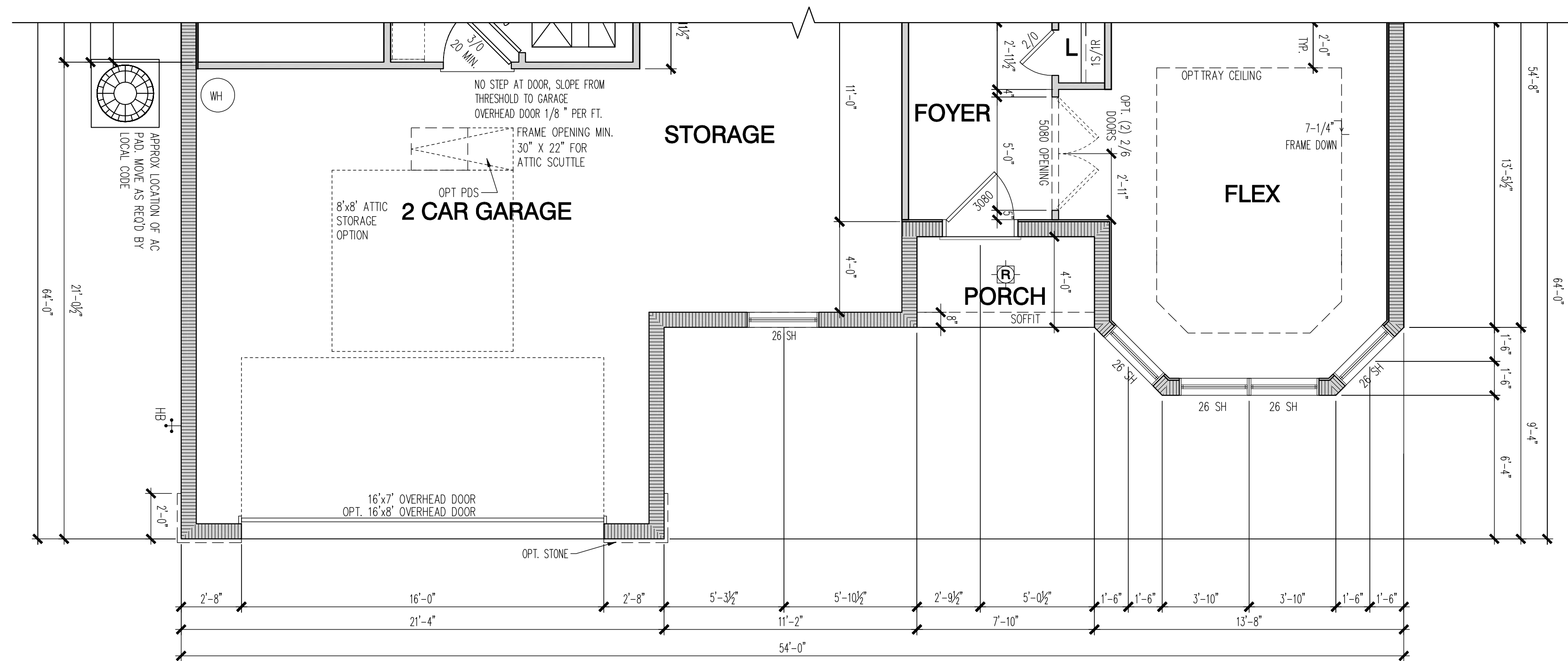
SCALE: 1/2" = 1'-0"

Architectural elevation drawing of a house. The drawing includes the following dimensions and features:

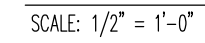
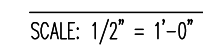
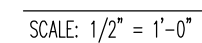
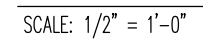
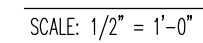
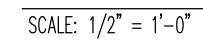
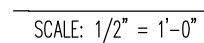
- Overall Height:** 13'-4" BEARING
- Truss Bearing:** 9'-4"
- Window Header Height:** 8'-0"
- Finished Floor:** 0'-0"
- Garage Door:** 8'-0" wide, 7'-4" high. Options include: +2 W/OPT. STONE, +2.5 W/OPT. STONE, +2 W/OPT. STONE, and OPT. STONE.
- Central Window:** 8'-0" wide, 7'-4" high.
- Front Door:** 7'-4" wide, 8'-0" high.
- Bay Window:** 8'-0" wide, 7'-4" high.
- Roof Pitch:** 2'-5" and 2'-6" (TYP.)
- Roof Ridge:** 8" (TYP.)

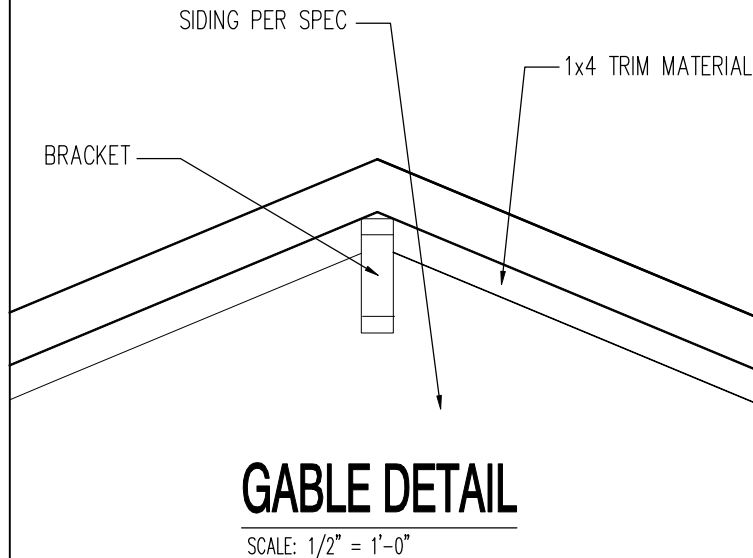
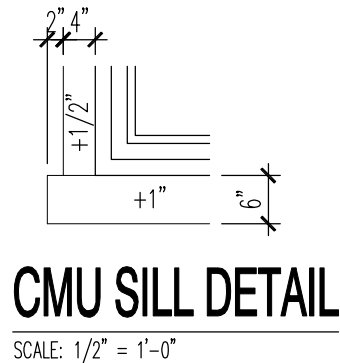
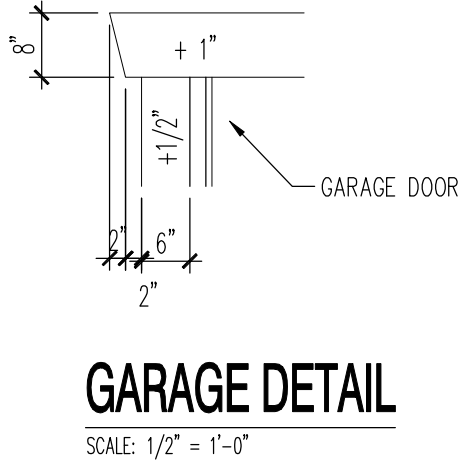
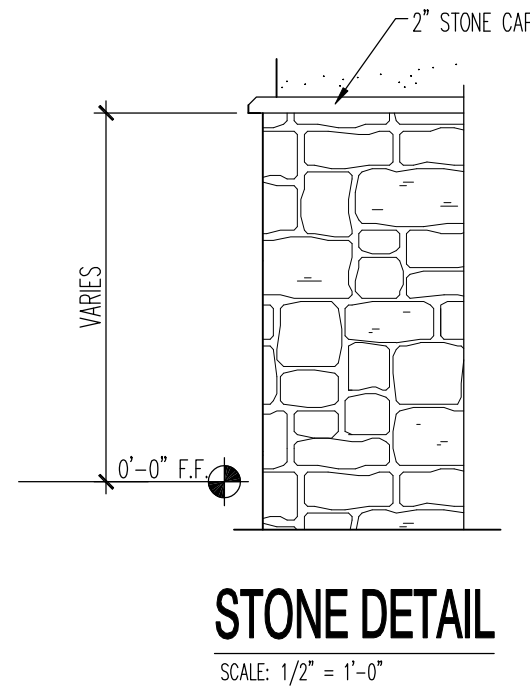
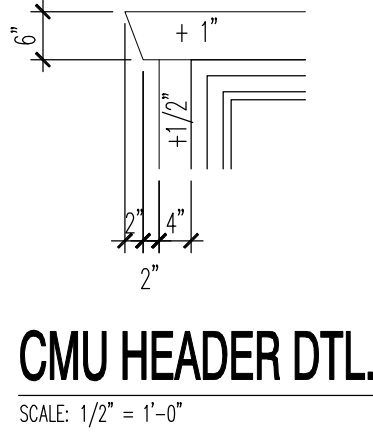
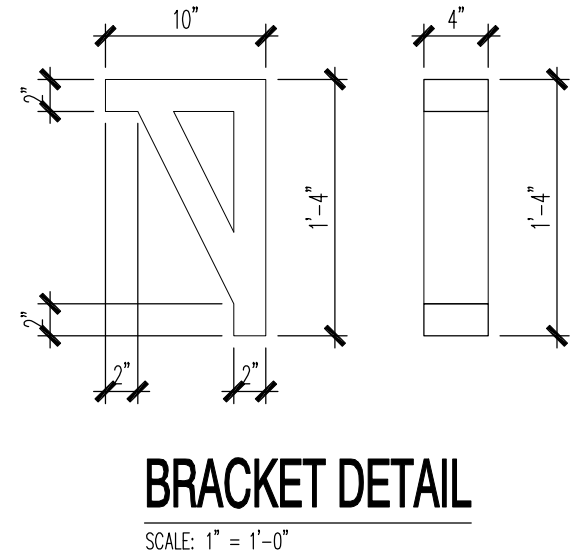
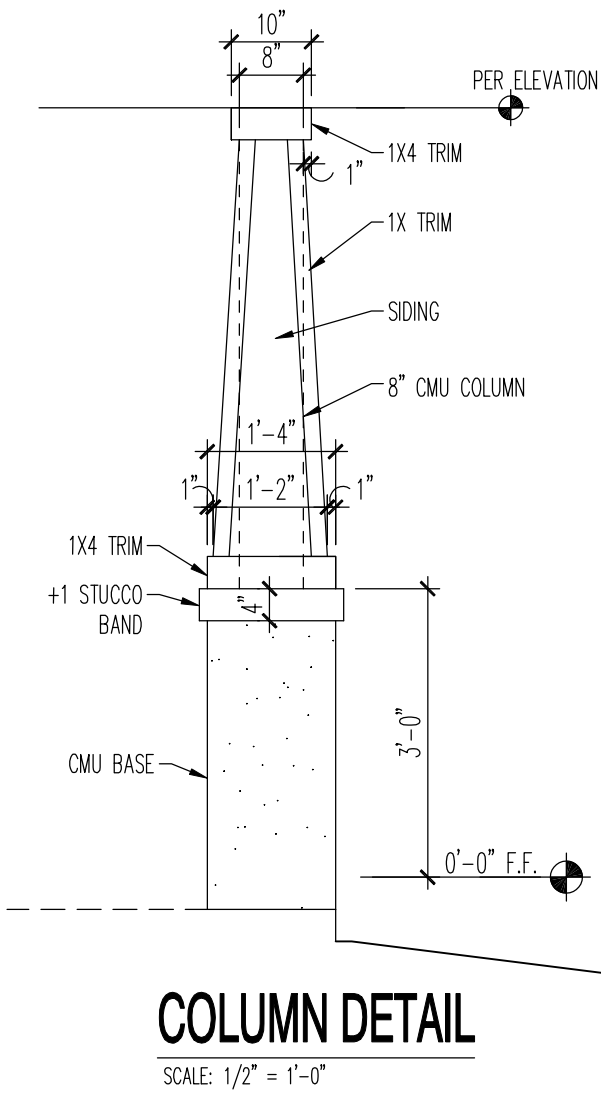
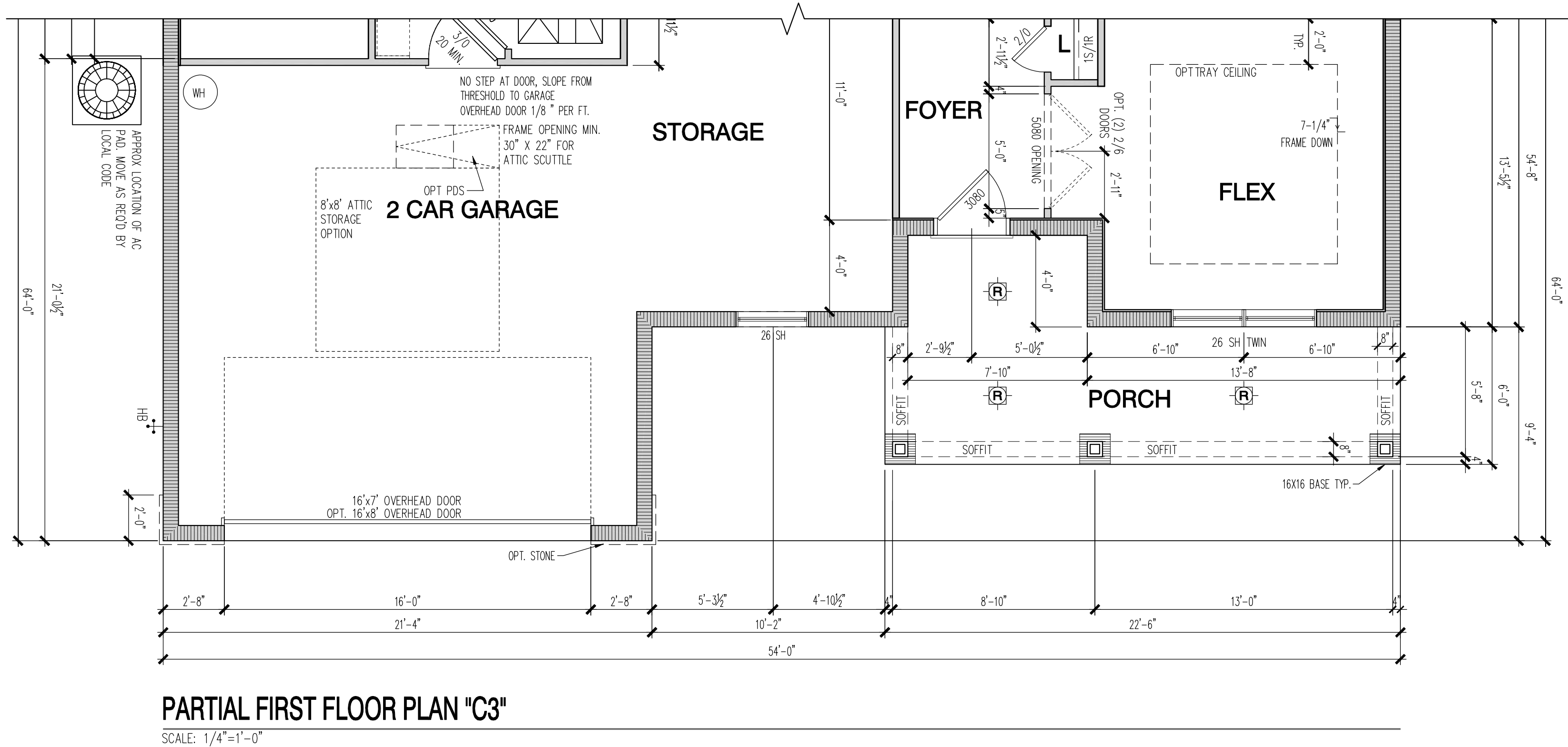
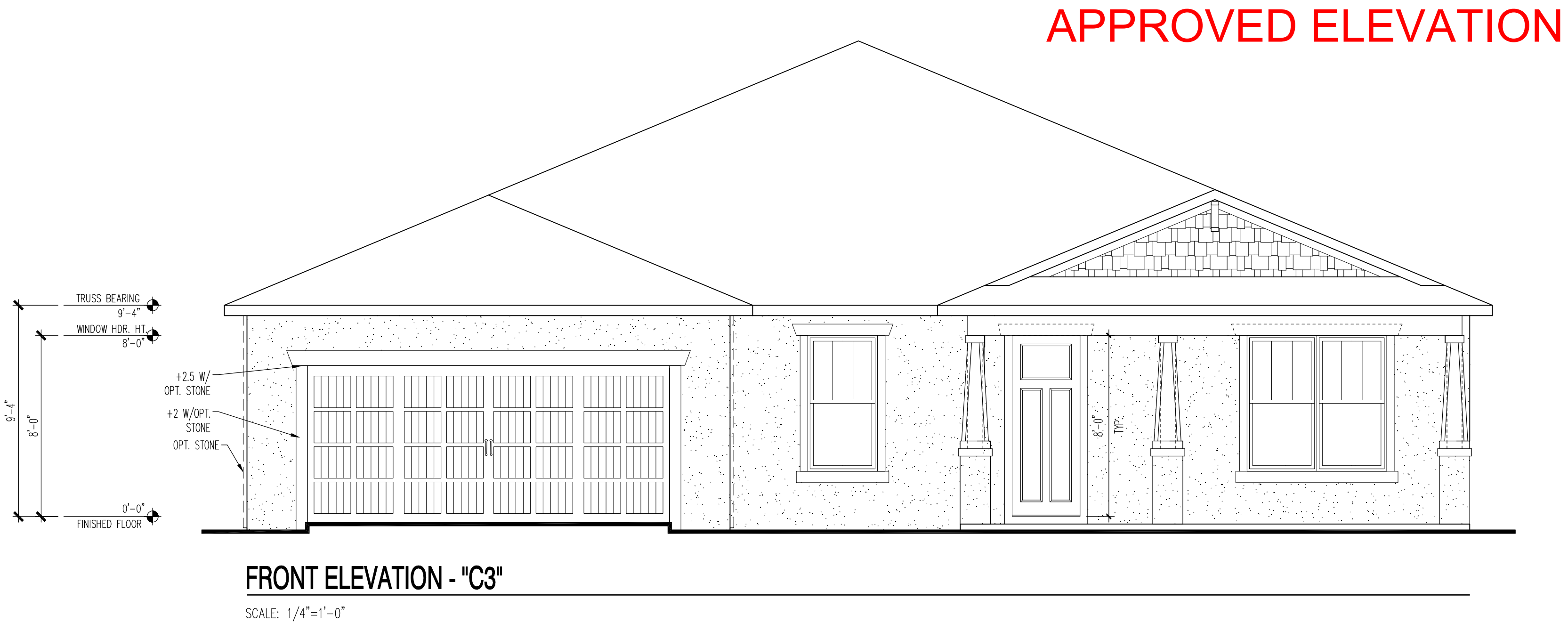
A red "APPROVED" stamp is visible in the top right corner.

SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"





PRODUCT MANAGER	
INITIAL RELEASE	DATE: 3/30/2018
REV#	DATE/DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

STELLAR

CONTROL DATE	01/24/2018
--------------	------------

PRODUCT ACTION REQUEST / REVISION TRACKING

[illegible]

DRAWING INDEX

Sheet List Table	
Sheet Number	Sheet Title
G1.1	COVER SHEET - CMU
GN	General Notes - CMU
G1.2	ARCHITECTURAL PLAN HISTORY - CMU
G2.1	FIRST FLOOR PLAN - CMU
G2.2	SECOND FLOOR PLAN - CMU
G02.1	FLOOR PLAN OPTIONS - CMU
G3.1	FIRST FLOOR PLAN - CMU
G3.2	SECOND FLOOR PLAN - CMU
G4.1	FIRST FLOOR PLAN - CMU
G4.2	SECOND FLOOR PLAN - CMU
A1.1	FIRST FLOOR PLAN - CMU
A1.2	SECOND FLOOR PLAN - CMU
A01.1	FLOOR PLAN OPTIONS - CMU
A01.12	FLOOR PLAN OPTIONS - CMU
A01.2	FLOOR PLAN OPTIONS - CMU
A01.3	FLOOR PLAN OPTIONS - CMU
A2.2FM1	ELEVATION FM1 - GOLF CART - CMU
A2.21FM1	ELEVATION FM1 - GOLF CART - CMU
A2.2FM1-R	ELEVATION FM1-R - GOLF CART - CMU
A2.21FM1-R	ELEVATION FM1-R - GOLF CART - CMU
A2.2FM1-L	ELEVATION FM1-L-GOLF CART - CMU
A2.21FM1-L	ELEVATION FM1-L-GOLF CART - CMU
A2.2FM2	ELEVATION FM2 - GOLF CART - CMU
A2.21FM2	ELEVATION FM2 - GOLF CART - CMU
A2.2FM2-R	ELEVATION FM2-R - GOLF CART - CMU
A2.21FM2-R	ELEVATION FM2-R - GOLF CART - CMU
A2.2FM2-L	ELEVATION FM2-L-GOLF CART - CMU
A2.21FM2-L	ELEVATION FM2-L-GOLF CART - CMU
A2.2FM3	ELEVATION FM3 - GOLF CART - CMU
A2.21FM3	ELEVATION FM3 - GOLF CART - CMU
A2.2FM3-R	ELEVATION FM3-R - GOLF CART - CMU
A2.21FM3-R	ELEVATION FM3-R - GOLF CART - CMU
A2.2FM3-L	ELEVATION FM3-L-GOLF CART - CMU
A2.21FM3-L	ELEVATION FM3-L-GOLF CART - CMU
A2.2C1	ELEVATION C1 - GOLF CART - CMU
A2.21C1	ELEVATION C1 - GOLF CART - CMU
A2.2C1-R	ELEVATION C1-R - GOLF CART - CMU
A2.21C1-R	ELEVATION C1-R - GOLF CART - CMU
A2.2C1-L	ELEVATION C1-L - GOLF CART - CMU
A2.21C1-L	ELEVATION C1-L-GOLF CART - CMU
A2.2C2	ELEVATION C2 - GOLF CART - CMU
A2.21C2	ELEVATION C2 - GOLF CART - CMU
A2.2C2-R	ELEVATION C2-R - GOLF CART - CMU
A2.21C2-R	ELEVATION C2-R - GOLF CART - CMU
A2.2C2-L	ELEVATION C2-L-GOLF CART - CMU
A2.21C2-L	ELEVATION C2-L-GOLF CART - CMU
A2.2C3	ELEVATION C3 - GOLF CART - CMU
A2.21C3	ELEVATION C3 - GOLF CART - CMU
A2.2C3-R	ELEVATION C3-R - GOLF CART - CMU
A2.21C3-R	ELEVATION C3-R - GOLF CART - CMU
A2.2C3-L	ELEVATION C3-L-GOLF CART - CMU
A2.21C3-L	ELEVATION C3-L-GOLF CART - CMU
A2.2C02A	ELEVATION C02A - GOLF CART - CMU
A2.21C02A	ELEVATION C02A - GOLF CART - CMU
A2.2C02A-R	ELEVATION C02A-R - GOLF CART - CMU
A2.21C02A-R	ELEVATION C02A-R - GOLF CART - CMU
A2.2C02A-L	ELEVATION C02A-L-GOLF CART - CMU
A2.21C02A-L	ELEVATION C02A-L-GOLF CART - CMU
A2.2C02B	ELEVATION C02B - GOLF CART - CMU
A2.21C02B	ELEVATION C02B - GOLF CART - CMU
A2.2C02B-R	ELEVATION C02B-R - GOLF CART - CMU
A2.21C02B-R	ELEVATION C02B-R - GOLF CART - CMU
A2.2C02B-L	ELEVATION C02B-L-GOLF CART - CMU
A2.21C02B-L	ELEVATION C02B-L-GOLF CART - CMU
A2.2C03	ELEVATION C03 - GOLF CART - CMU
A2.21C03	ELEVATION C03 - GOLF CART - CMU
A2.2C03-R	ELEVATION C03-R - GOLF CART - CMU
A2.21C03-R	ELEVATION C03-R - GOLF CART - CMU
A2.2C03-L	ELEVATION C03-L-GOLF CART - CMU
A2.21C03-L	ELEVATION C03-L-GOLF CART - CMU
E1.1	FIRST FLOOR PLAN - CMU
E1.2	SECOND FLOOR PLAN - CMU
E01.1	FLOOR PLAN OPTIONS - CMU
E2.1	FIRST FLOOR PLAN - CMU
E2.2	SECOND FLOOR PLAN - CMU
E02.1	FLOOR PLAN OPTIONS - CMU
P1.1	FIRST FLOOR PLAN - CMU
P1.2	SECOND FLOOR PLAN - CMU
P01.1	FLOOR PLAN OPTIONS - CMU

GENERAL NOTES

- THESE PLANS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF:
 - FLORIDA BUILDING CODE 6TH EDITION (2017) RESIDENTIAL
 - 2014 NATIONAL ELECTRIC CODE
 - BUILDING TYPE: VB

SQUARE FOOTAGES

BASE PLAN AND MASTER SET AREA TABLE	
Description	Area
-	
:_CONDITIONED SPACE	
CMU – 1st Floor – Base House	2483 SF
:CONDITIONED SPACE - ADDITIONAL (ADDED TO BASE)	
CMU – Bedroom & Bath 2 – C2	20 SF
CMU – Bedroom & Bath 2 – FM2	40 SF
CMU – Bedroom & Bath 2 – FM3	30 SF
CMU – Loft	972 SF
CMU – Pool Bath	64 SF
CMU – Sunroom	140 SF
-	
: NON-CONDITIONED SPACE	
CMU – Covered Lanai – Standard (Non – Pool Bath)	252 SF
CMU – 4' Extended Garage	694 SF
CMU – C1 Front Porch	43 SF
CMU – C2 Front Porch	43 SF
CMU – C3 Front Porch	68 SF
CMU – C02A Front Porch	43 SF
CMU – C02B Front Porch	43 SF
CMU – C03 Front Porch	68 SF
CMU – Covered Lanai – Standard (Pool Bath)	188 SF
CMU – Covered Lanai – w/ Sunroom (Non – Pool Bath)	249 SF
CMU – Covered Lanai – w/ Sunroom (Pool Bath)	185 SF
CMU – FM1 Front Porch	43 SF
CMU – FM2 Front Porch	43 SF
CMU – FM3 Front Porch	68 SF
CMU – Standard Garage	580 SF

WIDTH & DEPTH		
	WIDTH	DEPTH
CMU – BASE HOUSE – FM1	54'-0"	68'-0"
CMU – ELEVATION FM2	0	0
CMU – ELEVATION FM3	0	0
CMU – ELEVATION CR1	0	0
CMU – ELEVATION CR2	0	0
CMU – ELEVATION CR3	0	0
CMU – ELEVATION C01	0	0
CMU – ELEVATION C02	0	0
CMU – ELEVATION C03	0	0
CMU – SUNROOM	0	+6'-4"
CMU – GARAGE 4'-0" EXT.	0	+4'-0"

©COPYRIGHT: 2016 PGM

Florida Zone
24311 Walden Center Dr., Suite 300
Bonita Spring, Florida 34134 (239)495-4800 (770)381-3450



COVER SHEET - CMU

[illegible]

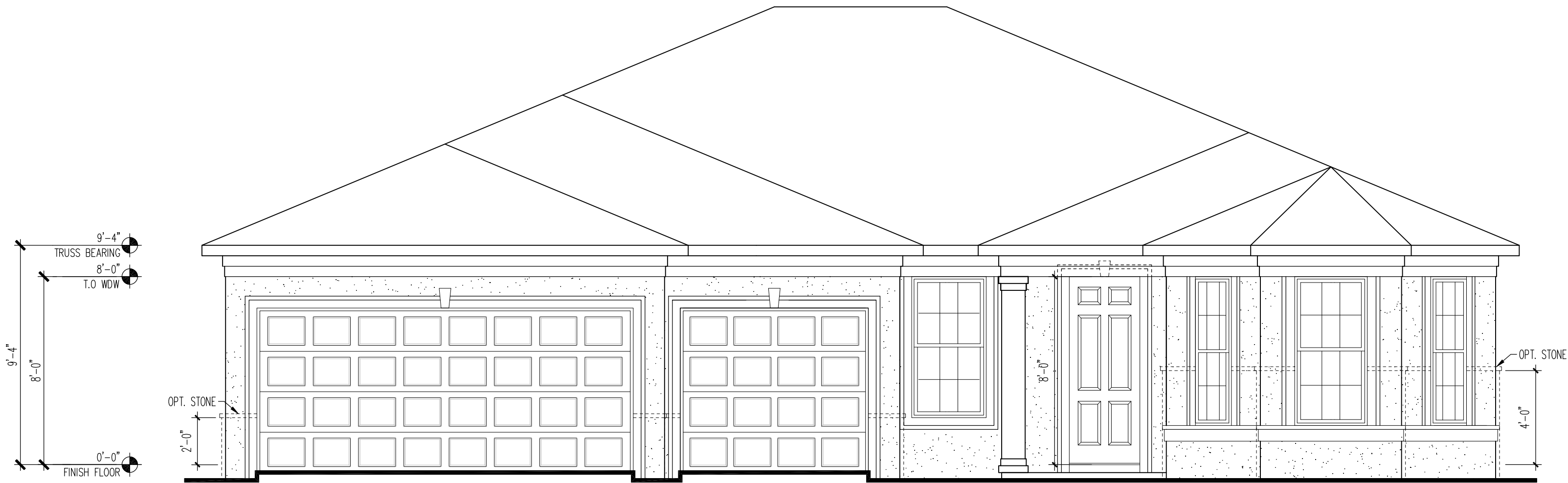
PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

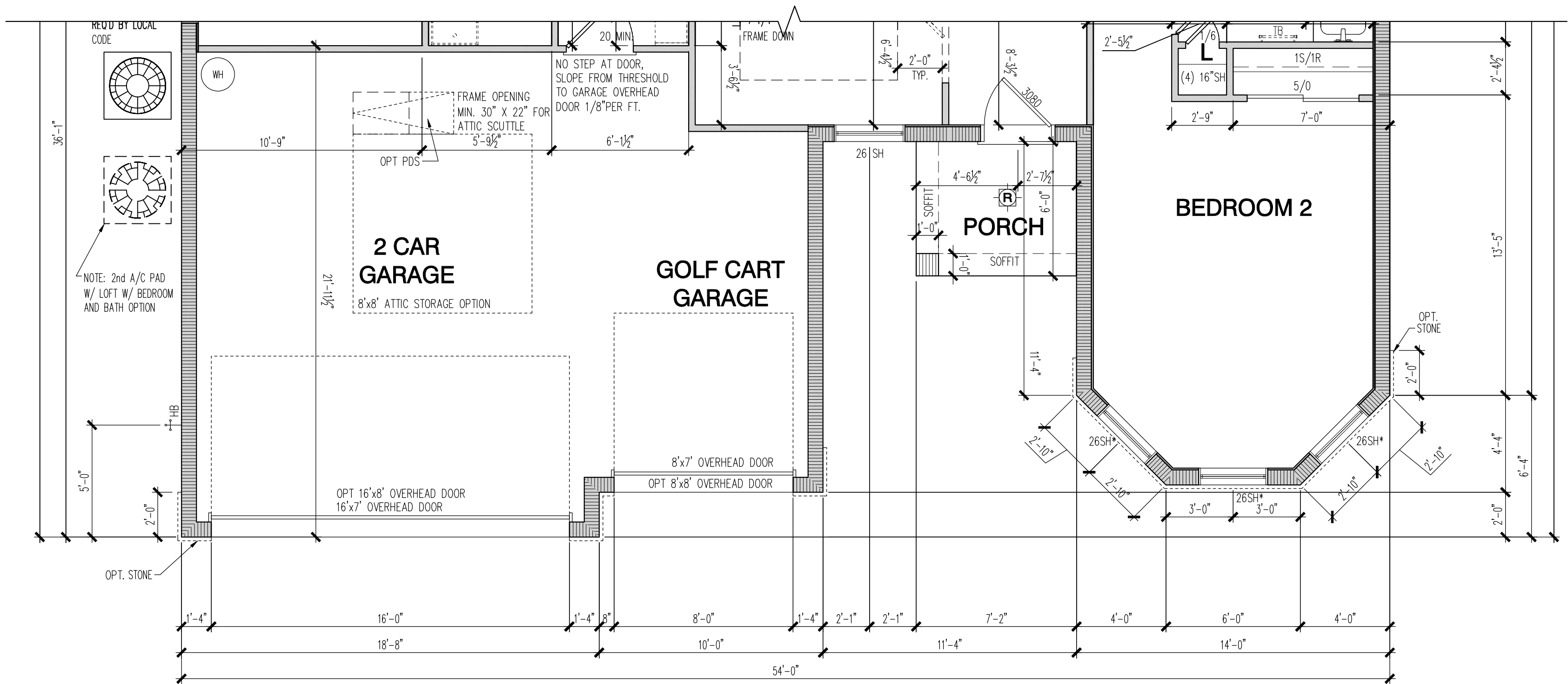
PLAN NAME	STELLAR
NPC NUMBER	2687.500

SHEET
G1.1

PLOTTED: April 17, 2019 / user=422 / A2.2FM2 ELEVATION FM2 - GOLF CART - CMU.dwg

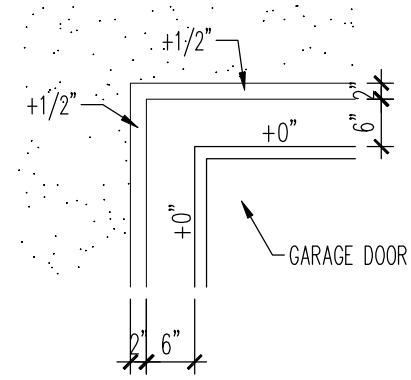


FRONT ELEVATION - "FM2" GOLF CART
 SCALE: 1/4"=1'-0"

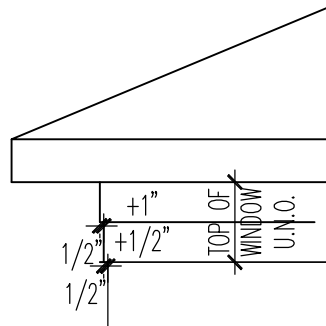


PARTIAL FIRST FLOOR PLAN "FM2" GOLF CART
 SCALE: 1/4"=1'-0"

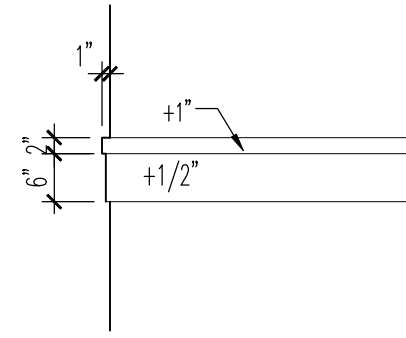
APPROVED ELEVATION



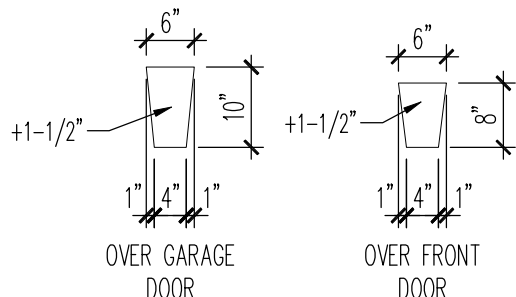
GARAGE TRIM DETAIL
 SCALE: 1/2" = 1'-0"



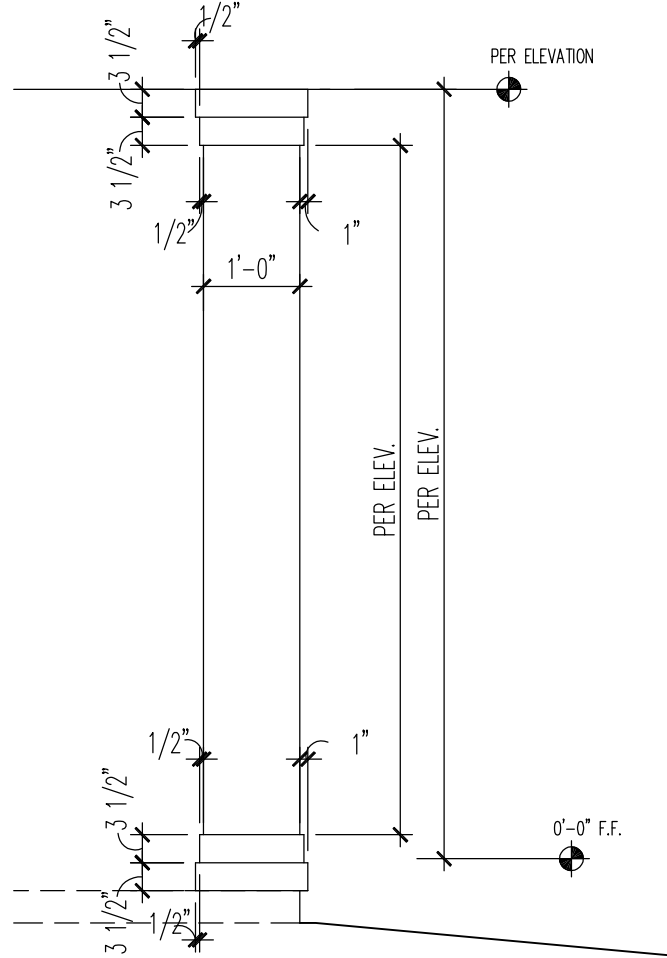
FRIEZE BANDING DTL
 SCALE: 1/2" = 1'-0"



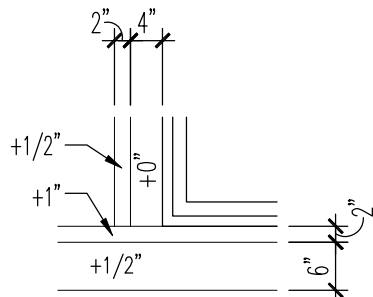
TYP. STUCCO BAND
 SCALE: 1/2" = 1'-0"



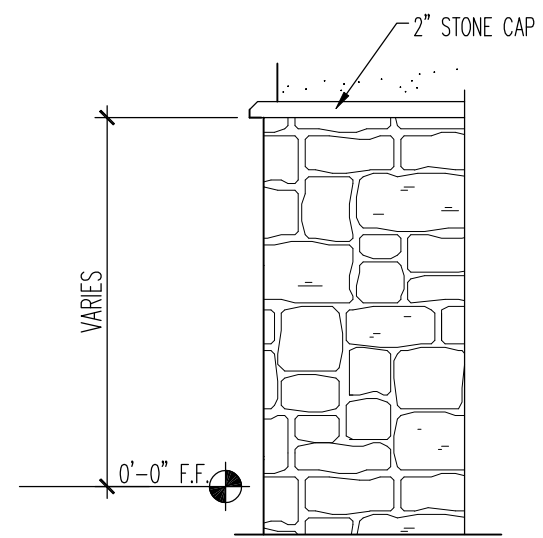
KEYSTONE DETAILS
 SCALE: 1/2" = 1'-0"



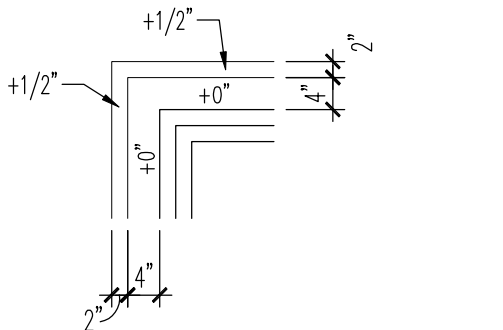
COLUMN DETAIL
 SCALE: 1/2" = 1'-0"



SILL DTL.
 SCALE: 1/2" = 1'-0"



STONE DETAIL
 SCALE: 1/2" = 1'-0"



WINDOW/FRONT DOOR
 TRIM DETAIL
 SCALE: 1/2" = 1'-0"

Florida Zone
 24311 Walden Center Dr., Suite 300
 Bonita Spring, Florida 34134 (239)495-4800 (770)381-3450



ELEVATION FM2 - GOLF CART - CMU
 ELEVATIONS

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 00/00/0000
REV#	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	
△	

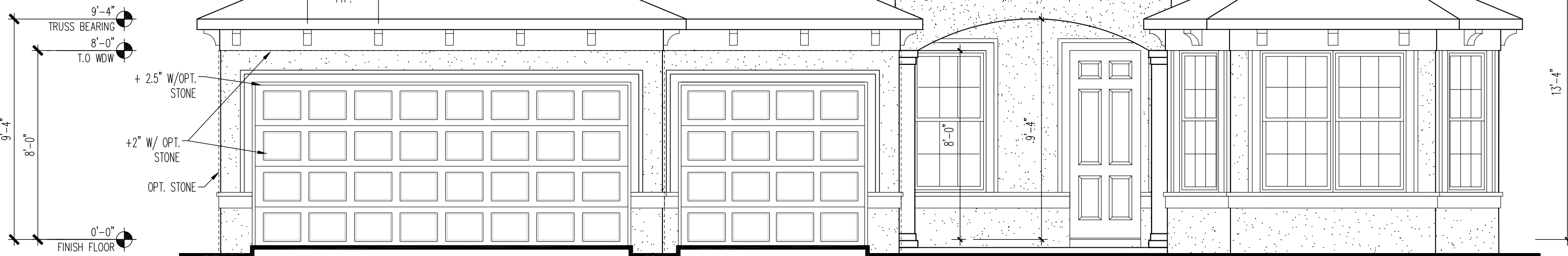
PROJECT TYPE
 Single Family

SPECIFICATION LEVEL
 Pulte

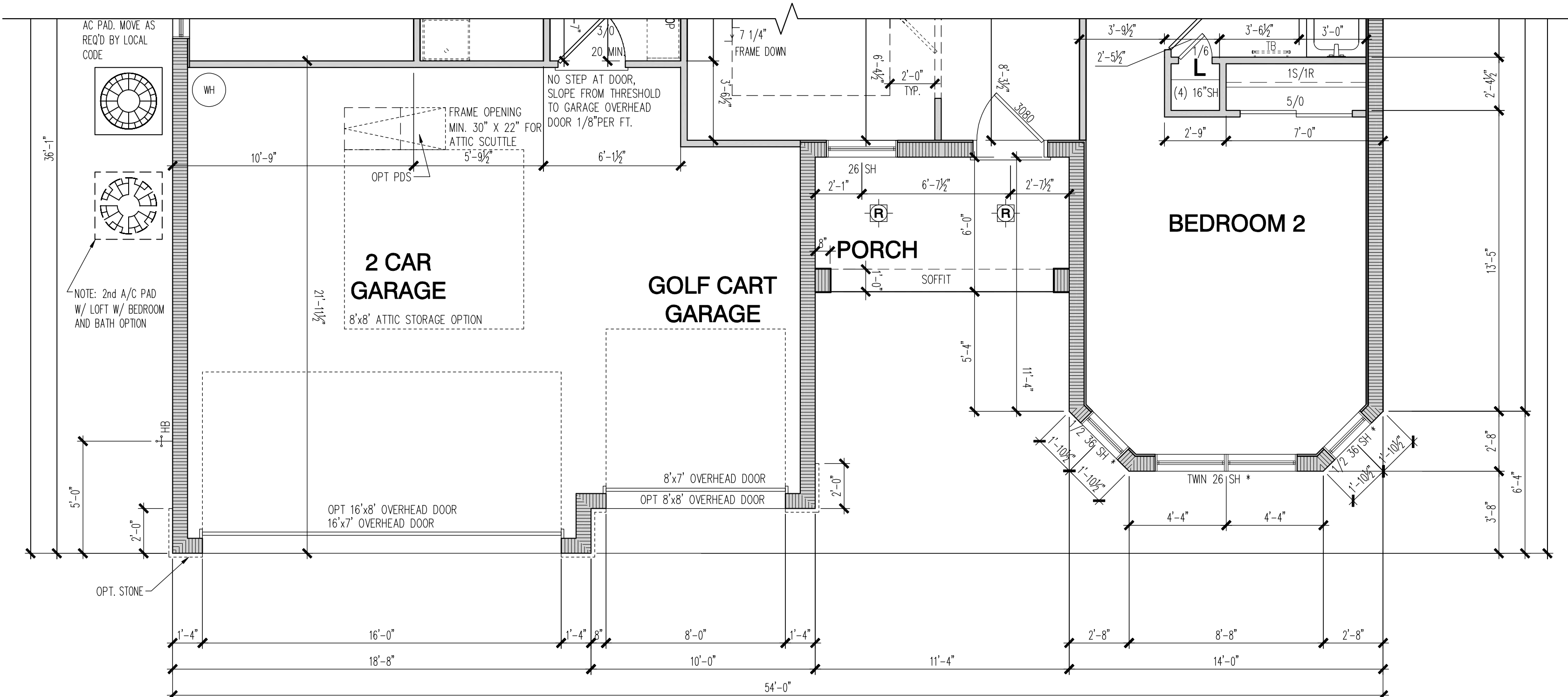
PLAN NAME
 STELLAR
 NPC NUMBER
 2687.500

SHEET
 A2.2FM2

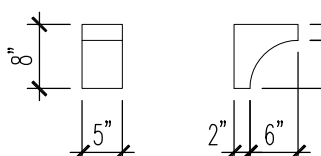
APPROVED ELEVATION



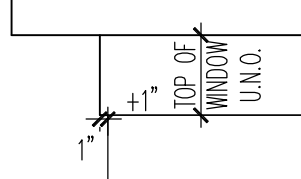
FRONT ELEVATION - "FM3" GOLF CART



PARTIAL FIRST FLOOR PLAN "FM3" GOLF CART
SCALE: 1/4"=1'-0"

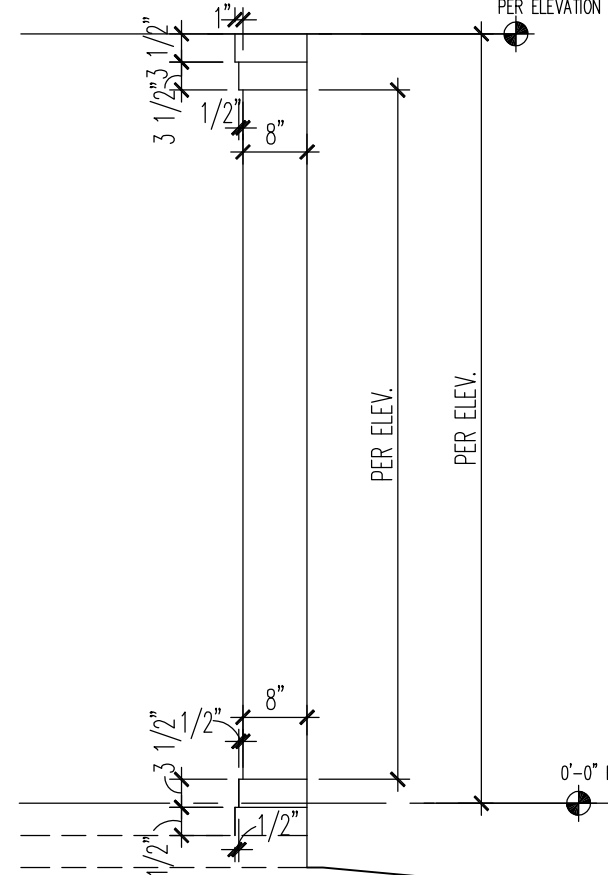


CORBEL DETAIL
SCALE: 1/2" = 1'-0"



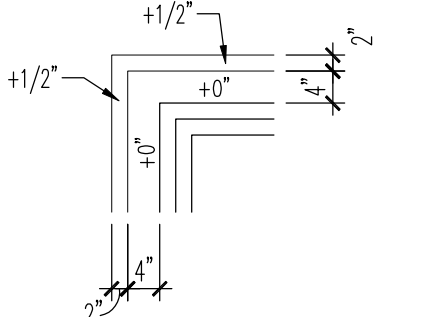
FRIEZE BANDING DTL
SCALE: 1/2" = 1'-0"

E



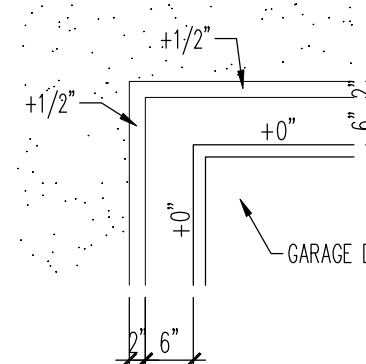
ENGAGED COLUMN DATA

F



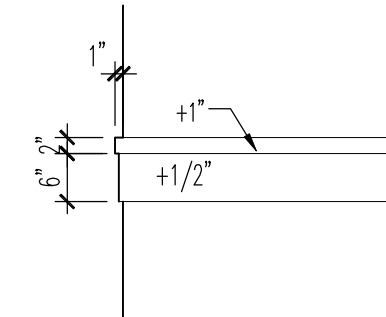
WINDOW/FRONT DOOR
TRIM DETAIL
SCALE: 1/2" = 1'-0"

B



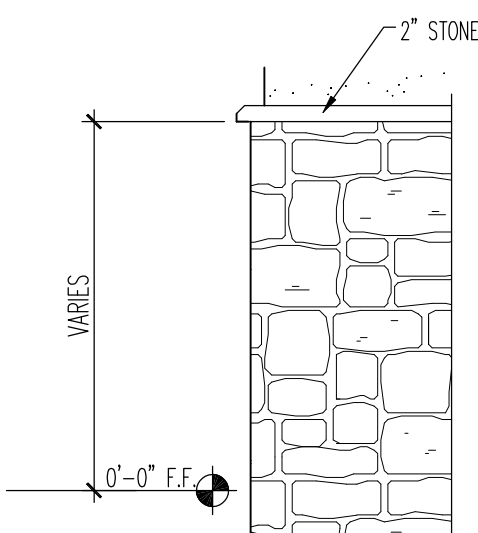
GARAGE TRIM DETAIL

C



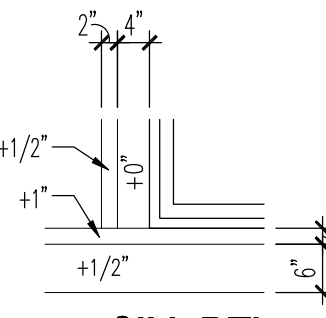
TYP. STUCCO BAND
SCALE: 1/2" = 1'-0"

G



STONE DETAIL

F

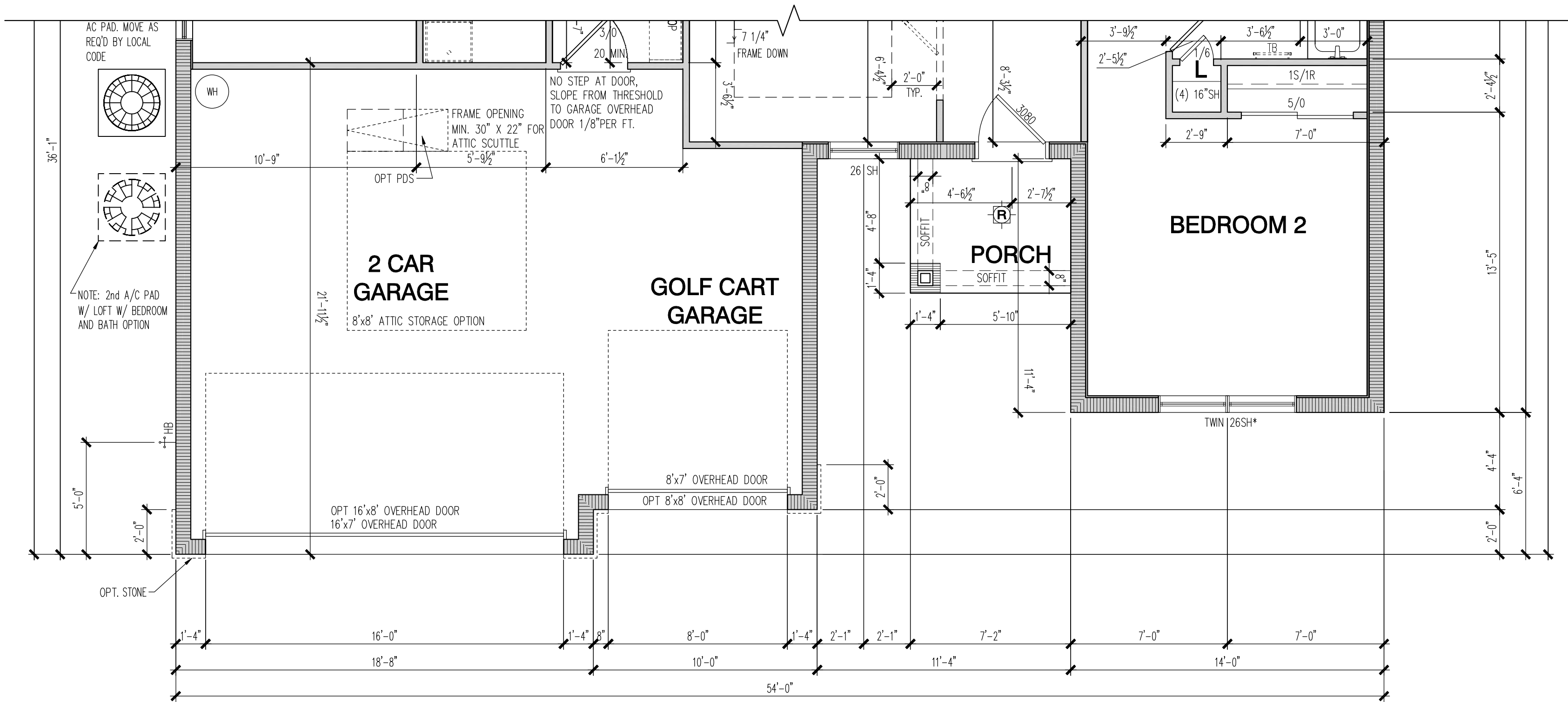


SILL DETAIL
SCALE: 1/2" = 1'

D

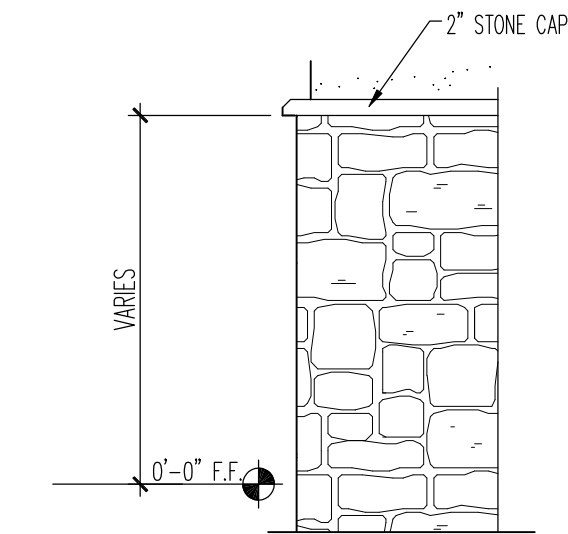


FRONT ELEVATION - "C1" GOLF CART
 SCALE: 1/4"=1'-0"

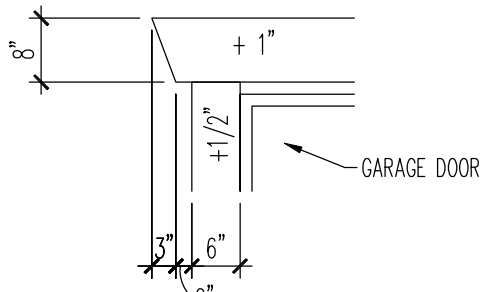


PARTIAL FIRST FLOOR PLAN "C1" GOLF CART
 SCALE: 1/4"=1'-0"

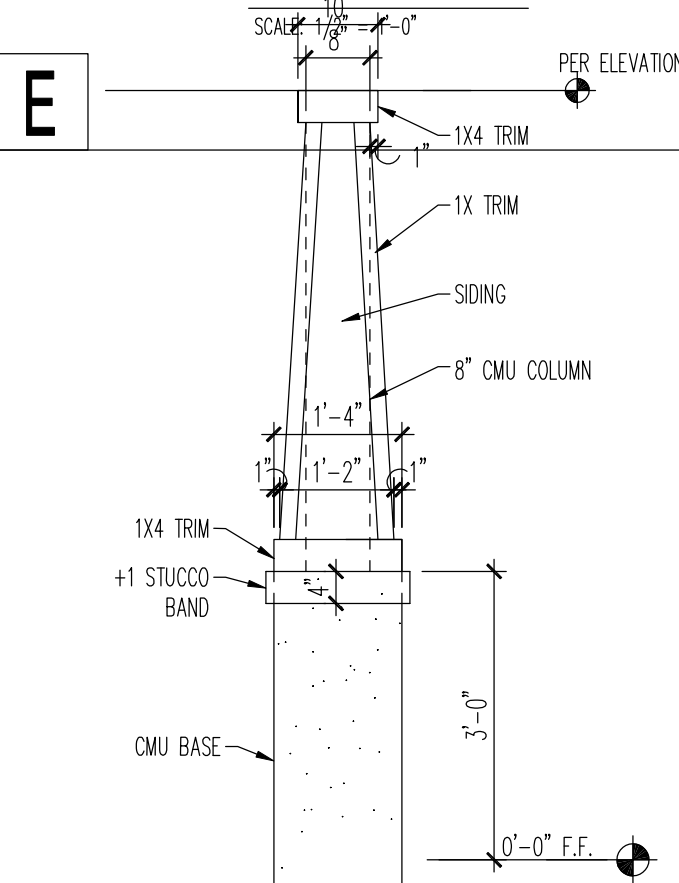
APPROVED ELEVATION



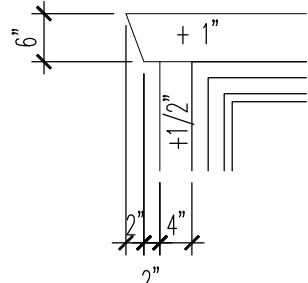
STONE DETAIL
 SCALE: 1/2" = 1'-0"



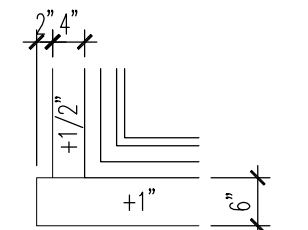
GARAGE DETAIL
 SCALE: 1/2" = 1'-0"



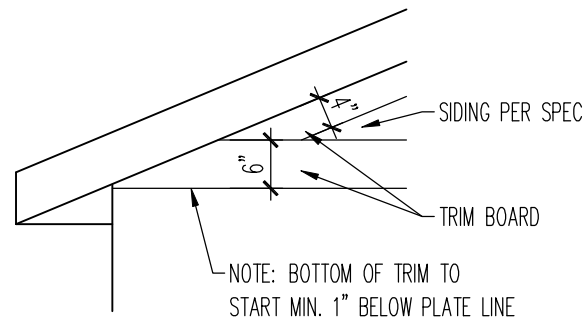
COLUMN DETAIL
 SCALE: 1/2" = 1'-0"



CMU HEADER DTL.
 SCALE: 1/2" = 1'-0"



CMU SILL DETAIL
 SCALE: 1/2" = 1'-0"

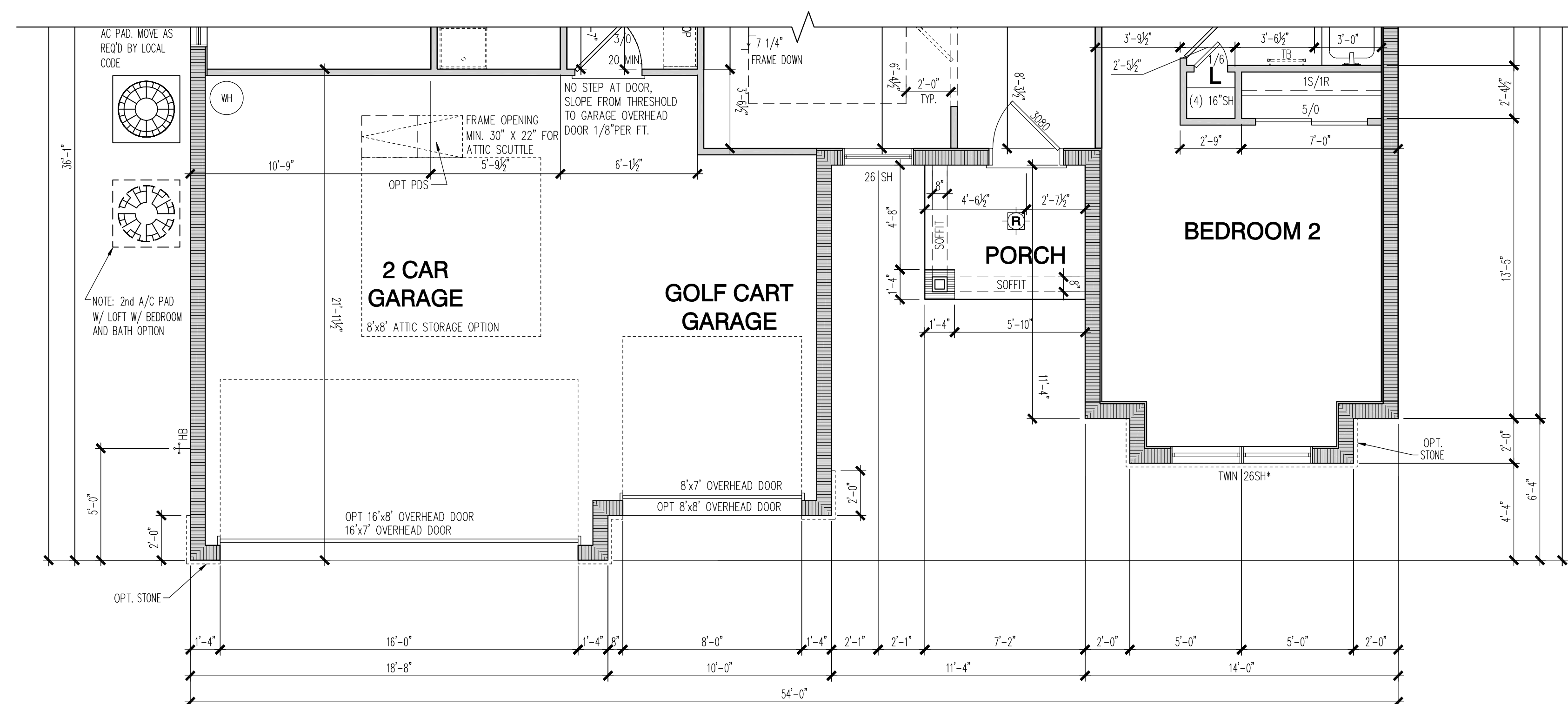


RAKE DETAIL
 SCALE: 1/2" = 1'-0"

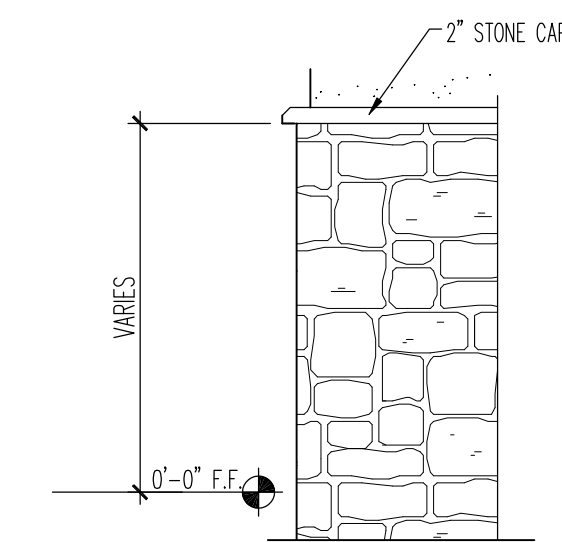
APPROVED ELEVATION



FRONT ELEVATION - "C2" GOLF CART
SCALE: 1/4"=1'-0"

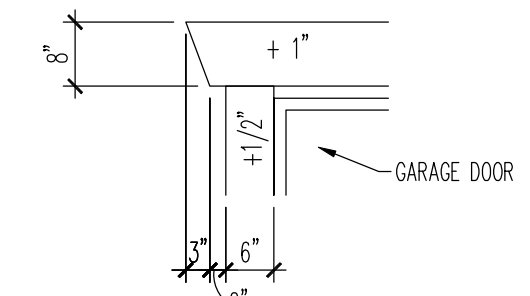


PARTIAL FIRST FLOOR PLAN "C2" GOLF CART
SCALE: 1/4"=1'-0"



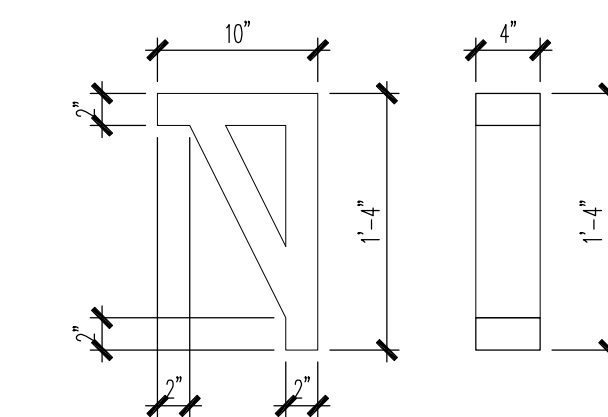
STONE DETAIL

SCALE: 1/2" = 1'-0"



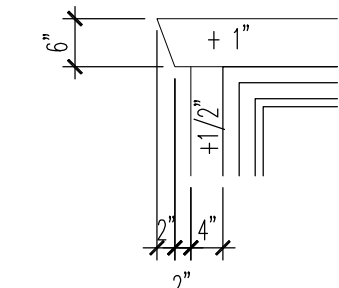
GARAGE DETAIL

SCALE: $1/2" = 1'-0"$

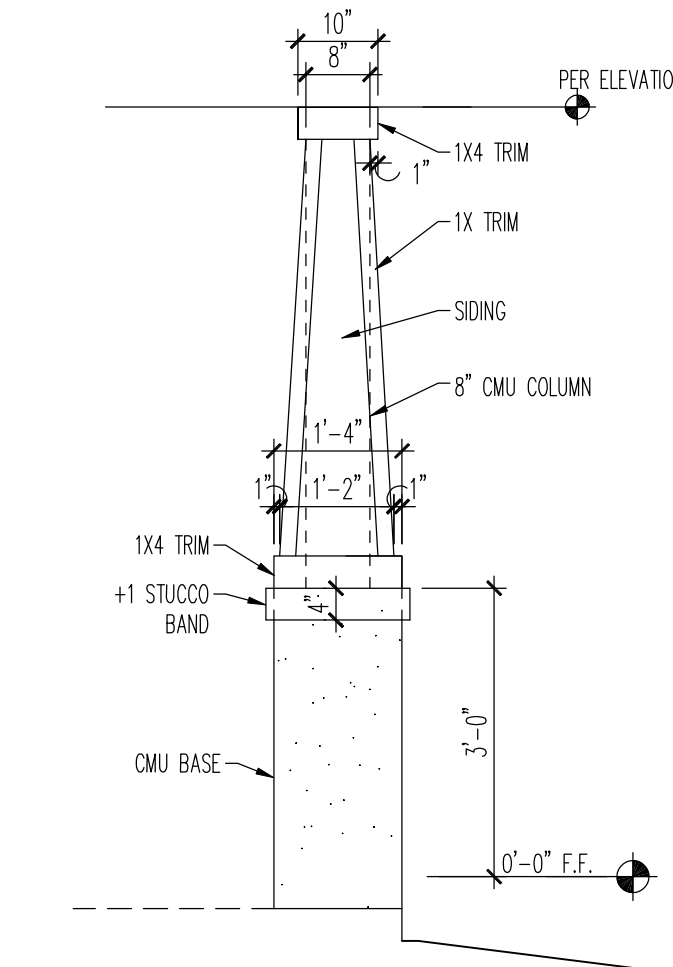


BRACKET DETAIL

SCALE: 1" = 1'-0"

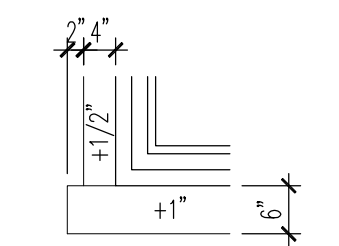


CMU HEADER DTL.
SCALE: 1/2" = 1'-0"

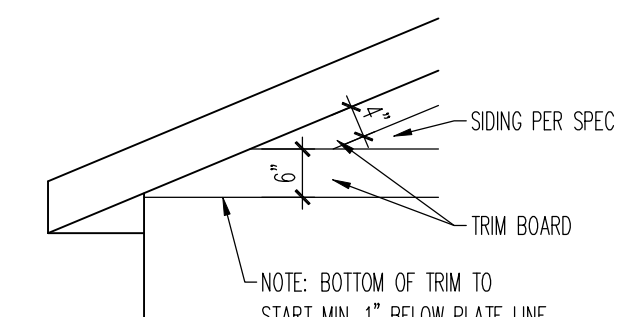


COLUMN DETAIL

SCALE: 1/2" = 1'-0"



CMU SILL DETAIL



RAKE DETAIL

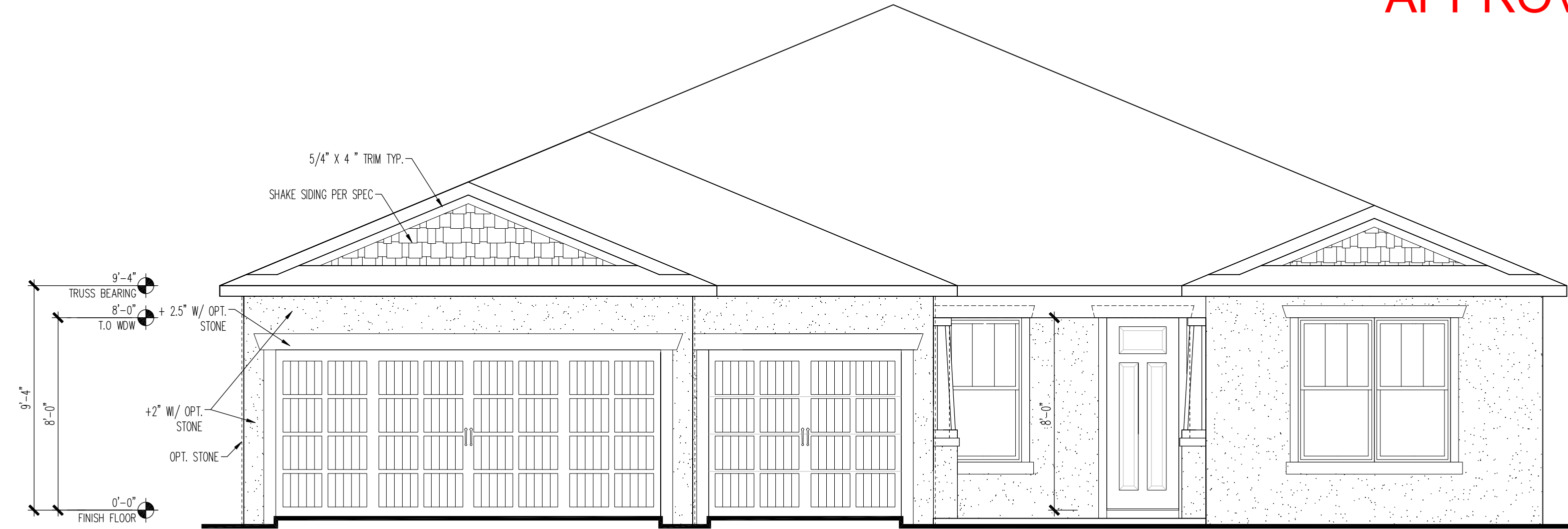
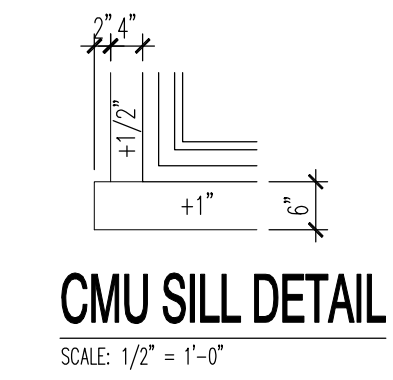
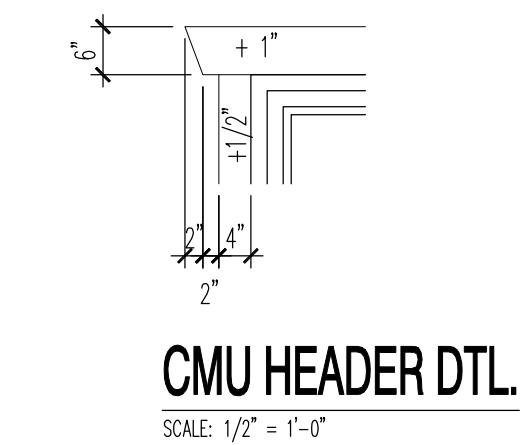
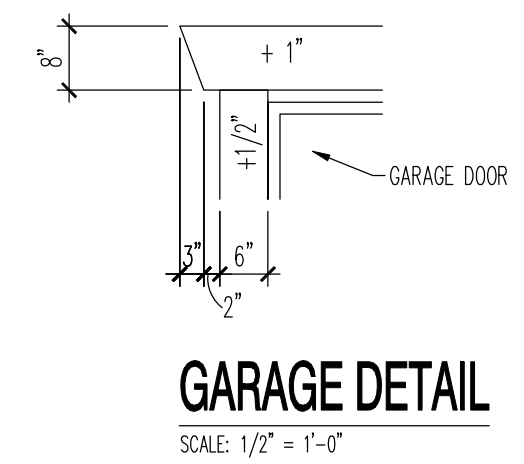
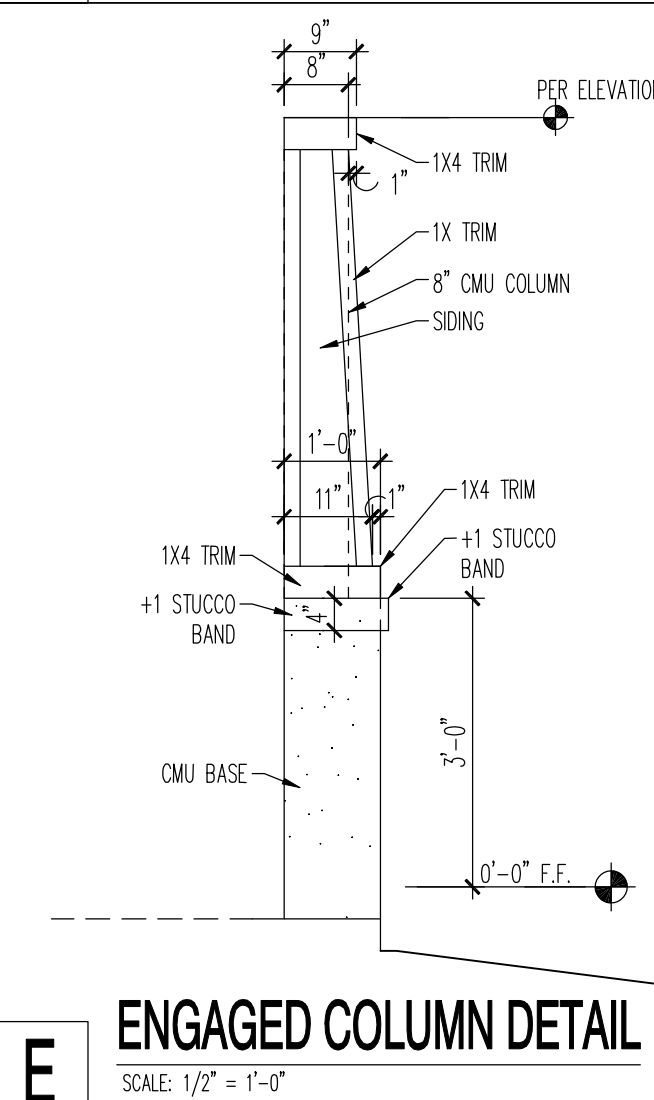
VARIES

0'-0" F.F.

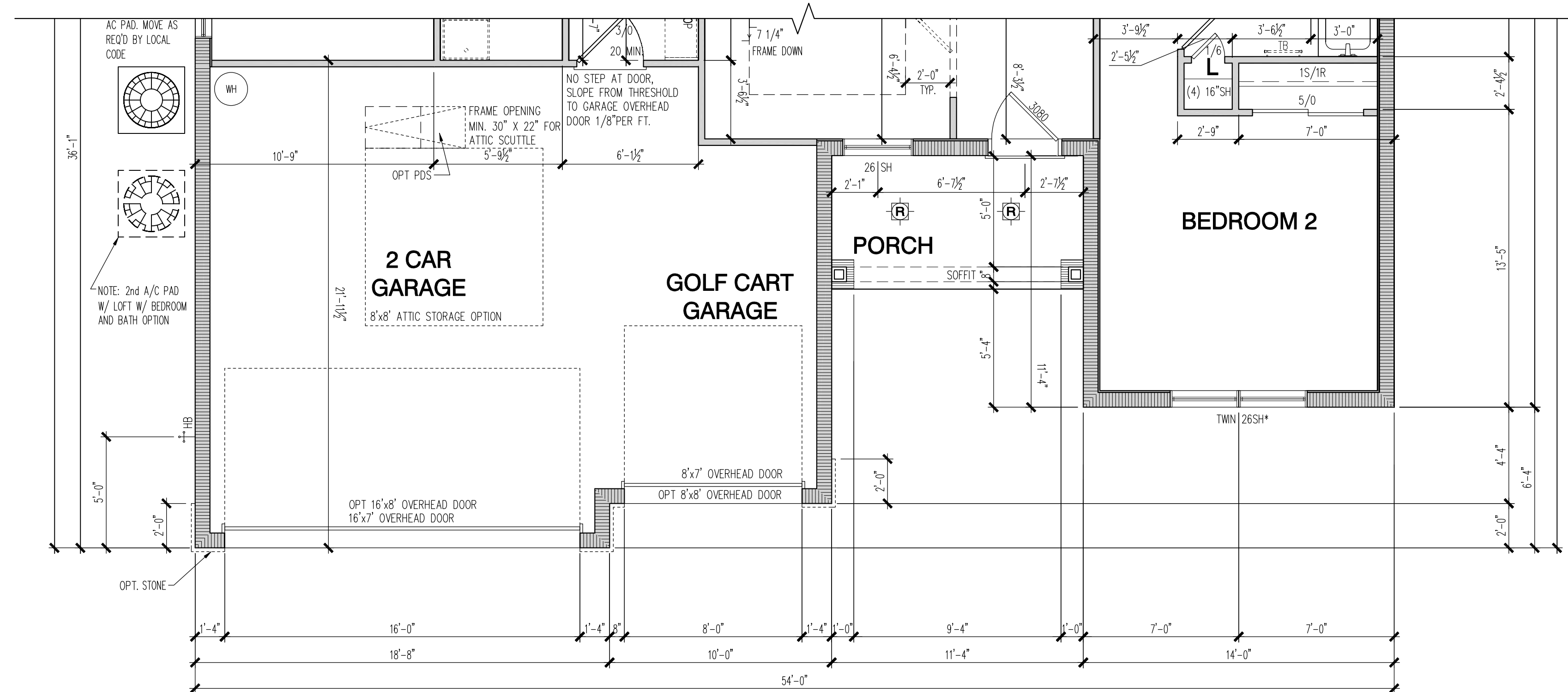
2" STONE

STONE DETAIL

SCALE: 1/2" = 1'-0"



FRONT ELEVATION - "C3" GOLF CART
SCALE: 1/4"=1'-0"



PARTIAL FIRST FLOOR PLAN "CR3" GOLF CART
SCALE: 1/4"=1'-0"