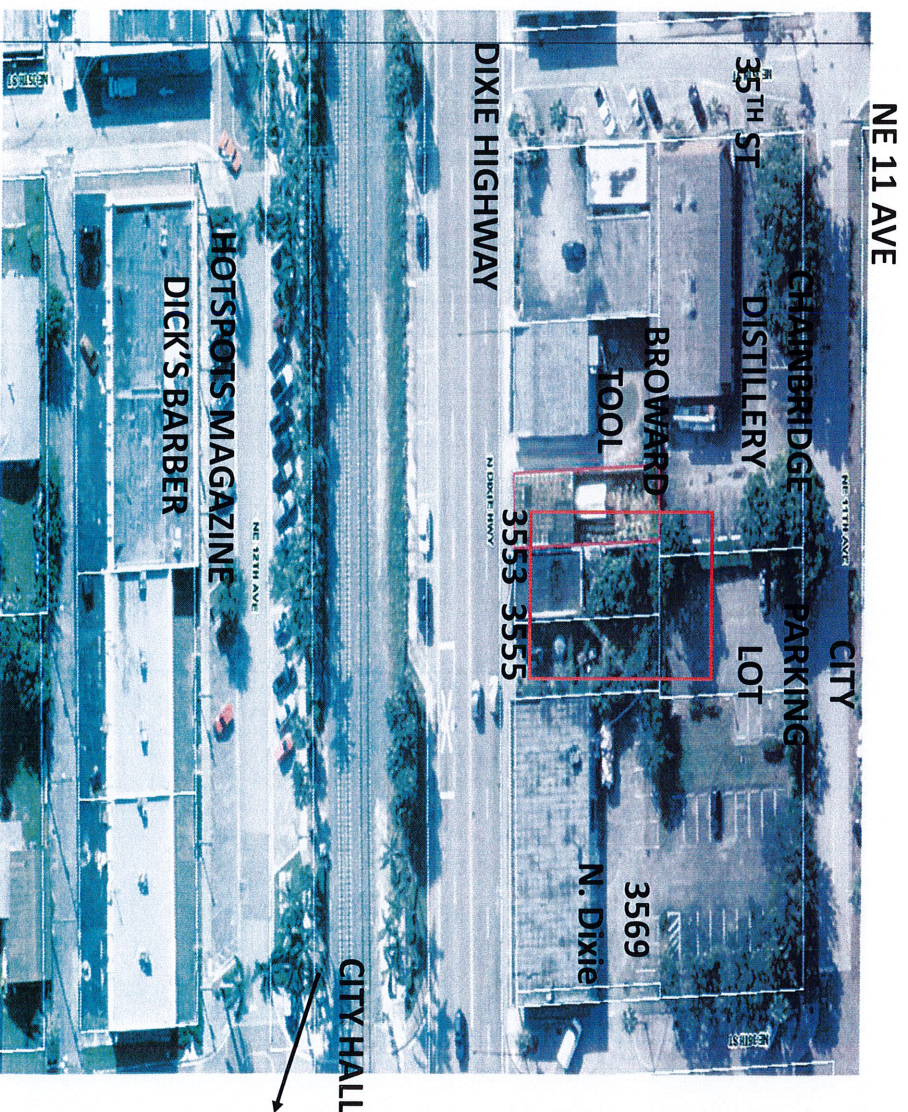


# Program Description

3553 and 3555 N. Dixie Highway  
Oakland Park, FL 33334



# Location Map



Front Elevation Rendering (Before)

3553 N. Dixie  
1,000 sf  
Bar



Front Elevation Rendering (After)

3555 N. Dixie  
1,100 sf  
Restaurant/Bar

# Property Descriptions

3553 and 3555 N. Dixie Hwy. are located in Downtown Oakland Park in the Culinary Arts District near Funky Buddha, Chainbridge Distillery, Central Bark, Dapur Asian Restaurant and Switchbox Roasters. The buildings were constructed in the 1960's and have had no major improvements since then.

Currently both buildings are vacant retail spaces. As part of the continued development of the Culinary Arts District, the two buildings will become a bar (3553 N. Dixie – building on the left) and a restaurant with bar (3555 N. Dixie- building on the right).

Below are the architectural characteristics of each building.

- 3553 – 1,000 sf, single-story concrete block structure with a 12' ceiling height, rear courtyard
- 3555 – 1,100 sf, single-story concrete block structure with a 12' ceiling height, rear courtyard

As part of this application, conditional-use approval is being requested for both the sale of alcohol and the ability to sell alcohol past 12 AM.

# Renovations

Both buildings will be renovated with new impact storefront, exterior painting, new bathrooms, new bar and kitchen areas and new mechanical, electric and plumbing systems. The rear courtyards are enclosed and will provide for additional seating. The ceilings in the guest areas will be exposed while the bathroom and kitchen areas will have acoustical tile ceilings. The new storefront systems will have black frames and the buildings will be painted with darker shades of paint which will aid in hiding dirt from the nearby traffic and trains. Plumbing and electrical rough-ins are being installed in the bar and kitchen areas, however, all kitchen and bar equipment will be supplied and installed by the tenants once leases are secured and the equipment shown on the drawings is for reference only.

Electrical service for each building will be converted to underground service through the rear courtyard of each property thus eliminating the overhead power lines. The overall goal of the renovations is to create an indoor/outdoor atmosphere and to further activate the West side of Dixie Highway and Downtown.

# Sidewalk View Rendering



# Trash/Deliveries

Trash service and deliveries for each building will utilize the City parking lot at 3564 NE 11 Ave. Each building will also have its own enclosed trash area and gated entry for deliveries. A City Use-Agreement will be utilized for these services.

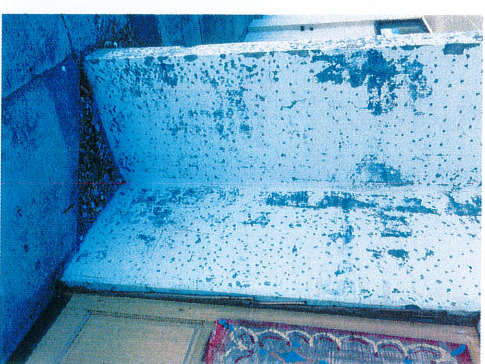
The gated entry for each building will also serve as an entrance for patrons who park in the City lot directly behind the buildings and for the surrounding parking spaces on the West side of Dixie.

# Gas Service

Underground gas service will be provided by TECO and will be brought through the City parking lot to the rear of 3555 N Dixie by utilizing an easement provided by the City. In addition, the easement will also allow gas service to a new building (restaurant-bar) which will be located at 3557 N. Dixie Hwy next door.

# Landscaping

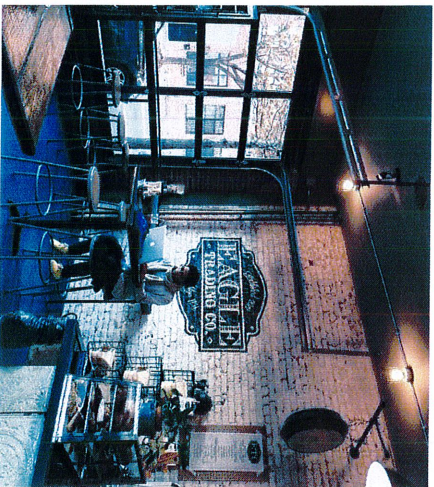
Both buildings are existing and lie directly on N. Dixie Hwy with less than a 4' setback from the public sidewalk. While the front patio of 3553 N Dixie is small, the intention is to provide some potted plants in this area to soften the curb appeal from the street. For 3555 N Dixie, low-lying plants will be installed in the existing garden areas in the front of the building (see photos below), which extend to the property line. The 36" high aluminum fence will also help to separate the property from the public sidewalk.



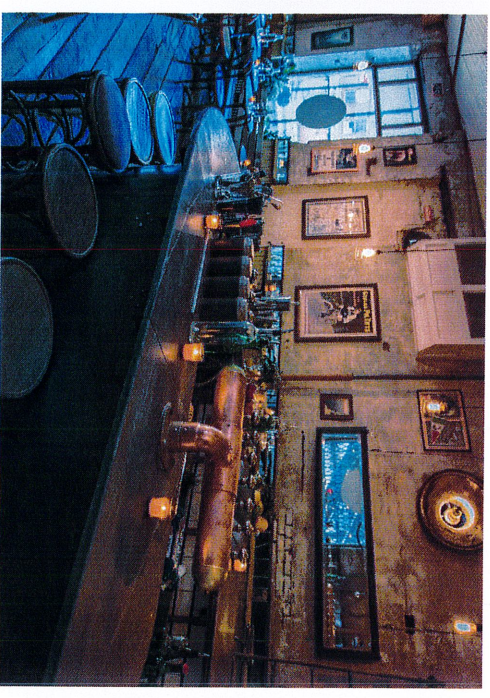
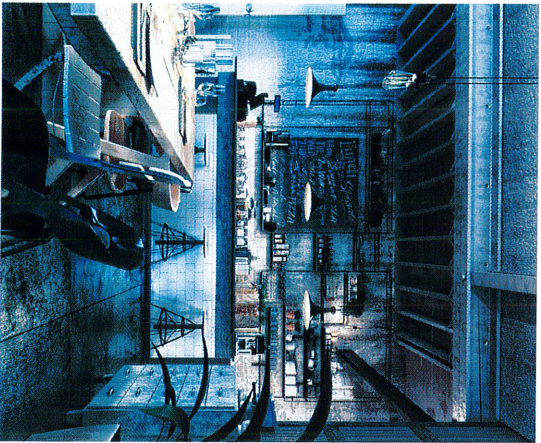
A six-foot high wall surrounds the rear courtyard of each building which makes the patios not viewable to surrounding properties and any furniture/accessories/landscaping will be the responsibility of the Tenant.

# Design Inspirations

The following pages illustrate the design inspirations for the two spaces. Though each Tenant will customize their space to suit their individual concept, the overall aesthetic, energy and 'vibe' of the establishments will reflect the photos on the following pages. Careful attention will be paid to securing the right Tenant for each space which will help implement these design inspirations and further energize the Culinary Arts District.



# Design Inspirations



# Design Inspirations



# Design Inspirations



# Design Inspirations



# Timing

Once approved by the City Commission and permits are obtained, renovations will begin and continue for approximately 3 months. I look forward to completing these projects and to further enhance The Culinary Arts District and the vision of the City of Oakland Park.

Thank you!

Dean Sirulnik