

Oak Tree – Residential P.U.D. Oakland Park, Florida



Submitted to:
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Section I: PUD Justification

Introduction and Proposed Application

This application, for rezoning to Planned Unit Development, is filed on behalf of Pulte Home Company, LLC (the applicant) for the redevelopment of the Oak Tree property (subject property), located on the northwest corner of the intersection of N.W. 21st Avenue and N.W. 44th Street (See Exhibit 1 Legal Description). The subject property also has frontage along Prospect Road. Pulte Home Company, LLC is the contract purchaser of the property, from the current land owner, Blackshore Partners, LLC / Blackwood Partners LLC. The purpose of the application is to redevelop the vacant closed former Oak Tree Country Club property. The property is 140.7 gross acres and has been closed to the public for nearly ten years.

The subject property has an existing zoning designation of Open Space / Recreation (OS) and this application is proposing a rezoning to Planned Unit Development (PUD). The redevelopment plan proposes to demolish any remaining existing structures from the closed golf course operations and to develop the subject property into a new residential community. The new community will be a mix of fee simple single family detached homes and single family attached townhomes. A maximum of 405 residential units will be constructed, within this community. The main entrance for this community will be on Prospect Road, and a secondary entrance off of N.W. 44th Street. The PUD application will incorporate many of the planning principals that are required as part of Article IV, Section 24-54, Planned Unit Development District City of Oakland Park 2018 code requirements, such as:

- Allow diversification of uses, structures and open spaces when not in conflict with existing and permitted land uses on abutting properties;
- Reduce improvement costs through a more efficient use of land and a smaller network of utilities and streets than is possible through application of standards contained in conventional land development regulations;
- Conserve the natural amenities of the land by encouraging the preservation and improvement of scenic and functional open space;
- Provide maximum opportunity for application of innovative site planning concepts to the creation of aesthetically pleasing environments for living on properties of adequate size, shape and location;
- Ensure that development will occur according to limitations of land use, site design, population density, building coverage, improvement standards and construction phasing authorized through the approval of a master development plan;
- Ensure that development will occur within the guidelines and intent of the Oakland Park Comprehensive Plan. Planned unit developments are equally adaptable to new development, redevelopment and conservation of land, water and other City resources.

Additional details on how each principle is addressed is provided within the Justification Statement Section of this document.

In addition to this application, the applicant is also filing for Site Plan approval and Plat Approval concurrently. A Land Use Plan Amendment application, file number CD17-07CP, is under review by the City of Oakland Park. The Land Use Plan Amendment application proposes to modify the Land Use of the subject property from Parks / Recreation (P/R) to Irregular Residential Area 2.88 dwelling units per acre. The applicant acknowledges that approval of any applications is contingent upon the approval of the Land Use Plan Amendment application, by the City of Oakland Park. The applicant has requested that all applications be heard concurrently on the same public hearing schedule, with the Land Use Plan Amendment being the first item on the agenda, followed by the PUD Rezoning Request, Site Plan approval and the Plat approval. The Land Use Plan Amendment application was approved by Broward County Board of County Commission at the June 4, 2019 adoption hearing, Ordinance 2019-17. The Site Plan, which is filed with this application, is the result of approximately two years of community outreach efforts dating back to December 2016. The site plan, as well as, the total number of units has been revised on several occasions as a result of the feedback from these outreach meeting efforts.

Surrounding Properties and Compatibility

The proposed Oak Tree Residential Community is compatible with the existing residential uses surrounding it. The proposed 2.88 density cap serves as the lowest density from the surrounding communities that are adjacent to the subject property. To the north is the Oak Tree Estates property, which according to the Land Use Map, is Low Density Residential (L5) which provides for up to 5 dwelling units per acre. The actual density of this community is around 3.08 dwelling units per acre, due to the fact that there are approximately 58 residential homes within this community. The Oakwood Heights platted subdivision to the east is also Low Density (L5) Land Use Designation. Tamarac Forrest Subdivision further south of Oakwood Heights and southeast of the Oak Tree property has some areas with a Land Use Designation of Low – Medium Residential (LM), which provides for a density cap of 10 dwelling units per acre. In addition, the other areas to the east within Tamarac Forrest Subdivision have Low Density (L5) Land Use Designation.

To the south is the Lake Emerald Condominium community, which has a Land Use Designation of Irregular Residential Area 3.94 dwelling units per acre. This community is a mix of high rise 4 – 8 story condominium community, which includes approximately 168 acres of internal lake. Lastly, to the west is the Lake Pointe Apartment complex which has a Land Use Designation of Medium Density Residential (M) with a density cap up to 16 dwelling unit per acre. This community is a mix of two and three story apartment condo residential units.

With the proposed cap of 2.88 dwelling units per acre, for the proposed Oak Tree Residential Community, this density cap is the lowest intensity of all surrounding higher densities. In addition, the home types proposed within the Oak Tree redevelopment will be comparable with the surrounding homes. The larger residential single family detached home lots will be located in northern areas of the property, adjacent to the larger lots within Oak Tree Estates. The estate housing types are compatible and will serve as a density transition to the existing Lake Emerald higher - density development, to the south. The smaller lots will be located in central and southern locations of the community and directly north of Lake Emerald. The two – story single family attached townhome product will be located adjacent to the road frontages on West Prospect Road and N.W. 21st Avenue.

Finally, large landscape buffers are proposed along the perimeter of the subject property to further serve as transitions and buffering to the adjacent communities. A large open space tract, with a minimum width of 50' is proposed to buffer along the north, separating the proposed community from the Oak Tree Estates property. A 60' buffer is proposed along the east and south property lines. This 60' buffer will be a combination of landscaping buffering, as well as a new Public Linear Greenway Park for use by the general public. In total, approximately 9 acres of Public Linear Greenway Park is proposed along the south and east property lines – Prospect Road, N.W. 21st Avenue and N.W. 44th Street frontages. Per the 2018 City of Oakland Park Code Article IV, Section 24-54.F.3.d.1 a 25' setback is to be maintained from all public road rights of way within a Planned Unit Development. This setback is met and exceeded with the indicated perimeter buffer areas.

A summary of zoning and land uses of surrounding properties is provided below:

Adjacent property to the:	Land Use Designation	Zoning Designation	Existing use(s) of Property	Approved use(s) of Property
NORTH	Low Density Residential (L5) & Medium Density Residential (M – up to 16 du/ac)	R-1	Oak Tree Estates	Residential
SOUTH	Irregular Density Area (3.94 du/ac)	PUD	Lake Emerald	Residential
EAST	Low Density Residential (L5) & Low Medium Density Residential (LM – up to 10 du/ac)	R-1 & R-2	Oakwood Heights & Tamarac Forest	Residential
WEST	Medium Density Residential (M – up to 16 du/ac.)	PUD	Residential	Residential

Planned Unit Development Application Requirements

The following is a brief summary of how the proposed Oak Tree Residential Community Redevelopment application submittal conforms to the application requirements of City of Oakland Park 2018 PUD Code Article IV. Section 24 – 54.

A. Purpose of PUD: Planned Unit Development District

1. Allow diversification of uses, structures and open spaces when not in conflict with existing and permitted land uses on abutting properties;

Response: The proposed Oak Tree Residential Community proposes a wide range of fee simple housing types, which are compatible with the adjacent properties. The Oak Tree Residential Community is proposing single family detached homes and attached townhomes. The larger estate lots will be located along the north portion of the property and will serve as a transition from the larger lots within Oak Tree Estates. The remaining single family detached home lots will be internal and along the south of the community. Finally, the two-story single family attached townhomes will be located closer to the intersection of N.W. 21st Avenue and Prospect Road. The perimeter buffers will provide large landscaped open space tracts which will be large open landscaped areas that are proposed to be aesthetically pleasing and beneficial to the surrounding areas. The Planned Unit Development Zoning district “allows diversification of uses, structures and open spaces...through a more efficient use of land and a smaller network of utilities and streets.” By proposing smaller lots and creating efficiencies, within the development area, larger areas of useable open space can be allocated within the community. Also, the efficient design is the mechanism, which allows the project to meet the Planned Unit Development minimum open space requirements of thirty-five (35) percent, which is discussed later within this document. The community is designed so that there is a density transition from north to south. The larger sixty - seven (67) foot lots are located to the north and are compatible and consistent with the adjacent Oak Tree Estates neighborhood, which is zoned R-1, as indicated in the table above. The R-1 Zoning District requires 7.5’ side yard setbacks and the Oak Tree PUD is proposing 6.5’ side yard setbacks for the Estate Lots. This side yard setback is a minimum dimension and in cases with certain product types will be exceeded. The Stonewater, for example, is a fifty (50) foot wide home. On a sixty – seven (67) foot lot the actual side yards will be eight and a half (8.5) feet. Smaller lots are to the south which will be located adjacent to the Lake Emerald Condominium, which is a higher density neighborhood.

2. Reduce improvement costs through a more efficient use of land and a smaller network of utilities and streets than is possible through application of standards contained in conventional land development regulations;

Response: The proposed Oak Tree Residential Community was designed in order to incorporate efficiencies, within the design. An efficient 42’ Residential Access Street tract is utilized for all internal private vehicular access ways. Within this tract, pavement designs and widths will meet the minimum requirements of the City of Oakland Park Fire Department. A five-foot sidewalk is proposed on each side of the street, within the internal private roadways, to provide safe pedestrian connectivity. The primary east – west spine road, main entrance off of Prospect Road, as well as the south N.W. 44th Street secondary entrance, will have sidewalks on each side of the road to provide safe connections to surrounding public walkways. Pedestrian connectivity is discussed later within this document. Incorporating design efficiencies allows the project to maximize large open space areas, in other locations of the property.

3. Conserve the natural amenities of the land by encouraging the preservation and improvement of scenic and functional open space;

Response: The property is a closed former golf course. The land exists in a disturbed state due to the past golf course use. There are no natural habitats on the property, due to the past golf use.

Open Space areas and amenities will be created and programed for use by the community. Any native vegetation existing onsite that meets the 2018 City of Oakland Park Article VIII Landscape Preservation requirements will be addressed, per the City code requirements. A native tree inventory is attached to this submittal package for review. Native plant species that are healthy enough to be relocated into buffers and open space will be relocated. Nonnative trees that were planted as part of the golf course will not be mitigated for. There were no historical trees onsite, dating back to aerial analysis dating back to 1947. Based upon the fact that there is no habitat onsite, the applicant is proposing to plant the lakes with littoral plantings along the Public Greenway Park along the south side of the property. These littoral planting areas provide foraging habitat for native birds.

4. Provide maximum opportunity for application of innovative site planning concepts to the creation of aesthetically pleasing environments for living on properties of adequate size, shape and location;

Response: Innovative site planning concepts have been incorporated within the design of the community in order to provide public benefit to the City of Oakland Park. Based upon the efficient design of the development areas and the internal private road network, large areas of open space have been designed along the north, east and south perimeters. Through the use of locating and designing large open space tracts that incorporate scenic lake views, in certain locations, adequate transitions have been provided for the benefit of surrounding communities. Finally, an approximate 9 – acre Public Linear Greenway Park Area is proposed along the east and south property line. The purpose of this Linear Park is to provide connectivity to and is modeled after the linear park that is located to the several blocks to the south of the subject property on N.W. 39th Street. Seating areas, as well as an eight to twelve foot wide fitness trail will provide passive and active recreational opportunities to the public living in Oakland Park. The lakes that are located along this park, will include littoral plantings, at strategic locations, in order to provide passive recreational opportunities of bird watching, as one uses the seating areas proposed. The applicant has committed to have the Homeowner's Association maintain the proposed Public Linear Greenway Park system in perpetuity. This new Public Linear Greenway Park will provide public benefit through the public use of the property for passive and active recreational opportunities. The intent of this land area is to provide additional linkages and consistency with the linear park located on N.W. 39th Street.

5. Ensure that development will occur according to limitations of land use, site design, population density, building coverage, improvement standards and construction phasing authorized through the approval of a master development plan;

Response: The applicant is proposing a land use plan amendment to Irregular Residential Density Area, with a cap of 2.88 dwelling units per acre. This proposed density cap is compatible and is also the lowest density in comparison with surrounding densities. The requirements of the Planned Unit Development Zoning District, that is proposed with this application, requires a minimum of 35% Open Space, which the proposed Site Plan meets with a combination of landscape areas, open space, common areas, certain lakes and the proposed Public Linear Greenway Park. The overall building coverage for the property meets the required 30% site maximum within the code. Based upon the fact that the site design is providing large land areas for perimeter greenways and public use, efficient design and maximization of remaining development area has been incorporated within the design of this proposed community.

Utilization of a variety of home types and lot sizes, which is allowed within a Planned Unit Development District, provides the opportunity to have less development area and to allocate more land for open space. This limitation of development area provides the opportunity for the Public Greenway Park along the south and east portion of the property. The Land Development Regulations Section of this document addresses specific lot coverages for the home sites, within the community. From a land usage perspective, the property is a closed golf course, in which in the past residents of Oakland Park had to pay in order to utilize the golf course area. The Oak Tree Planned Unit Development provides for open space park opportunities that will be accessible by the residents of Oakland Park, without having to pay a fee for access. This is accomplished through the proposed usage of approximately nine (9) acres of public park, within the P.U.D.

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6. Ensure that development will occur within the guidelines and intent of the Oakland Park Comprehensive Plan. Planned unit developments are equally adaptable to new development, redevelopment and conservation of land, water and other City resources.

Response: The Master Development Plans, submitted as part of the Planned Unit Development application, will meet all guidelines and intent of the 2018 Oakland Park Comprehensive Plan and Land Development Code. Some of the items, within the Comprehensive Plan, that will be addressed with this application include how the community will meet City concurrency requirements, indicate how the property will be consistent with the minimum Federal Flood Insurance regulations and provide quality and safety of housing and neighborhoods. In addition, the Planned Unit Development Zoning District allows for flexibility, in which the applicant can propose Land Development Regulations that are site specific for this residential community. Appropriate Land Development Regulations and Land Use Regulations are evaluated on an individual development basis, after considering the type of character of the development by the City Commission upon recommendation of the Planning and Zoning Board. In addition, per Article IV of the code, the intent of the PUD Zoning District is to provide greater amount of flexibility by removing some of the detailed restriction of conventional Zoning. Where conflicts exist between the requirements of the City's 2018 Land Development Regulations, other applicable codes of the City, and the requirements of the proposed Oak Tree PUD design guidelines, these PUD guidelines shall govern. The Planned Unit Development District provides the opportunity to redevelop this property, utilizing efficient design, smaller lots and proposed setbacks, which provide the opportunity to create usable public open space (linear Public Greenway Park). The previous closed golf course was usable only to players who paid to play the golf course.

B. Land Use and Design Regulations of PUD:

1. Minimum size of planned unit development: All planned unit developments shall contain a minimum of ten (10) acres of contiguous land.

Response: The subject property exceeds the minimum acreage requirement, since it is approximately 140.7 gross acres.

2. Maximum density: The total number of dwelling units permitted in a planned unit development shall not exceed the total number of units permitted by; the Oakland Park Future Land Use Map for the subject area.

Response: The applicant has a concurrent Land Use Plan Amendment application being reviewed, by the City of Oakland Park, which proposes to cap the density at 2.88 dwelling units per acre. This PUD and Site Plan application is consistent with this density cap. See Exhibit 1 for proposed Land Use Map. The Land Use Plan Amendment application (and associated density cap) was approved by Broward County Board of County Commission at the June 4, 2019 adoption hearing, Ordinance 2019-17.

3. No minimum lot size shall be required within a planned unit development.

Response: The applicant is proposing a mix of single family detached home styles, as well as, a mix of single family attached townhome styles. Land Development Regulations are proposed within this PUD document that regulate siting for each housing type. The applicant is proposing a wide range of housing opportunities for all levels of prospective home buyers, coming to Oakland Park to purchase new home construction. The single family detached home lots will be from forty (40) to sixty - seven (67) feet in width. The varied lot sizes provide a wide range of housing types to attract young professional families to the City of Oakland Park. Entry level buyers can purchase a single family attached townhome or can purchase a single family detached home, in one of the three lot width offerings (40,' 53' and 67' widths) based upon the size of their family. This type of internal move up purchase provides the opportunity for a prospective home buyer to live in this community and purchase a new home for their family as their family grows, without having to leave the community and the City.

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Each of the forty (40) and fifty - three (53) foot lot widths are not segregated into its own location or pod. Rather, the forty (40) and fifty - three (53) foot lots will be interspersed throughout the community and will provide for a diversification of the streetscape, internal to the community. The sixty - seven (67) foot lots are clustered along the north area of the property, per a Neighborhood Participation meeting with the north community, Oak Tree Estates. In addition, the sixty - seven (67) foot lots are located along the north in order to serve as a density transition from the north Oak Tree Estates community, which has a zoning designation of R-1.

This variation in lot widths will provide the variation necessary so that this new community will not have issues with monotony and provide for a varied, attractive streetscape. Several floor plans are offered for each lot width. Each of the floorplans have the option to be constructed in several different elevations, further providing more interest and less monotony within the streetscape. Pulte has committed to restricting the two – story forty (40) foot homes to have no more than four (4) in a row. This will further provide variation for the streetscape. Finally, from a lot layout perspective, in order to limit the visual impact of the smaller lots and side yard setbacks, almost thirty (30) percent of the forty (40) foot lots have been site planned to be located either next to a drainage easement or open space tract. In addition, the side yard setbacks for the fifty – three (53) foot lots are six and a half foot minimum. Per the City of Oakland Park Code, the purpose of a Planned Unit Development is to allow for a series of requirements, which provides, "...a greater amount of flexibility by removing some of the detailed restrictions of conventional zoning."

Also, this district "allows diversification of uses, structures and open spaces...through a more efficient use of land and a smaller network of utilities and streets." By proposing smaller lots and creating efficiencies within the development area, larger areas of useable open space can be allocated within the community. Also, the efficient design is the mechanism which allows the project to meet the Planned Unit Development minimum open space requirements of thirty-five (35) percent. The smaller homes are interspersed to the south of the spine road and serve as a transition to the higher density community of Lake Emerald.

4. No minimum distance between structures shall be required within a planned unit development. The appropriate distance between structures shall be evaluated on an individual development basis, after considering the type of character of the current structure types within a development by the City commission upon recommendation of the planning and zoning board.

Response: The applicant is proposing Land Development Regulations, within this PUD application package. The proposed Land Development Regulations provide for lot designs that are attractive to today's homebuyers seeking properties that are low maintenance to match an active lifestyle. Today's homebuyer's are looking for smaller lots to reduce maintenance costs and time devoted to maintaining yards. Instead, the areas typically devoted to larger setbacks are instead used to increase the common open space tracts in other parts of the community that can be utilized by residents and maintained by the homeowner's association. Efficient design provides for allocation of space for a community clubhouse, which provides active recreational opportunities, as well as, a community gathering area.

The Land Development Regulations allow for prospective homebuyers to enjoy private outdoor areas within their lots, but also provide homeowners direct access to private recreational amenities and community open space areas, within the community. The 40' single family detached home lots will have five (5) foot minimum side setbacks, which provide for ten (10) feet of separation between homes or more if adjacent to a wider lot or an open space. This single family lot design is in response to feedback from prospective home buyers looking to purchase patio homes, similar to zero lot line home without having the home sit on one lot line. Typically, zero lot line homes / patio homes are limited on the type and amount of windows on the zero side of the home. Units centered on lots also allow landscape on both side of the home. In utilizing a side yard on both sides, windows can be provided on both sides of the homes providing additional natural light. In addition, smaller yards are proposed to address the desire of prospective home buyers having less yard area for maintenance. The 53' single family detached home lots will have six and a half (6.5) foot minimum side setbacks, which provide for thirteen (13) feet of separation between homes.

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Finally, the sixty - seven (67) foot single family detached homes also utilize a 6.5' minimum side yard setback.

Finally, since the Planned Unit Development District provides the ability to provide efficient development area for residential lots, a Public Linear Greenway Park of approximately 9 acres is proposed for active and passive recreational opportunities. Private residents of this community will have access to this park as well as other citizens of Oakland Park.

5. Each dwelling unit or other permitted use shall have access to a public street either directly or indirectly via an approach, private road, pedestrian way, court or other area dedicated to public or private use of common easement guaranteeing access. Permitted uses are not required to front on a dedicated road. The City shall be allowed access on privately owned roads, easements and common open space to insure the police and fire protection of the area, to meet emergency needs, to conduct City services and to generally insure the health and safety of the residents of the planned unit development.

Response: The applicant is proposing internal private streets, which will be the maintenance responsibility of the future homeowners association. The design of the vehicular access ways will meet certain City of Oakland Park minimum required design criteria for vehicular access within the proposed residential community. Specifically, a minimum of 20' of pavement for vehicular use is proposed within the proposed vehicular cross section for the community, which meets the minimum City Fire Department pavement requirements. City services, such as Fire and EMS, will have access through the private vehicular residential gate systems, at each entrance, with the use of Knox Boxes at each entrance. A Siren Operated System (S.O.S.) will also be incorporated at each entrance which has vehicular access gates for emergency access. Emergency access points located on N.W. 21st Avenue and N.W. 44th street will have gated access with Knox lock. Access easements for these private roads, for the benefit of the City of Oakland Park, will be provided, via separate instrument, to provide access for EMS and utility maintenance purposes.

The private entrance ways will be designed in a manner that will ensure safe access to surrounding public access ways. Proper stacking prior to gates will be incorporated into designs to ensure safe vehicular access. The site also takes into consideration the required right of way dedications along the east and south property line, as required and shown by the Broward County Trafficways Plan. Site Plan design will adhere to the requirements of the City code, except as explicitly indicated within the Planned Unit Development document submitted with this application. Specifically, the community is proposing a different maximum length of dead end street. However, in exchange for proposing longer dead end streets, the applicant is proposing a cul de sac which exceeds the minimum code requirement of seventy (70) feet in diameter. Cul de sacs will be designed to be one hundred (100) feet in diameter, which exceeds the code requirement by thirty (30) feet.

6. Internal streets: There shall be a setback of not less than twenty-five (25) feet in depth abutting all public road rights-of-way within a planned unit development district.

Response: No public roads are proposed within the PUD.

7. External streets or boundaries: There shall be a peripheral landscaped setback from boundary lines of the planned unit development of not less than twenty-five (25) feet in depth.

Response: The required minimum of 25' for a peripheral landscape setback, adjacent to all boundaries and public rights of way is exceeded on the proposed Site Plan. The minimum landscape buffer width, within the entire P.U.D., is twenty-five (25) feet and is located in the southwest quadrant of the property. Perimeter landscape buffers of 60' in width are proposed along the adjacent public roadways. A minimum of fifty (50) feet of open buffer area is proposed along the north property line and the adjacent lake.

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8. Maximum length of structures: No maximum length of structures shall be required within a planned unit development district.

Response: The applicant is proposing a mix of single family detached homes and single family attached townhomes. The single family attached townhomes are in configurations between 4 and 8 - unit residential buildings. Two different single family attached townhome widths are proposed:

twenty (20) foot width and twenty-four (24) foot width. Therefore, the maximum length of single family attached townhome structures is one hundred ninety - two (192) feet.

9. Maximum height of structures: No maximum height of structures shall be required within a planned unit development. The City Commission upon recommendation of the Planning and Zoning Board shall determine the appropriate height limitations on an individual development basis after considering the character of the surrounding area, the character of the proposed development, and the goals for community development as stated in the Oakland Park Comprehensive Plan.

Response: The applicant is proposing a mix of single story housing types and two story housing types. Maximum height for all housing types will be two – story. Single family detached homes will have a maximum height of twenty – nine (29) feet. Single family attached townhomes will have a maximum height of thirty (30) feet. Maximum height is measured to the highest point of the roof.

10. Minimum floor area requirements: The minimum floor area per dwelling unit shall be as follows:

Single-family unit = 1,100 square feet

Two (2) bedroom, multifamily = 750 square feet

Each additional bedroom = 125 square feet

Response: The proposed home styles will meet the minimum floor areas required. The smallest single family detached home style has a square footage of 1,861 square feet. This home style is offered on the 40' single family detached home lot widths. This square footage exceeds the minimum floor area requirements (1,100 s.f.). A table is indicated within the site development plan set detail sheet; which provides a summary of the home style names, square footage information and which lot widths a particular home style is offered. The smallest single family attached townhome style has a square footage of 1,814. This home style is offered within the 20' single family attached townhome style. This square footage exceeds the minimum floor area requirements (875 s.f. for three bedroom multi-family).

11. Building site coverage: The combined ground area occupied by all principal and accessory buildings shall not exceed the following:

Single and two story = 30%.

Where buildings of different height are to be constructed on the same building site the combined ground area occupied by all principal and accessory buildings shall not exceed the weighted average of the applicable building site coverages indicated. If the developer/applicant demonstrates to the satisfaction of the City that greater building site coverage is desirable due to the character of the proposed development, the character of the area surrounding the proposed development, and the City goals and objectives for growth and development, the City may allow greater building site coverage than that permitted above.

Response: The stated purpose of the PUD District is to plan and develop large tracts of land as a whole. In this case, the property is approximately 140.7 gross acres and is designed with private open space on each lot, a community recreation center and large expanses of open spaces to be enjoyed by the residents of the PUD, as well as the community as a whole. Some of these open space areas are used to accommodate the storm water drainage for the PUD. Within the Land Development Regulations, provided with this document, the applicant is proposing specific lot coverages for each residential lot type, based upon the fact that several home options are provided in each housing type for prospective home buyers. Specific lot coverage, for each lot size, is defined within the Land Development Regulations. In addition, the 30% building site coverage is not exceeded for this PUD as a whole. Within the P.U. D. Master Development Plans, calculations indicate that the total site building coverage is approximately 18% and is below the threshold.

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The maximum building footprint envelope based upon proposed setbacks was utilized for the calculation. Based upon the fact that we are proposing a specific number for each single family detached home lot width, the calculation was based upon maximum envelope times the total number of units per lot width. Actual home styles purchased on each lot will be determined by prospective home buyers. Actual home style footprints will most likely be less than the maximum building envelope utilized for this calculation. Therefore, the actual overall number will be less. The onsite private clubhouse footprint was also utilized for the calculation as well and is indicated within the plan set information.

12. Off-street parking and loading requirements: Off-street parking and loading requirements shall meet all the requirements of article VI, except as provided in this section.

Response: Single Family detached homes will have 2 garage spaces and two driveway spaces. For the purposes of determining the number of required parking spaces, only two parking spaces per single family unit are counted. Guest parking in the single family detached home neighborhoods will be allowed, for temporary uses, along the sides of the private roadways, but outside the 20' wide clear paved streets. Guest parking is to be within the swales/gutters which will allow for fire access in the event of an emergency. Swales are four (4) feet in width, along with the two (2) foot gutter, allows for twenty (20) feet of clear pavement for emergency access. Language in the homeowner's association documents will prohibit long term and overnight parking along these roadways. Towing will be posted and enforced, per homeowner association document language. Certain single family attached townhomes will have a single car garage along with two driveway spaces. A minimum of two (2) parking spaces will be provided for each single family attached townhome. In addition, guest spaces are proposed within the single family attached townhome parcel either in parking tracts along the roadway (parallel or head in), as well as overflow provided within the adjacent primary recreation facility. A total of seventy – four (74) guest spaces are provided in the parking tracts along the roadway within the single family attached townhome parcel on the current plan. The primary recreation facility will provide for 1 space per 300 square feet of proposed clubhouse.

13. Landscaping: All landscaping shall meet the requirements of Article VIII.

Response: The landscape plans submitted with this application will meet the requirements of the Oakland Park Code, Article VIII at the time of adoption of this PUD, except as provided herein. Internal private streets will be designed with a 25' x 25' safe sight triangle. Street trees will not be planted within road right of way tracts in order to avoid utility conflicts within a proposed 42' residential access street tract. Rather, the street trees will be planted within a residential lot. This location alleviates long term issues with utility conflicts. This concept also addresses homeowner concerns at time of community turnover for long term pavement issues for adjacent roadways and walkways. This location still allows for shade on the sidewalk as the tree matures. Tree Preservation requirements will be addressed with the Tree Inventory Plan, submitted with this application, which will assess the existing native trees onsite. Exotic vegetation will be removed as provided within the City code. Nonnative trees that were planted as part of the golf course will not be mitigated for. There were no historical trees onsite, dating back to aerial analysis dating back to 1947. Landscaping along the Public Linear Greenway Park, along the east and south property line, will have clustered areas that will allow for views and vistas across the lakes that are adjacent to the Linear Park. No continuous hedge material is proposed.

14. Underground utilities: Within the planned unit development, all utilities including telephone, television cable and electrical systems shall be installed underground.

Response: All proposed internal utilities within the proposed residential community will be underground.

15. Open space requirements: A planned unit development shall provide and maintain open space at least equal to thirty-five (35) percent of the gross area of the planned unit development exclusive of lakes, lagoons or other waterways. In calculating open space, land areas for structures, public and private street rights-of-way, driveways, off-street parking and loading zones, alleys, fire protection vehicular access and yards and spaces between single-family residential buildings shall

not be included. Depending upon the characteristics of a planned unit development, the City may allow credit for lakes, lagoons or other waterways, such credit not to exceed forty (40) percent of the required open space. The required open space shall be designed for both active and passive recreational needs acceptable to the City. In planning active recreational facilities consideration should be given for the inclusion of swimming pools, tennis courts, baseball fields, playgrounds, tot lots, etc.

Response: The proposed Site Plan meets the minimum required 35% open space. An exhibit is included with the P.U.D. Master Development Plan set, which provides for details and tabulation of the open space calculations. The only lake surfaces utilized for the proposed open space calculations are the lakes adjacent to the Public Linear Greenway Park, since they serve a Public Benefit. The total water surface (along the Greenway Park) that will count towards the required open space is 27 percent, which is below the 40% maximum that can be requested to be allocated to open space according to Code. The lakes that are proposed along the approximately 9 acre Public Linear Greenway Park, along the south property line of the community, will provide passive recreational opportunities. An eight (8) foot to twelve (12) foot public fitness trail is proposed within this linear park to provide active recreational opportunity, such as walking, biking or jogging. The fitness trail is wider (12') in certain areas to avoid conflicts with bicycle and pedestrians. The twelve (12) foot public fitness trail is proposed within the Public Linear Greenway Park along N.W. 44th Street frontage, east of the secondary resident only entrance. Bench areas are provided, in key locations, along the trail to provide passive recreational opportunities and enjoyment of the vistas across the lakes. Littoral planting areas will be provided within the lakes adjacent to the seating areas to provide passive recreational opportunities for bird watching and observing nature foraging within the littoral planting areas.

All open space areas indicated will be the perpetual maintenance obligation of the to - be - formed homeowners association (H.O.A). This H.O.A. will also maintain the approximately 9 acre Public Linear Greenway Park along the east and south property line. Several other passive recreational opportunities will be programmed within the smaller neighborhood parks that are within the community. The residential community will have a private primary recreation amenity parcel, which is approximately 2.5 acres. This parcel will provide active and passive recreational opportunities for residents. The active component will be programmed through a fitness center, which will be located inside of the clubhouse. The clubhouse will have various meeting rooms and general rooms in which residents can have other passive recreational opportunities and areas to congregate and socialize. A community pool will also be provided for residents for activities such as swimming (active recreation) and socializing with other residents (passive recreation and gathering). The other internal smaller neighborhood parks / open space areas will be for passive recreational opportunities. Shaded walkways and benches will be provided for passive recreational opportunities in the neighborhood parks.

The open space parcel in the northwest quadrant of the property will be programmed for passive and active recreational opportunities for residents of the adjacent Oak Tree Estates community. A fitness trail will provide for active recreational opportunities, such as walking and jogging. At a later date and through separate instrument recorded in the public record, per the private agreement that Pulte has with the Oak Tree Estates Homeowners association to the north, a portion of the property directly south and adjacent to Oak Tree Estates property line including the open space parcel in the northwest quadrant of the property will be deeded to the Oak Tree Estates community for use as open space / common area. The private agreement between Pulte and Oak Tree Estates references the perpetual maintenance of this property, upon being transferred. There are financial contributions for maintenance of this property within the agreement.

16. Internal circulation: An internal pedestrian and bicycle circulation system shall be provided within the planned unit development separate from each other and from vehicular circulation systems and at a distance sufficient to ensure safety. Such pedestrian and bicycle ways shall be surfaced with a durable and dustless material. The City may waive this requirement at the request of the applicant for design, safety or other good reasons.

Response: The applicant is proposing a 5' walk along each side of and within the tract of all internal private streets, which will provide for safe connections throughout the community. Crosswalks, will be provided internally so that residents have safe connectivity to surrounding public walkways. The primary spine road that runs east west into the community will have sidewalks on both sides. In addition, both entrances will also have walk ways on both sides to connect to the surrounding public walkway connections. Secured pedestrian connections will be provided with pedestrian gates, which will utilize a key fob or security punch code system. A 5' separate asphalt bike path is provided along the south side of the central spine road. This walk along the south side of the spine road will transition to the south walk at the primary entrance onto Prospect Road. This multi-use connection has been designed to be eight (8) feet in width. The purpose of this increased width is to provide for multimodal combined pedestrian and bike connection to the surrounding eight (8) to twelve (12) foot fitness trail. This fitness trail provides the opportunities and linkages to surrounding Broward County Transit bus stops. The transit stops are indicated on the Pedestrian Connectivity plan within the Master Development Plan set. The closest Broward County Transit stops are approximately ¼ to ¾ mile from the primary entrance.

Residents will use both the street and adjacent walkways for bicycle access. Broward County Complete Streets program, which is applied to the surrounding public roadways, does not apply to private streets. Rather the internal walks will transition to the surrounding multi-modal connections, through a wider eight (8) foot walk at the entrances to the community. This wider walk will transition into the surrounding eight (8) foot to twelve (12) foot wide fitness trail, within the Public Linear Greenway Park. The twelve (12) foot public fitness trail is proposed within the Public Linear Greenway Park along N.W. 44th Street frontage, east of the secondary resident only entrance.

The dead – end cul de sacs are low traffic. Street trees will be planted on the residential lots and will provide shade for adjacent walks on both sides of these roads. The trees will also aid with heat island reduction. A pedestrian connectivity plan is provided within the Master Development Plan set, which indicates all internal pedestrian walk areas and how and where they connect to surrounding walkways and multimodal opportunities.

17. Energy conservation measures in its site design in accordance with Chapter 13, Florida Building Code. Such measures shall include, but need not be limited to, the directional orientation of buildings conservation: A planned unit development shall incorporate passive, the location of windows, minimization of radiant heat absorption and the inclusion of energy-efficient landscaping.

Response: The single family attached townhome and detached housing types will adhere to the requirements of the 2018 Chapter 13 Florida Building Code. Homes will be constructed with appliances that meet the Energy Star ratings for efficiency as required by Federal Government regulation. Window treatments and insulation will also meet the standards required within the 2018 Florida building Code Chapter 13. LED lights are specified in all homes, which are more energy efficient. Low E windows, as well as R-30 insulation is utilized in the construction of homes to further provide more energy efficiency. Fifteen (15) SEER air conditioning units are also constructed with the homes. In addition, lot landscaping with palms and trees will be provided in order to shade residential buildings from heat impacts. In addition, native plant material will be incorporated into landscape designs to utilize sustainable design elements and low maintenance. Radiant heat absorption is addressed with the use of less pavement, within the community. Less pavement reduces the amount of heat reflection and also provides more opportunity for water recharge.

18. Professional services required: Any plans submitted as a part of a petition for a planned unit development shall certify that the services of competent professionals were utilized in the designing or planning process and shall state their names and businesses and addresses. Plans submitted as part of a petition for a planned unit development must be prepared by either a planner who by reason of his education and experience is qualified to become or is a full member of the American Institute of Certified Planners, or an architect licensed by the State of Florida, together with a professional engineer registered by the State of Florida and trained in the field of civil engineering, and/or a land surveyor registered by the State of Florida.

Response: The design team that has submitted all relevant plans are professionals with the necessary experience to file this application. Team members are either members of relevant professional organizations or licensed for their relevant disciplines.

Section II: PUD – Planned Unit Development Program

A. Community Vision

The proposed Oak Tree Residential Community has been planned as a suburban community on a +/-140.7 gross acre area with an emphasis on walkability, convenience and housing variety. Walkability will be created by a network of sidewalks and paths, which will connect all of the various parts of the community together and minimize conflicts between pedestrians, bicyclists and automobiles. To minimize conflicts with automobiles, a separate multi-use bike path and walkway is proposed along the south spine road. This path will widen to eight (8) feet at the entrance on Prospect Road in order to provide multi-modal connections to surrounding public walkways and Broward County transit stops. Convenience will come from the close proximity of homes to the centralized community recreational facility, as well as connections to the proposed new perimeter Public Linear Greenway Park. Having the recreation facilities centralized, will promote walkability and will result in less vehicular traffic on surrounding roadways. A wide range of housing choices will be offered in this community, with each having a different lot size and a wide variety of home designs to promote a living environment consistent with the emerging market demand in the City of Oakland Park. The wide range of housing types will provide greater variety for all prospective buyers looking to move to Oakland Park and purchase new fee simple construction. The single family attached townhomes will be attractive to entry level young professional buyers. The same buyer will be afforded opportunities to purchase a single family detached home, as their families grow and without leaving the community.

B. Pedestrians

All internal residential neighborhood block areas will be connected by a comprehensive sidewalk path system. One side of the main entry boulevard will have a multi-use path (bicycle and pedestrian to connect to surrounding public walkways and bikeways, and the other side will have a sidewalk. All internal private local streets will have 5' wide sidewalks on each side to provide connectivity, within the residential community. The walkways will provide safe and secured access through the entrances to surrounding public walkways, bike paths and to the proposed new Public Linear Greenway Park proposed. Bike racks will be located at the Primary Recreation facility, further promoting multi-modal transportation and less vehicular traffic. Linkages are provided to the external public walkways in order to have direct access to surrounding Broward County Transit stops. Transit stops are located $\frac{1}{4}$ to $\frac{3}{4}$ miles outside of the community and will provide more multimodal transportation opportunities to the new community.

C. Proposed Development Use

The proposed Oak Tree Residential Community consists of a variety of housing types tailored to meet the needs of the home buying public, including large lot estate home sites, conventional single family home sites, as well as single family attached townhomes. A maximum of 405 home sites are proposed for the community, at an overall density of 2.88 units per acre. This new housing will address and meet the projected population increase to the area and will provide new home construction for prospective buyers. Areas within the community have been reserved for temporary uses such as sales offices and/or model units as deemed necessary by the home builder. In addition, private recreational facilities will be provided for prospective residents, so that they will have recreational opportunities internal to the development and reduce external vehicular trips. Both active and passive recreational opportunities are programmed within the community. A detailed summary is provided later within this document.

PUD**D. Site Information**1. P.U.D. Master Site Development Plan:

TOTAL NET SITE AREA	139.16 Ac
Open Space (Approximate)	± 49.28 Ac. (35%)
Primary Rec Area	± 2.51 Ac. (5%)
Oak Tree Open Space Area / Buffer Area (North Area)	± 14.62 Ac. (30%)
Open Space Areas (South Open Space Areas, Lake Slopes & Internal Neighborhood Parks)	± 7.45 Ac. (15%)
Buffer Tract Areas (West Buffer & Entrance Buffers)	± 2.24 AC. (5%)
Lake Tracts Along Public Linear Greenway Park*	+/- 13.21 (27%)*
Public Linear Greenway Park Area (South & East)	+/- 9.25 Ac. (18%)

*13.21 acres is the water surface area that is located along Public Linear Greenway Park. This is the only lake surface area that is being requested to be counted towards the open space calculation. At 27% of the required open space, this area does not exceed the 40% maximum amount that can be requested under the Land Development Code. The Open Space Areas of the PUD are identified on OSE-1, Final Site Plan Sheet #4 of the Master Development Plan Set.

E. Maximum Density/Intensity

Use	Proposed
Residential	405 Homes 2.88 du/ac

F. Drainage Statement

See Exhibit 2

Section III: Design Guidelines and Land Development Regulations**A. Purpose and Intent**

The design guidelines set forth in this section are the standards, to be utilized for the planning and design of the entire Oak Tree Planned Unit Development. Where conflicts exist between the requirements of the City's 2018 Land Development Regulations, other applicable City codes, and the standards of the Oak Tree PUD design guidelines, these PUD standards shall govern.

B. Implementation

1. All land included in the Oak Tree Residential PUD shall be subject to a document recorded in the public records of Broward County, which shall provide, among other things, formation of a property owners association and automatic membership in the master association by any party holding title to any portion of the property. This association will be created to manage the common areas, private roadways and amenities, within the community. Private roadways will have public access easements to provide the City access for emergency purposes and to access City owned utilities for maintenance purposes via separate instrument recorded in the public records.
2. The developer reserves the right under this development order to modify any of the design criteria established, and to modify housing types within the established density cap of 2.88 d.u. /ac. With approval by the DRC for minor changes and with approval by the City Commission for major changes.
3. Minor changes: The Development Review Committee may approve changes and deviations from the approved master development plan if meets all criteria below:
 - There shall be no substantial increase in traffic impact approved by the City Commission.

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- No change to location of driveway external connections.
 - Phase line additions or modifications that are consistent with intensity and density approved by City Commission.
 - Lot line relocations are considered minor changes provided the total number of 67' single family detached residential homes do not decrease. Lot line relocations from 40' to 53' single family detached residential homes is considered a minor change. Lot line relocations from 53' to 40' single family detached residential homes (increase in 40' residential lots) is considered a major change. In no case shall the number of single family attached homes / townhomes increase, without City Commission approval.
 - A 10% deviation of any standard contained within this P.U.D.
 - 1. Exclusions to this deviation include side yard setbacks, maximum height and the total number of units.
 - Recreational Parcel revisions / amendments, including clubhouse redesign that will not reduce the clubhouse footprint by more than 10%.
 - Community entry monument design revisions.
4. Earthwork & clearing: After site plan approval and following issuance of the required Tree Removal License the Developer will have the ability to clear, grub and grade the property. Such permits will be issued prior to the release of any other City permits, i.e. utility permits.
- Excess fill removed in accordance with required site permits not considered mining.

C. Principal Uses & Structures

1. Residential

a. Single-family Residential Product Types are as follows: (See Exhibits 5 – 9)

- 1) Single family detached home less than 67' wide: Minimum lot width measured at front setback line. A two-car garage is provided, plus a front setback which provides two additional off street parking spaces in a driveway.
- 2) Single family detached home 67' wide or more: Minimum lot width measured at front setback line. A two-car garage is provided, plus a front setback which provides two additional off street parking spaces in a driveway.
- 3) Single family detached home lots on cul de sac / flag lots: Minimum lot frontage radial dimension of 22' at street lot line. Minimum lot width measured at front building/setback line. For example, if a single family detached home lot is a forty (40) foot lot, then the minimum lot width of forty (40) feet will be met at the front setback line.
- 4) Single family attached townhome: A single car or two-car garage is provided based upon location within the building configuration, plus a front setback which provides two additional off-street parking spaces in a driveway.

c. Model homes: Model Homes are allowed within the community as part of the home sale efforts, and include a mix of lot sizes, sales and design centers, parking, and office. A temporary road and parking lot to serve and access the models will be provided. Upon completion of sales efforts the temporary parking lot and access will be removed and a home will be constructed in its place for sale to prospective home buyers. Model homes will also be converted to sell for occupancy. Sales operations will either occur out of a model sales office or a temporary sales trailer. A Tri-Party Agreement with the City of Oakland Park and Broward County, which will allow for building permit issuance for models prior to plat

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recordation may be necessary. Temporary construction trailers will also be located within the community, as part of construction efforts. No additional site plan review is required for model homes, sales and design centers or construction trailers.

2. Recreation

- a. Common recreation areas, including a primary recreation parcel which will include a private clubhouse for use of the community, will be proposed internal to the community. This parcel will provide active and passive recreational opportunities for residents.
- b. Parking for the primary recreation amenity will be provided at 1 space per 300 square feet.
- c. The open space parcel in the northwest quadrant of the property will be programmed for passive and active recreational opportunities. A fitness trail will provide for active recreational opportunities, such as walking and jogging. At a later date and through separate instrument recorded in the public record, per the private agreement that Pulte has with the Oak Tree Estates Homeowners association to the north, a portion of the north quadrant of the overall property directly south and adjacent to Oak Tree Estates will be deeded to this community for use as open space / common area. The private agreement between Pulte and Oak Tree Estates references the perpetual maintenance of this property, upon being transferred. There are financial contributions for maintenance of this property within the agreement.
- d. Passive and active recreational opportunities will be provided for the general public, as well as private residents, along the Public Linear Greenway Park along the east and south of the property. An eight (8) foot to twelve (12) foot public fitness trail is proposed within this linear park to provide active recreational opportunities, such as walking or jogging. The twelve (12) foot public fitness trail is proposed within the Public Linear Greenway Park along N.W. 44th Street frontage, east of the secondary resident only entrance. In addition, passive recreational opportunities have been programmed within this park as well. Bench areas are provided, in key locations, along the trail to provide passive recreational opportunities and enjoyment of the vistas across the lakes. Littoral planting areas will be provided adjacent to the seating areas to provide passive recreational opportunities for bird watching and observing nature foraging within the littoral planting areas.
- e. All open space areas indicated will be the perpetual maintenance obligation of the to – be - formed homeowners association (H.O.A). This H.O.A. will also maintain the approximately 9 acre Public Linear Greenway Park along the east and south property line.

3. General Site Structures

- a. Water management facilities and related structures.
- b. Lakes, including lakes with bulkheads, or other architectural or structural bank treatments.
- c. Gatehouses, and vehicular and pedestrian access control structures.
- d. Neighborhood parks, recreational facilities and community centers.
- e. Temporary construction, sales, and administrative offices for the Developer and the Developer's authorized contractors and consultants, including necessary access ways, parking areas and related uses.
- f. Landscape features such as landscape buffers, berms, and fences,
- g. Benches, gazebos, and open space uses.

D. Accessory Uses / Structures

1. Accessory structures shall be limited to pergola, arbor, trellis, tiki hut, gazebo, and sheds no taller than 8 feet only if inside a fenced rear yard and not visible from a street or lake. See Setbacks Section for setback information. Recreational vehicle storage is not permitted on any portion of the development including individual lots and recreational grounds.

E. Maximum Residential Density / Minimum Lot Requirements

1. Single Family Attached Townhome & Detached Home:
 - a. The overall density will not exceed 405 units (2.88 D.U. /AC.).
 - b. Design criteria has been established for each of the following proposed residential housing types, to establish minimum setbacks, building separations, home site size and configuration to be utilized in the design and site planning of the residential tracts within the community: The design criteria for each type is detailed on the exhibits contained herein (Exhibits 5 – 9).

F. Building Height / Mass / Separation:

1. Residential
 - a. Single family detached home residential structures shall be limited to one or two stories. Single family detached homes will have a maximum height of twenty – nine (29) feet.
 - b. Single family attached townhome residential structures are limited to one or two stories. Single family attached townhomes will have a maximum height of thirty (30) feet. Single family attached townhome residential structures shall be limited to not more than eight (8) contiguous townhouse dwellings. Single Family attached townhomes will be configured in either four (4) to eight (8) unit building configurations (excluding the model which is a two (2) unit single family attached (townhome). Based upon the fact that single family attached townhomes will be either twenty (20) or twenty – four (24) foot widths, the maximum length of the buildings will be one hundred ninety (192) feet. The minimum building separation is fifteen (15') feet. See Property Development Regulation Exhibits.
2. Building height is defined as the vertical distance from grade to the highest finished roof surface or ridge of a flat or sloped roof. Grade shall be taken as the average level of the ground adjoining a building line, or the first floor level, whichever is lowest. Height shall exclude chimneys, cupolas, elevator shafts, and the like. Maximum building height for all buildings within the PUD will be two - stories.

G. Lot Area Coverage

1. Maximum Lot Area Coverage for Residential Lots is defined as the maximum amount of the ground floor roofed area (excluding the roof overhang up to one and a half (1 ½') foot beyond the walls or column post alignment of the structure) of a building or structure, expressed as a percentage, of an individual residential lot.
 - a. Single Family Detached Home: The maximum lot coverage area for a single-family detached home lot is 65%.
 - b. Single Family Attached Townhome: Single family attached townhomes are exempt from the maximum lot coverage requirements.

H. Maximum Impervious Area

1. Maximum impervious surface area per lot shall not exceed 70%.

I. Minimum Living Area

1. Residential: The minimum living area for any residential dwelling within the PUD as required by City Code is provided below. The actual minimum living area square footage will exceed the minimum requirements below.
 - a. Single-family unit = 1,100 square feet
 - b. Two (2) bedroom, multifamily = 750 square feet
 - c. Each additional bedroom = 125 square feet

J. Setbacks and Buffering

The purpose of the site development standards shall be to establish development standards and provisions as are appropriate to ensure proper development unique to the PUD as established by the PUD Master Development Plan.

1. Residential:
 - a. Single Family Detached Homes: Minimum building setbacks and driveway setbacks for each housing type are detailed in the exhibits herein (Exhibits 5 – 9).
 - b. Single Family Attached Townhomes: Minimum building setbacks and driveway setbacks for each housing type are detailed in the exhibits herein (Exhibits 5 – 9).
 - c. Residential Lot Amenities: Setbacks for residential lot amenities, such as pools, spas, screen enclosures or patio structures are detailed in the exhibits herein (Exhibits 5 – 9).
 - d. Accessory Structures: Setbacks for accessory structures; pergola, arbor, trellis, tiki hut or gazebos, or as otherwise provided for in this document, will be setback with a side setback that will match the primary structure on the residential single family lot it is located on and a rear setback of five (5) feet.
 - e. Mechanical Equipment / Structures: Permanent generators are not permitted within the side yards of the residential homes. Permanent generators to have the same rear yard setback as required by the lot regulation it is located on. Air conditioning mechanical equipment, and pool / spa equipment to have a side yard minimum setback of one (1) foot to two and a half (2 ½') foot, depending on lot size. See Exhibits 5 -9.
 - f. Lot Perimeter Treatments: Fences, and retaining walls are exempt from setbacks requirements, but may not be located within any retention area.
 1. Fences permitted on residential lots shall be decorative aluminum fence or white PVC material up to a six (6) foot maximum height.
 - a. Fences shall be located a minimum of five (5) feet from the front façade of residential home and shall not be permitted forward of the front facade or in the front yard.
 - b. Mixing of both fence material, aluminum and PVC, on a residential lot is prohibited.
 2. Decorative aluminum fences are the only fence material permitted on residential lots that front on lakes. White PVC fence material is not permitted on lake front lots.

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g. Setback Encroachments:

1. Front porches are permitted to encroach up to six (6) feet into the required front setback.
2. Sills, columns, architectural ornamental feature, chimneys, eaves, awnings, belt courses, cornices, eyebrows, balconies, bay windows, hurricane shutters are permitted to encroach up to three (3) feet into required setbacks.

K. Off-Street Parking and Driveway Requirements

1. Single family detached homes will have minimum 2 garage spaces and two driveway spaces. No parking is permitted, within the paved street, but guests may temporarily park off the street in the combined swale and gutter in order to allow for fire access in the event of an emergency. Swales are four (4) feet in width, along with the two (2) foot gutter leaving a twenty (20) foot-wide clear paved street for emergency access. Parking other than in private driveways and garages shall be limited to temporary and no overnight parking is permitted. Overnight parking in the designated temporary guest parking areas is prohibited within the homeowner's association documents. The twenty (20) foot pavement width meets the minimum criteria for City of Oakland Park Fire emergency access. The homeowner's documents will have strict requirements for parking along the road and will be enforced with towing, should overnight and long term parking occur.
2. Certain single family attached townhomes will have 2 garage spaces and two driveway spaces, with the tandem parking spaces (garage & one driveway space) counting as one space. Two spaces per unit will be provided.
3. Certain single family attached townhomes homes will have a single car garage along with two driveway spaces, with the tandem parking spaces (garage & one driveway space) counting as one space. The remaining one driveway spaces is counted toward the parking requirement. Two spaces per unit will be provided. In addition, guest spaces are proposed within the single family attached parcel either in parking tracts and or common areas along the roadway (parallel or head in) as well as overflow provided within the adjacent primary recreation facility.
4. Single Family detached home styles to utilize a 2.5' minimum driveway setback from any property line.
5. The primary recreation facility will provide for 1 space per 300 square feet of proposed clubhouse.

L. General Development Standards

1. Roadways: All road tracts within the development will be private, and be maintained by the Home Owner Association(s).

Street	ROW Width	Pavement Width	Design	Sidewalks	Median
Local	42'	20'	Curb and Gutter	5'	None

- a. All internal private roadways intersections to have a 25' x 25' sight triangle as measured at the road tract.
- b. All internal private roadways that are dead end streets will be designed with a cul de sac, which will meet City of Oakland Park Fire Department requirements. With the proposed cul de sacs, internal dead end streets are to have a maximum length of six hundred (600) linear feet, along with an outside turning radius of fifty (50) feet.

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2. Finished Floor Elevation:

- a. The minimum finished floor elevations will be located at or above one foot over the elevation designated on the FEMA Flood Insurance Rate Map. Garages will be at or above base flood elevation or add garage flood vents (Drain flood water from coming into livable floor area elevation). Should no base flood elevation apply, or after a Letter of Map Revision (LOMAR) completed, finished floor elevations will be a minimum 18" over crown of adjacent road. Garage elevations will vary.

3. Pedestrian Connections:

- a. The Oak Tree Residential PUD shall have safe pedestrian connections to all parcels within the PUD and to surrounding areas.
- b. Walkways, within vehicular road tracts, are to be a minimum of (5) five feet in width.
- c. Pedestrian crossings at vehicular non-stop locations shall be clearly delineated by the use of striping, or decorative concrete pavers. Curb cuts are to be provided at all vehicular areas.
- d. Areas shall be designated for bicycle parking to allow a minimum of (10) ten bicycles at the primary recreation center.
- e. The primary spine road that runs east west into the community will have sidewalks on both sides. The south walk within this right of way is designated as a multi-purpose pedestrian and bike lane. Both entrances will also have walk ways on both sides in order to connect to the surrounding public walkway connections. The south walk at the primary entrance on Prospect Road has been designed to be eight (8) feet in width. The purpose of this increased width is to provide for multimodal combined pedestrian and bike connection to the surrounding eight (8) foot fitness trail. This connection transitions from the internal south dedicated bike path, along the spine road. This connection provides the opportunities and linkages to surrounding Broward County Transit bus stops. The closest Broward County Transit stops are approximately ¼ to ¾ mile from the primary entrance.
- f. The Broward County Complete Streets program, which is applied to the surrounding public roadways, does not apply to private streets.
- g. All dead end cul de sac streets and other internal streets are designed with walkways on both sides of the road. Based upon the fact that there will be through traffic in this development, residents can use both the walks and street areas for bike connections.

4. Sign Standards:

- a. All signs shall comply with the sign standards set forth by Chapter Article XI of the 2018 Land Development Regulations, except as provided herein.
- b. Two permanent community monument signs shall be permitted at each the primary and secondary entrance to be a maximum height of 10.' Sign face area maximum to be 100 square feet. See detail within Master Development Plan set.
- c. Smaller community identifier monument signs shall be permitted within the medians of both entrances as well. This signs are to be a maximum height of eight (8) feet.
- d. Permanent community signs will be provided at property corners as well. Community signs will either be incorporated within the perimeter walls or freestanding. If community signs are freestanding, they will adhere to the requirements indicated below.
 - i. Maximum height is 8.'
 - ii. Sign face area maximum to be 64 square feet.

PUD

- iii. Three community sign maximum at each property corner (southwest, southeast and northeast).
- e. Temporary project signs, during construction and sales, are allowed.
 - i. 6 per street frontage.
 - ii. Maximum height 10.'
 - iii. Sign face area maximum to be 60 square feet each.
 - iv. Signs to be installed after site plan approval and removed within 1 month after building permit is issued for last house in development.
- 5. Lake Areas: All lake areas located in the PUD are intended for the purposes of storm water retention. Recreational access such as boating are not permitted including using any boat navigated with a separate tool, i.e. remote control, with the help radio frequencies, infrared, ultrasound, or Wi-Fi, motorized boats including remote control toy boats.
 - a. Littoral plantings will be the perpetual maintenance responsibility of the homeowner's association.
- 6. Gatehouse / Access Control Structure:
 - a. Gatehouses or call boxes may be located on any private roadway within the PUD. Gated entrances to be provided at entrances to restrict access to residents and their guests. Access will be secured by control devices such as card entry / call box, shall be located and designed to ensure safe and convenient traffic flow, and to provide access by emergency service vehicles.
 - b. Knox locks and Siren Operated System (S.O.S.) will be provided at both entrances that have vehicular access gates.

M. Landscape Design Standards

- 1. General Landscape Requirements:
 - a. All landscaping shall conform to the 2018 City of Oakland Park Land Development Regulations Article VIII / City Landscape & Streetscape Design Standards, except as provided herein.
 - b. All internal private roadway intersections to have a 25' x 25 vision clearance triangle where no landscaping is to be located other than low shrubs no taller than 30 inches.
 - c. Street trees will be planted on residential lots and not within vehicular rights of ways to avoid conflicts with utilities, as well as long term issues with pavement.
 - d. Landscape buffering along Public Linear Greenway Park will have clustered areas that will allow for views and vistas across the lake. No continuous hedge is proposed.

N. Building Architectural Design Standards

- 1. Single Family Detached Home Architectural & Performance Standards
 - a. Refer to Architectural Standards Checklist attached to this document for minimum features required, as well as materials not permitted. See Exhibit 10.
 - b. No two single family homes either next to or directly across the street to have the same architectural façade.

PUD

- c. No barrel tile or asphalt shingle roof material to be utilized.
- d. No more than four - two story single family detached homes in a row.
- e. Each single family detached home front façade to have a minimum of one of the indicated architectural options listed within Exhibit 10 Architectural Minimum Standards and Guidelines. Options include porches / balconies, bay windows, covered entryway and second floor dormers.

2. Single Family Attached Townhome Specific Architectural & Performance Standards

- a. Standards indicated herein are specific to only the single family attached townhomes within the Planned Unit Development and do not apply to any accessory buildings or structures such as recreation buildings.
- b. Standards indicated herein supersede the 2018 City of Oakland Park Architectural and Performance Standards.
- c. Every single family attached townhome that has a primary entrance either on the front façade or side shall have access to the adjacent sidewalk.
- d. Every single family attached townhome shall have a covered front or side entrance.
- e. Side of single family attached townhomes shall include at least one design element and materials consistent with the front façade.
- f. All front doors and garage doors shall be articulated with recessed or grooved panels.
- g. Homeowners Association documents will require that one (1) vehicle be stored within a 2 car garage.
- h. The front facades can maintain the same building line.
- i. The front facades of no more than two (2) units shall maintain the same color.
- j. No barrel tile or asphalt shingle roof material to be utilized.

3. See Exhibit 10 for additional details on Architectural Minimum Standards and Guidelines.

O. Drainage

- 1. The Oak Tree Residential PUD property is comprised of 140.7 gross acres located in Oakland Park, within the South Florid Water Management District (SFWMD) C-13 East Drainage Basin.
- 2. Per SFWMD Permit 06-00437-S, Oak Tree Estates community sheet flow / drains to existing lakes on the closed golf course. Historical drainage of the Oak Tree Estates community will be preserved and the drainage will be incorporated within the drainage design of the Oak Tree Residential PUD.
- 3. See Exhibit 2 for additional details.

P. Utilities

- 1. The City of Oakland Park Utility Systems Department has water plant capacity available to serve the above referenced proposed project.
- 2. All construction shall be in accordance with the City of Oakland Park Utility Systems Department's Technical Specifications and Construction Standards, latest revision, and with all applicable Florida Department of Environmental Protection rules and regulations.

Q. Natural Resource Protection

The PUD shall comply with the 2018 City of Oakland Park code Article IX of the Land Development Regulations for natural resource protection and environmental regulations at the time of PUD approval. Exotic species and prohibited species will be removed from the site and will not require a tree removal permit. Healthy native trees will be relocated, as feasible, with a tree removal permit. Any native trees that cannot be relocated will be replaced in accordance to canopy replacement values, per the 2018 Land Development Regulations as listed below or payment to the Oakland Park Tree Preservation and Replacement Trust Fund will be provided. Nonnative trees that were planted as part of the golf course will not require mitigation. There were no historical trees onsite, dating back to aerial analysis dating back to 1947.

Height & Spread (in feet)	Canopy Value (in square feet)
16 x 6	525
14 x 7	400
12 x 6	300
10 x 6	225

Exhibit 1: Legal Description

DESCRIPTION

PARCEL "A", OAK TREE PLAT, AS RECORDED IN PLAT BOOK 177, PAGES 5 THROUGH 7, TOGETHER WITH LOT 17, "FORT LAUDERDALE INDUSTRIAL AIRPARK - SECTION 1", AS RECORDED IN PLAT BOOK 63, PAGE 10, BOTH OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF SECTION 17, TOWNSHIP 49 SOUTH, RANGE 42 EAST, THE CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF GOLF-TAM VILLAGE, AS RECORDED IN PLAT BOOK 119, PAGE 18 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE N.88°12'55"E. ALONG THE SOUTH LINE OF TAMARAC LAKES SOUTH, AS RECORDED IN PLAT BOOK 62, PAGE 24 OF SAID PUBLIC RECORDS, A DISTANCE OF 826.79 FEET A POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.77°44'26"E., A RADIAL DISTANCE OF 1,246.28 FEET; THENCE SOUTHERLY ALONG THE ARC OF THE WESTERLY RIGHT-OF-WAY LINE OF PROSPECT ROAD, SAID RIGHT-OF-WAY LINE LYING 100.00 FEET WESTERLY OF AND CONCENTRIC TO THE CENTERLINE THEREOF, AS SHOWN ON SAID "FORT LAUDERDALE INDUSTRIAL AIRPARK - SECTION 1", THROUGH A CENTRAL ANGLE OF 01°24'21", A DISTANCE OF 30.58 FEET; THENCE S.88°12'55"W. ALONG A LINE 30.00 FEET SOUTH OF (AS MEASURED AT RIGHT ANGLES TO) AND PARALLEL WITH THE SOUTH LINE OF SAID TAMARAC LAKES SOUTH, A DISTANCE OF 30.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "A", OAK TREE PLAT; THENCE S.53°04'11"E. ALONG THE WEST RIGHT-OF-WAY LINE OF PROSPECT ROAD, AS SHOWN ON SAID OAK TREE PLAT, A DISTANCE OF 46.82 FEET TO A POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.74°57'20"E., A RADIAL DISTANCE OF 1,246.28 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID RIGHT-OF-WAY LINE, THROUGH A CENTRAL ANGLE OF 09°43'05", A DISTANCE OF 211.38 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF LOT 17 OF SAID FORT LAUDERDALE INDUSTRIAL AIRPARK - SECTION 1; THENCE N.01°39'39"W. ALONG SAID WEST LINE, A DISTANCE OF 146.96 FEET A POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.71°43'32"E., A RADIAL DISTANCE OF 1,196.28 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF THE WEST RIGHT-OF-WAY LINE OF PROSPECT ROAD, AS SHOWN ON SAID "FORT LAUDERDALE INDUSTRIAL AIRPARK - SECTION 1", THROUGH A CENTRAL ANGLE OF 32°17'07", A DISTANCE OF 674.09 FEET; THENCE S.88°21'41"W. ALONG THE SOUTH LINE OF SAID LOT 17, A DISTANCE OF 96.42 FEET TO THE POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.43°06'02"E., A RADIAL DISTANCE OF 1,246.28 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF THE SOUTHERLY RIGHT-OF-WAY LINE OF PROSPECT ROAD, AS RECORDED IN DEED BOOK 419, PAGE 362 OF SAID PUBLIC RECORDS, THROUGH A CENTRAL ANGLE OF 31°27'57", A DISTANCE OF 684.44 FEET; THENCE S.78°21'55"E. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 456.13 FEET; THENCE S.01°50'50"E. ALONG THE WEST RIGHT-OF-WAY LINE OF NORTHWEST 21ST AVENUE (DECKER ROAD), AS RECORDED IN OFFICIAL RECORD BOOK 1769, PAGE 445 OF SAID PUBLIC RECORDS, A DISTANCE OF 917.85 FEET TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF SAID SECTION 17; THENCE S.88°38'22"W. ALONG SAID SOUTH LINE, A DISTANCE OF 3,976.27 FEET; THENCE N.01°37'24"W. ALONG THE EAST LINE OF "M.&S. PROPERTIES PLAT", AS RECORDED IN PLAT BOOK 98, PAGE 29 OF SAID PUBLIC RECORDS, A DISTANCE OF 921.96 FEET TO THE SOUTHWEST CORNER OF SAID GOLF-TAM VILLAGE, AND A POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.88°22'36"E., A RADIAL DISTANCE OF 40.00 FEET; THENCE ALONG THE BOUNDARY OF SAID GOLF-TAM VILLAGE THE FOLLOWING FOUR (4) COURSES AND DISTANCES; THENCE SOUTHEASTERLY, NORTHEASTERLY AND NORTHWESTERLY ALONG THE ARC, THROUGH A CENTRAL ANGLE OF 242°57'52", A DISTANCE OF 169.62 FEET TO A POINT OF REVERSE CURVATURE TO THE RIGHT HAVING A RADIUS OF 15.00 FEET AND A CENTRAL ANGLE OF 62°57'52"; THENCE NORTHWESTERLY ALONG THE ARC, A DISTANCE OF 16.48 FEET; THENCE N.01°37'24"W., A DISTANCE OF 360.00 FEET; THENCE N.88°21'41"E., A DISTANCE OF 100.00 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 10.00 FEET EAST OF (AS MEASURED AT RIGHT ANGLES TO) AND PARALLEL WITH THE EAST LINE OF LOTS 48 THROUGH 54 OF SAID GOLF-TAM VILLAGE; THENCE N.01°37'24"W. ALONG SAID PARALLEL LINE, A DISTANCE OF 526.02 FEET TO A POINT OF INTERSECTION WITH THE BOUNDARY LINE OF SAID GOLF-TAM VILLAGE; THENCE ALONG SAID BOUNDARY LINE THE FOLLOWING TWENTY-NINE (29) COURSES AND DISTANCES; N.88°13'32"E., A DISTANCE OF 70.00 FEET; THENCE N.01°46'28"W., A DISTANCE OF 10.00 FEET; THENCE N.88°13'32"E., A DISTANCE OF 100.00 FEET; THENCE N.01°46'28"W., A DISTANCE OF 80.00 FEET; THENCE N.88°13'32"E., A DISTANCE OF 316.78 FEET

PUD

TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 200.00 FEET AND A CENTRAL ANGLE OF 37°18'06"; THENCE EASTERLY ALONG THE ARC A DISTANCE OF 130.21 FEET TO A POINT OF REVERSE CURVATURE TO THE LEFT HAVING A RADIUS OF 240.00 FEET AND A CENTRAL ANGLE OF 23°34'02"; THENCE SOUTHEASTERLY ALONG THE ARC, A DISTANCE OF 98.72 FEET; THENCE S.39°44'27"E., A DISTANCE OF 30.99 FEET; THENCE S.01°26'29"E., A DISTANCE OF 63.23 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 120.00 FEET AND A CENTRAL ANGLE OF 94°41'52"; THENCE SOUTHWESTERLY ALONG THE ARC A DISTANCE OF 198.33 FEET; THENCE N.86°44'37"W., A DISTANCE OF 142.47 FEET; THENCE S.03°15'23"W., A DISTANCE OF 40.00 FEET; THENCE N.86°44'37"W., A DISTANCE OF 10.00 FEET; THENCE N.73°41'30"W., A DISTANCE OF 82.00 FEET; THENCE S.07°06'50"W., A DISTANCE OF 157.92 FEET; THENCE S.15°27'37"E., A DISTANCE OF 148.75 FEET; THENCE S.86°44'37"E., A DISTANCE OF 153.98 FEET; THENCE N.11°38'36"E., A DISTANCE OF 282.95 FEET A THE POINT OF NON TANGENCY WITH A CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES N.03°15'13"E., A RADIAL DISTANCE OF 160.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC, THROUGH A CENTRAL ANGLE OF 62°14'07", A DISTANCE OF 173.79 FEET; THENCE S.01°26'29"E., A DISTANCE OF 360.93 FEET; THENCE N.88°21'41"E., A DISTANCE OF 695.09 FEET; THENCE N.32°09'20"E., A DISTANCE OF 460.00 FEET; THENCE N.57°50'40"W., A DISTANCE OF 100.00 FEET; THENCE N.32°09'20"E., A DISTANCE OF 98.57 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 100.00 FEET AND A CENTRAL ANGLE OF 33°56'25"; THENCE NORTHERLY ALONG THE ARC A DISTANCE OF 59.24 FEET; THENCE N.01°47'05"W., A DISTANCE OF 39.39 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 90°00'00"; THENCE NORTHERLY ALONG THE ARC A DISTANCE OF 39.27 FEET; THENCE S.88°12'55"W., A DISTANCE OF 75.00 FEET; THENCE N.01°47'05"W., A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 6,061,881 SQUARE FEET/139.1616 ACRES MORE OR LESS.

Exhibit 2: Proposed Future Land Use Map – Application CD17-07CP



Exhibit 3: Site Plan

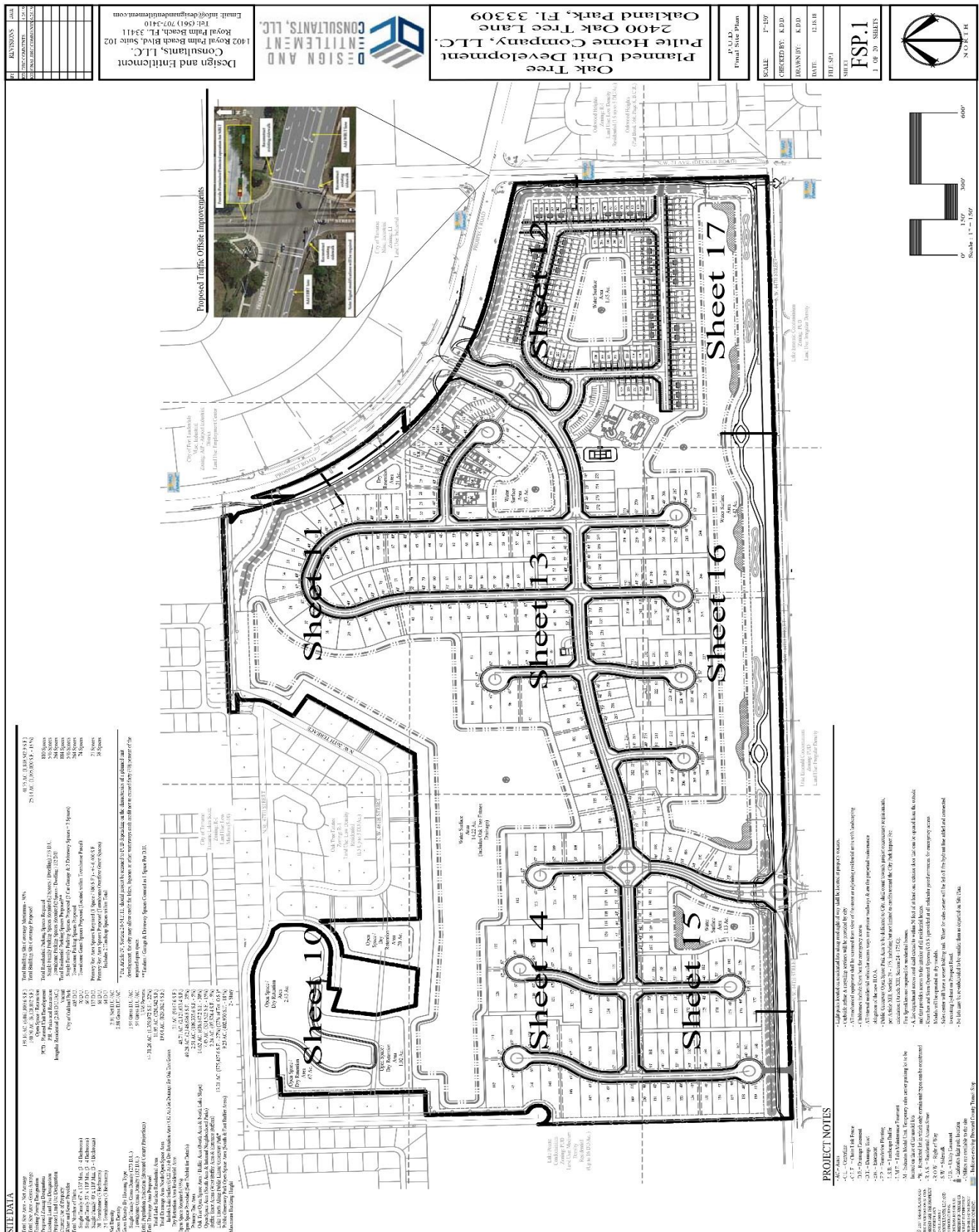


Exhibit 4: Drainage Statement



Jeffrey T. Schnars, P.E.
President

James W. Mahannah P.E.
Vice President

Oak Tree PUD Drainage Report

Revised March 28, 2019

Project Location

The project under consideration is a proposed residential planned community consisting of 405 residential homes on approximately 140.7 gross acres (139.16 net acres) that was formerly a golf course. This project is within the South Florida Water Management District (SFWMD) C-13 East Drainage Basin and the surface water management system will be under the jurisdiction of Broward County EPGMD and City of Oakland Park. The site is located on the northwest corner of N.W. 44th Street and N.W. 21st Avenue in the City of Oakland Park. The property is not located within a Broward County wellfield protection zone.

Existing Conditions

The site is within a presently calculated 158.33 acre drainage basin know as Golf Tam Village, approved by SFWMD under Permit No. 06-00437-S that was originally permitted as 165 acres. The drainage basin is served by existing lakes with no available discharge to a receiving water body. The project involves the demolition and redevelopment of the entire former golf course property. The SFWMD permit includes 19.17 acres of existing off-site residential development (Oak Tree Estates) that will be part of the permit modification to accommodate this project. Stormwater runoff from adjacent properties will be accommodated.

Stormwater Attenuation

The project involves the redevelopment of the entire former golf course property. Additional lake and dry retention areas will be provided to compensate for any loss of surface and soil storage from the proposed development to maintain the storm stages in the permit. The 100 year and 10 year storm stages will also be below the elevations on the Broward County 100 year and 10 year flood elevation maps. The surface water management system will consist of a series of interconnected catch basins and underground drainage pipes that will direct surface runoff to the proposed on-site lakes. The proposed land use area breakdown for the project is attached. The finished floor elevations will be 1 foot above the FEMA Zone (AH) elevation, the calculated 100 year - 3 day zero discharge storm event, the Broward County 100 year flood elevation map, or 18 inches above the crown of the adjacent road, whichever is higher. A berm will be placed around the perimeter of the site with a top elevation equal or exceeding the calculated 25 year - 3 day zero discharge storm event to prevent unauthorized discharge from the site. The crown of the onsite roads will be designed above the 10 year - 1 day zero discharge storm event elevation.

Permit No. 06-00437-S criteria is as follows:

SFWMD	Permit Fl.			This Project
Min. Elevations Permit	Contour	B.C. Map	Oakland Park	Calculated Stages

PUD

Finished Floor 100 year – 3 day storm	9.5' NGVD/ 8.0' NAVD	8.9' NGVD / 7.4' NAVD	9.0' NGVD / 7.5' NAVD	FEMA Elev + 1 foot / 100 year calculated stage / 12" above road. Min FFE of 8 ft NAVD.	7.27' NAVD
Road Crown 10 year – 1 day storm	8.0' NGVD/ 6.5' NAVD	7.7' NGVD/ 6.2' NAVD	8.0' NGVD/ 6.5' NAVD		4.73' NAVD
Perimeter Berm 25 year – 3 day	8.4' NGVD/ 6.9' NAVD	8.4' NGVD/ 6.9' NAVD			6.58' NAVD
Lake Design Water	4.0' NGVD/ 2.5' NAVD		2.0' NAVD (1)		2.0' NAVD

(1) Broward County Future Conditions Map

The proposed calculated stages are consistent with the above SFWMD permitted criteria.

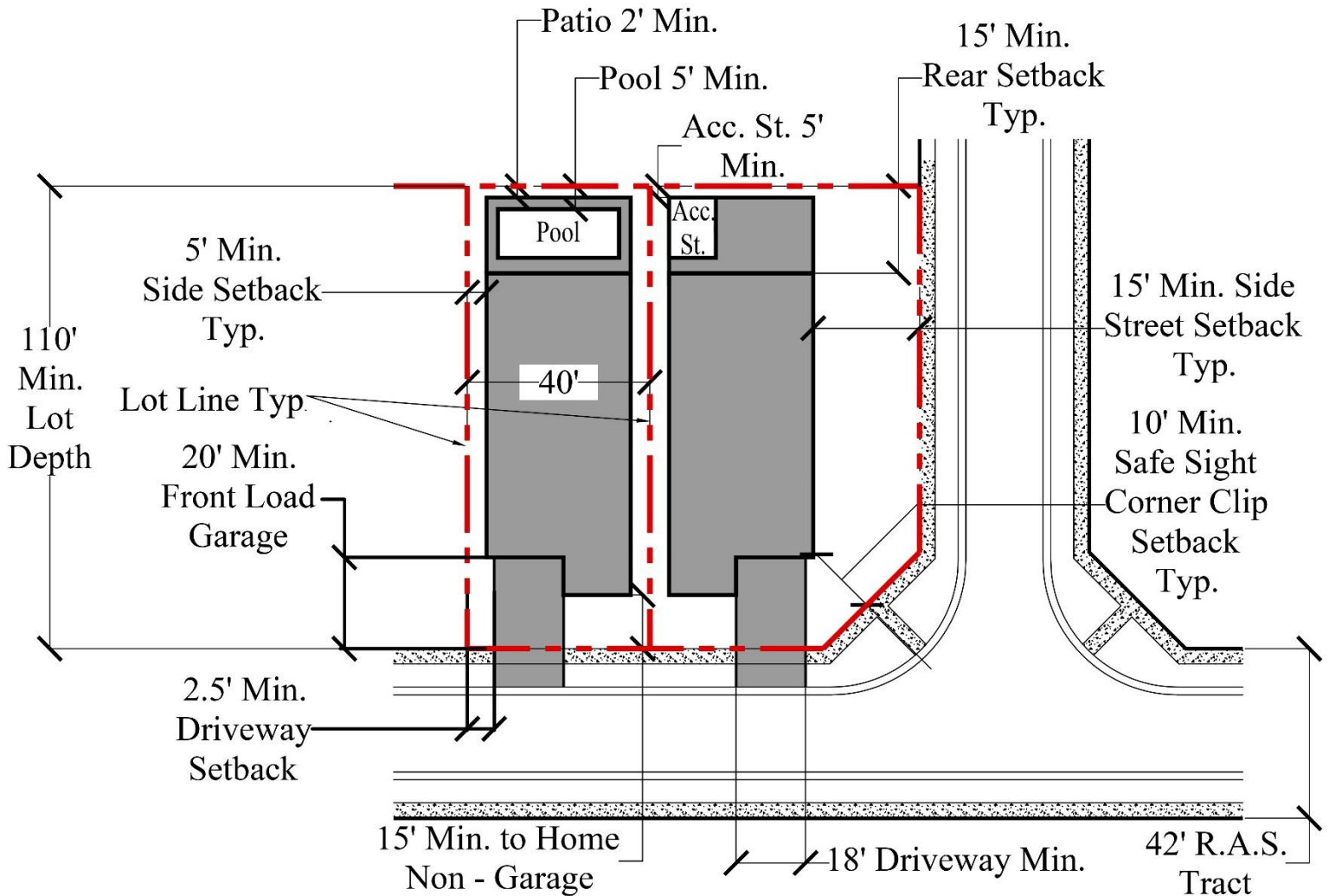
Stormwater Treatment

Stormwater water quality treatment shall be provided in the amount of 2.5 inches times the percentage of imperviousness or the first inch of runoff, whichever is greater. The water quality volume will be retained in the proposed on-site lakes and dry retention areas.

Flood Zone

According to the FEMA FIRM Community Panel No. 12011 C 0366 H dated 08/18/2014, the site has the following flood zone designations: AH (Elevation 7 ft NAVD); AH (Elevation 6 ft NAVD); AE (Elevation 6); AE (Elevation 5 ft NAVD) and X.

Exhibit 5: Single Family Detached Home 40' in Width – Land Development Regulations Detail



	Nominal Lot Width*	Front Setback Min.	Side Setback Min.	Side Street Setback Min.	Vision clearance triangle at intersections Setback Min.	Rear Setback Min. (Includes permanent generators)	All enclosure screens with screen roof for pool / Patio Rear Setback Min. / AC Pad Side Min.	Pool Rear Setback Min.	Accessory Structure Setback Min.*
Single Family Detached Home	40'	15' Non — Gar portion of dwelling. / 20' Front Load Gar.	5'	15'	10'	15'	2' standard / AC Pad 1' Side Min.	5' standard	5' to rear & side lot line
Maximum Lot Coverage = 65%									

Notes: * Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less.

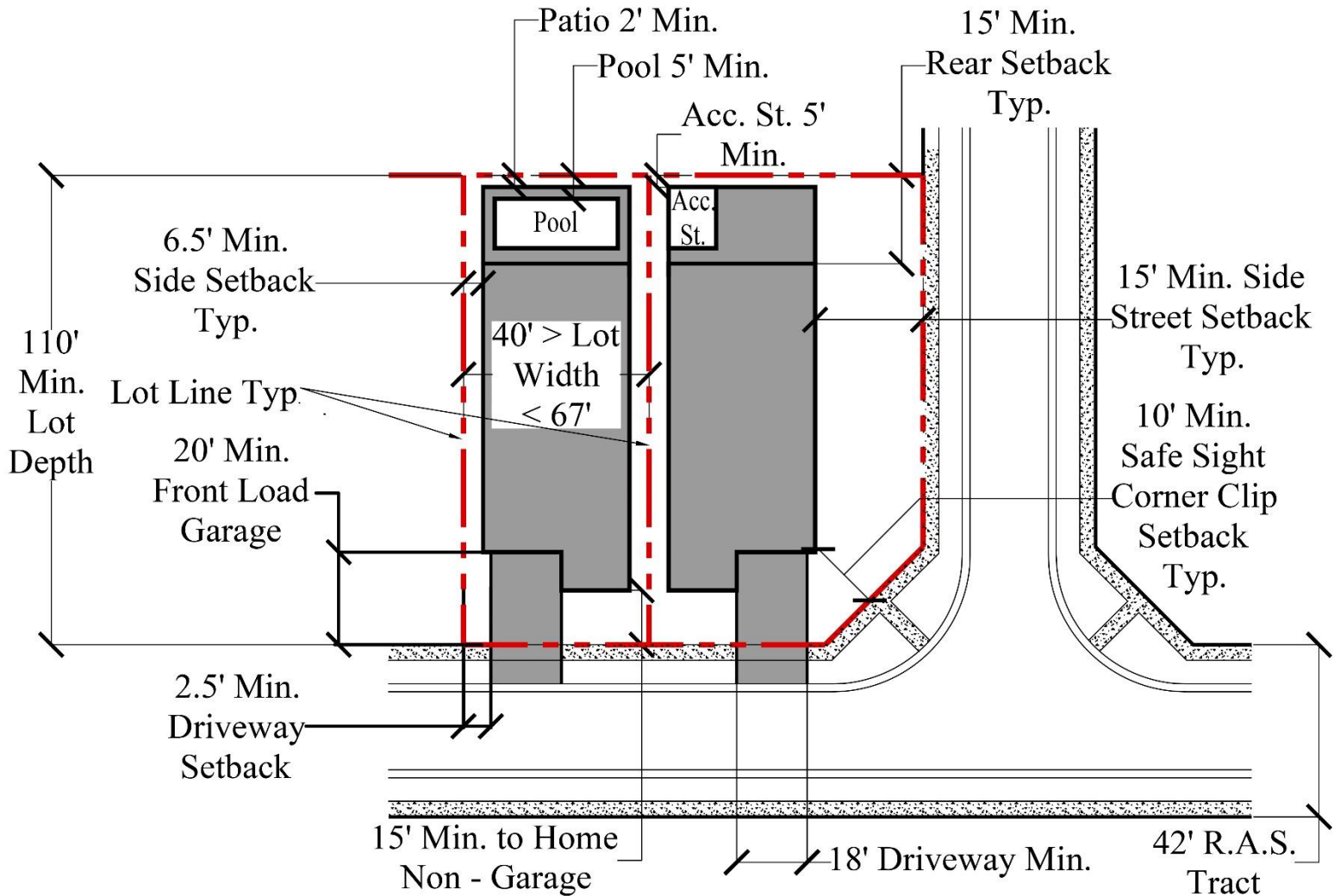
See Section III.D for details of allowable accessory structures.

No lots may be resubdivided to be smaller than as depicted on the approved site plan.

Permanent generators to be located in rear yard and are prohibited in side yards.

R.A.S. – Residential Access Street

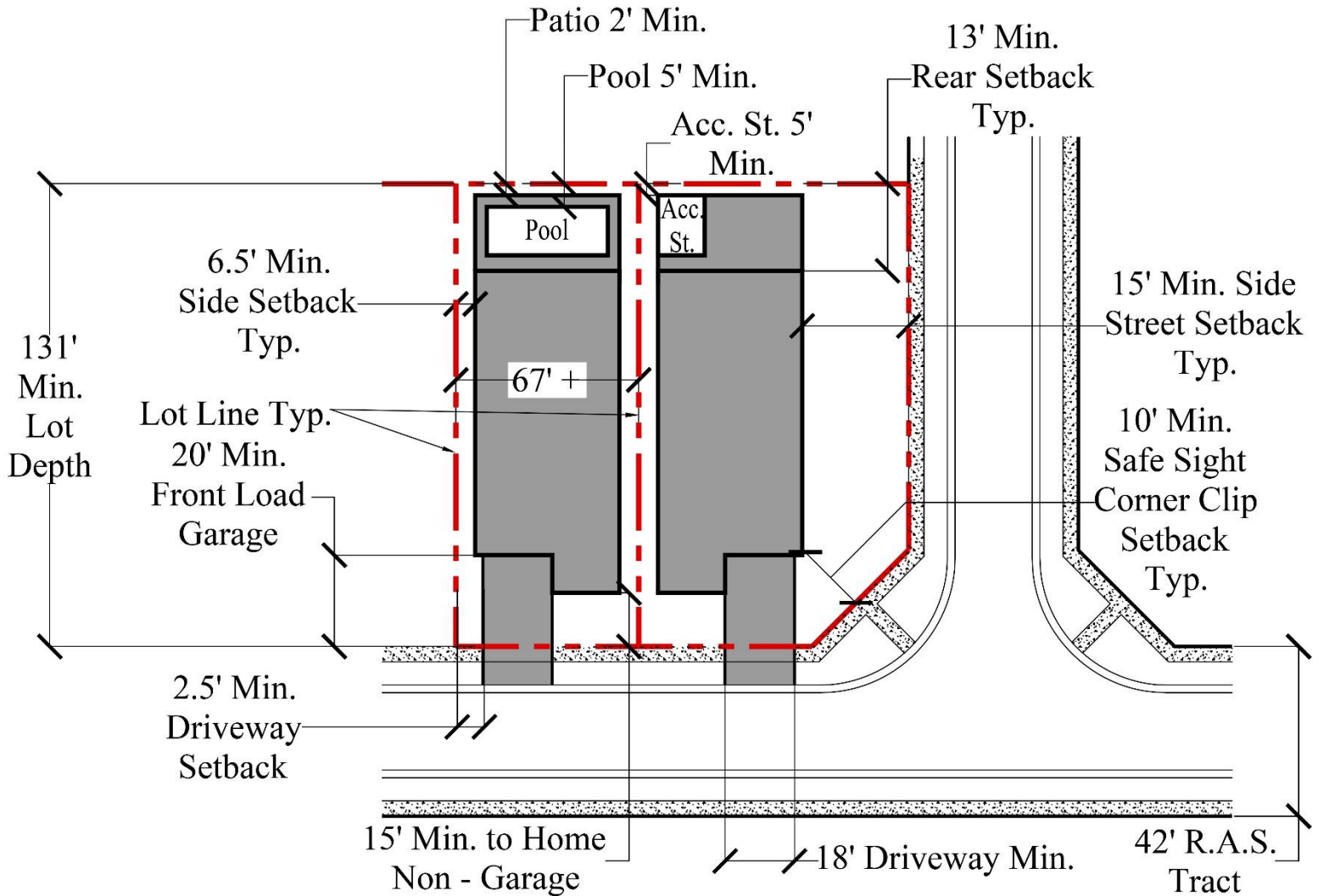
Exhibit 6: Single Family Detached Home 40' > Lot Width < 67' – Land Development Regulations Detail



	Nominal Lot Width*	Front Setback Min.	Side Setback Min.	Side Street Setback Min.	Vision clearance triangle at intersections Setback Min.	Rear Setback Min. (Includes permanent generators)	All enclosures with screen roof / Patio Rear Setback Min. / AC Pad Side Min.	Pool Rear Setback Min.	Accessory Structure Setback Min.*
Single Family Detached Home	40' > Lot < 67'	15' Non - Gar. Portion of dwelling / 20' Front Load Gar.	6.5'	15'	10'	15'	2' standard / AC Pad 2.5' Side Min	5' standard	5' to rear & 6.5' to side lot line
Maximum Lot Coverage = 65%									

Notes: * Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less.
See Section III.D for details of allowable accessory structures.
No lots may be resubdivided to be smaller than as depicted on the approved site plan.
Permanent generators to be located in rear yard and are prohibited in side yards.
R.A.S. – Residential Access Street

Exhibit 7: Single Family Detached Home 67' in Width or Greater – Land Development Regulations Detail



	Lot Width*	Front Setback Min.	Side Setback Min.	Side Street Setback Min.	Vision clearance triangle at intersections Setback Min.	Rear Setback Min. (Includes permanent generators)	All screen enclosures with screen roof / Patio Rear Setback Min. / AC Pad Side Min.	Pool Rear Setback Min.	Accessory Structure Setback Min.*
Single Family Detached Home	≥ 67' Lot	15' Non - Gar. Portion of dwelling / 20' Front Load Gar.	6.5'	15'	10'	13'	2' standard / AC Pad 2.5' Side Min	5' standard	5' to rear & 6.5' to side lot line
Maximum Lot Coverage = 65%									

Notes: * Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less.

See Section III.D for details of allowable accessory structures.

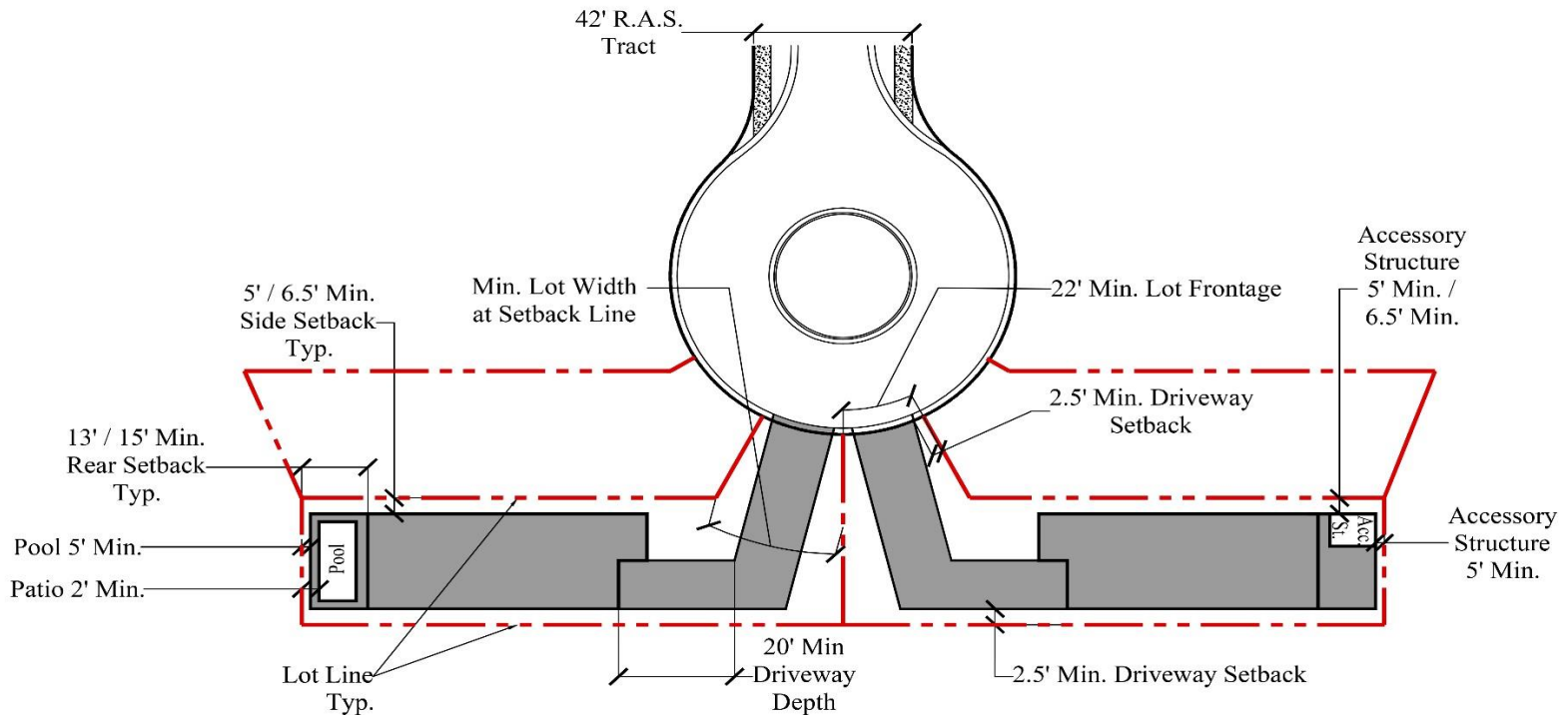
No lots may be resubdivided to be smaller than as depicted on the approved site plan.

Permanent generators to be located in rear yard and are prohibited in side yards.

R.A.S. – Residential Access Street

PUD

Exhibit 8: Single Family Detached Home Cul de Sac Flag Lot – Land Development Regulations Detail



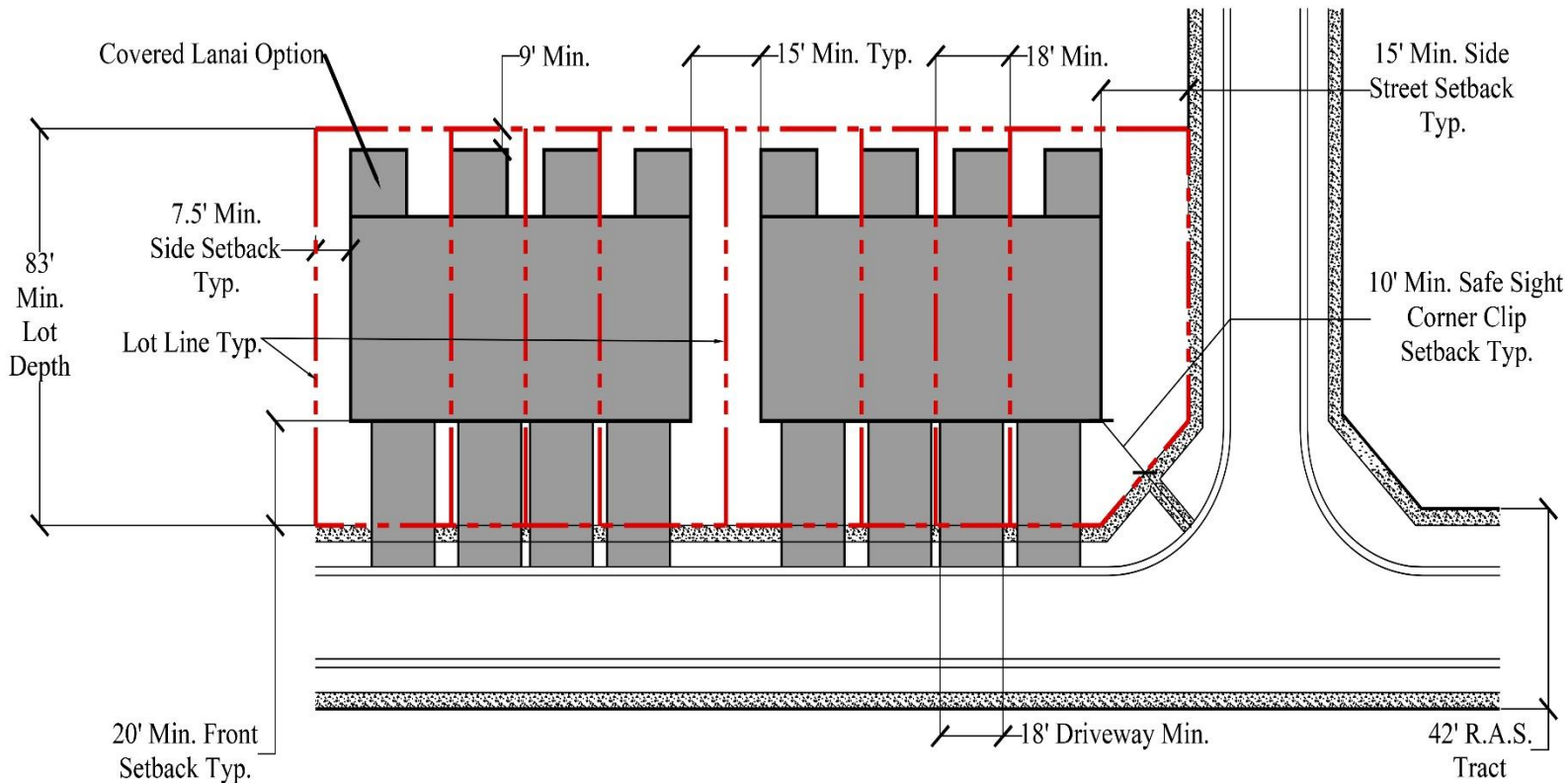
	Nominal Lot Width*	Front Setback Min.	Side Setback Min.	Side Street Setback Min.	Vision clearance triangle at intersections Setback Min.	Rear Setback Min. (Includes permanent generators)	All screen enclosures with screen roof / Patio Rear Setback Min. / AC Pad Side Min.	Pool Rear Setback Min.	Accessory Structure Setback Min.*
Single Family Detached Home	40' Lot	15' Non - Gar. Portion of dwelling / 20' Front Load Gar.	5	15'	10'	15'	2' standard / / AC Pad 1' Side Min	5' standard	5' to rear & side lot line
Maximum Lot Coverage = 65%									

	Nominal Lot Width*	Front Setback Min.	Side Setback Min.	Side Street Setback Min.	Vision clearance triangle at intersections Setback Min.	Rear Setback Min. (Includes permanent generators)	All screen enclosures with screen roof / Patio Rear Setback Min. / AC Pad Side Min.	Pool Rear Setback Min.	Accessory Structure Setback Min.*
Single Family Detached Home	40' > Lot < 67'	15' Non - Gar. Portion of dwelling / 20' Front Load Gar.	6.5'	15'	10'	15'	2' standard / AC Pad 2.5' Side Min	5' standard	5' to rear & 6.5' to side lot line
Maximum Lot Coverage = 65%									

	Nominal Lot Width*	Front Setback Min.	Side Setback Min.	Side Street Setback Min.	Vision clearance triangle at intersections Setback Min.	Rear Setback Min. (Includes permanent generators)	All screen enclosures with screen roof / Patio Rear Setback Min. / AC Pad Side Min.	Pool Rear Setback Min.	Accessory Structure Setback Min.*
Single Family Detached Home	≥ 67' Lot	15' Non - Gar. Portion of dwelling / 20' Front Load Gar.	6.5'	15'	10'	13'	2' standard / AC Pad 2.5' Side Min	5' standard	5' to rear & 6.5' to side lot line
Maximum Lot Coverage = 65%									

Notes: * Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less.
See Section III.D for details of allowable accessory structures.
No lots may be resubdivided to be smaller than as depicted on the approved site plan.
Permanent generators to be located in rear yard and are prohibited in side yards.
R.A.S. – Residential Access Street

Exhibit 9: Single Family Attached Townhome Land Development Regulations



	Lot Width Min.*	Front Setback Min.	Side Setback Min. for end units	Side Street Setback Min. for end units	Vision clearance triangle at intersections	Rear Setback Min.
Single Family Attached Townhomes	18'	20'	7.5' to lot line / 15' bldg. sep.	15'	10'	9'

Notes: R.A.S. – Residential Access Street

Exhibit 10: Oak Tree Architectural Standards Checklist

Lot Number: _____

I. INTRODUCTION

The following are the architectural requirements of each home in the Oak Tree residential community.

II. GENERAL CRITERIA FOR STRUCTURES

Height:

___1. No home may exceed two (2) stories in height in accordance with the Oak Tree Planned Unit Development land development regulations.

- 29ft maximum for all single-family detached homes
- 30ft maximum for all single family attached townhome structure

Above Ground Storage Tanks:

___1. No above ground storage tanks shall be allowed.

Driveways, Walkways, and Rear Patios:

___1. Driveways are constructed in such a manner so that the flare of the driveway at the adjoining street curb, gutter, or pavement does not extend beyond straight-line projection of the side property line of the Lot served by the driveway.

___2. Approved Material

Materials permitted for driveways:

___1. Concrete paver blocks

Materials NOT permitted for driveways:

- Plain concrete
- Asphalt
- Mulch
- Gravel
- Chattahoochee Stone

Generators:

___1. Generator located in rear yard exterior of the home and is screened by a wall and / or planting (as allowed by Florida Building Code). It is screened from the adjacent Lot and street and complies with setback requirements for the dwelling.

___2. Landscape plans provide screening to highest point of generators.

___3. Not Applicable 2

Screen Enclosures:

__1. Screen enclosure is in compliance with the established setback for the community in accordance to the Oak Tree Planned Unit Development land development regulations.

__2. Not Applicable

Permitted screen colors:

__1. Dark bronze

__2. Black

Permitted frame colors:

__1. Dark Bronze

__2. Black

__3. White

*Permitted screen colors must match permitted frame colors. 3

III. ARCHITECTURAL GUIDELINES

Elevations:

__1. Elevation styles within the community match variations of the Craftsman, Florida Modern and Florida Mediterranean.

A minimum of one of the following homeowner architectural options are provided:

__1. Porches/Balconies

__2. Bay Windows

__3. Covered Entryway

__4. Awning and decorative shutters have been designed as an integral part of the building, based upon the architectural style selected by the homeowner.

Diversity and Avoiding Architectural Monotony:

__1. No home that is the same as another home is located side by side or directly across the street from one another, i.e.

a. Home is a different floor plan.

b. If of the same architectural style, home has different elevation.

c. If of the same floor plan, architectural style and / or elevation design is different.

__2. Adjacent homes on either side have different architectural styles or elevations

__3. Color Package on adjacent homes sites (either side) and directly access the street are different.

__4. No more than four single family homes in a row shall be two – story.

Colors:

__1. All exterior colors, including original and future colors are in compliance with the approved color palette for the community

__2. Colors match the palettes designated to the Craftsman, Florida Modern and Florida Mediterranean style of homes

__1. Craftsman

__2. Florida Modern

__3. Florida Mediterranean

Building Finishes:

Finishes Permitted:

- ☐ 1. Painted Stucco
- ☐ 2. Accent scored stucco
- ☐ 3. Natural stone, pre-cast stone, faux stone
- ☐ 4. Wood
- ☐ 5. A. Shingle siding and board batten siding

Finishes NOT Permitted:

- ☐ Unfinished concrete block
- ☐ Reflective or mirrored glass
- ☐ Raw aluminum
- ☐ Hardboard or particle board

Roofs:

- ☐ 1. Roof has a minimum pitch of 3:12.

Materials Permitted:

- ☐ 1. Flat or "S" color impregnated concrete tile
- ☐ 2. Standing seam prefinished metal

Materials NOT Permitted:

- Asphalt shingles
- Aluminum shingles
- Wood shingles or shakes
- Roll roofing

Roof Vents and Chimneys:

- ☐ 1. Roof-mounted vents or stacks have been painted to match the color of the roof.

Accessory Structures and Enclosures:

- ☐ 1. All accessory structures, including but not limited to, cabanas, BBQs, and covered patios are compatible with the principle structure in both material and configuration.
- ☐ 2. All accessory structures maintain required setbacks and standards, in accordance to the Oak Tree Planned Unit Development land development regulations.
- ☐ 3. Enclosed storage areas erected separate from the principal structure are architecturally consistent with the principal structure.
- ☐ 4. No garage has been erected separate from the dwelling.

Walls, Fences and Gates:

Wall/Fence materials permitted:

Galvanized steel picket

___1. Aluminum picket

___2. Wrought Iron

___3. PVC Vinyl

___4. Not Applicable

Wall/fence materials NOT permitted:

- Wood

Fence colors permitted;

___1. Black

___2. Bronze

___3. Not Applicable