

# SAFE AND SECURE SELF STORAGE

## CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

### OAKLAND LAKES BLVD, LLC.

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**DEVELOPER:**  
THE PUGLIESE COMPANY  
101 PUGLIESES WAY  
DELRAY BEACH, FL 33444  
(561) 454-1625

**CIVIL ENGINEER:**  
HSQ GROUP, INC.  
1001 YAMATO ROAD  
SUITE 105  
BOCA RATON, FL 33431  
(561) 392-0221

**PLANNER:**  
HSQ GROUP, INC.  
1001 YAMATO ROAD  
SUITE 105  
BOCA RATON, FL 33431  
(561) 392-0221

**LANDSCAPE ARCHITECT:**  
MICHEAL J PETROW &  
ASSOCIATES, INC  
CORAL SPRINGS, FL  
(954) 752-7762

**ARCHITECT:**  
KENNETH R. CARLSON  
ARCHITECT, P.A.  
1166 W. NEWPORT CENTER,  
DRIVE STE 311  
DEERFIELD BEACH, FL 33442  
(954) 427-8848



**LEGAL DESCRIPTION:**

A PORTION OF TRACTS G AND H, OAKLAND LAKES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 111, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**NOTES:**

THE PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY CODES AND REGULATIONS HAVING JURISDICTION. IF ANY DISCREPANCIES EXIST BETWEEN THE PLANS/ SPECIFICATIONS PREPARED BY THE DESIGNER AND THE CITY CODE AND/OR THE CITY STANDARD DETAILS, THE LATER SHALL GOVERN OR THE MOST STRINGENT.

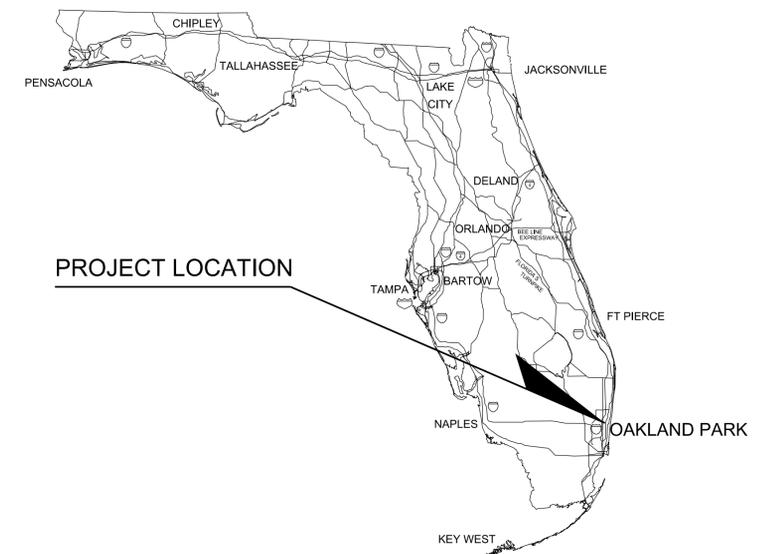
ALL VEGETATION, MUCH, AND ANY DELETERIOUS MATERIAL WITHIN THE ROW LIMITS OF ALL STREETS AND ALLEYS AND REQUIRED OFF-STREET PARKING AREAS MUST BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL, FREE OF STUMPS, LARGE ROOTS OR OTHER MATERIAL NOT SUITABLE FOR INCLUSION IN ROADWAY FILL.

OWNERSHIP AND MAINTENANCE OF THE SANITARY SYSTEM BY THE CITY IS LIMITED TO THE MAINS FROM MANHOLE TO MANHOLE AND EXPRESSLY EXCLUDES SEWER LATERAL SERVICES. THE SEWER LATERAL SERVICE FROM GRAVITY MAIN INTO THE BUILDING IS TO BE MAINTAINED BY THE PROPERTY OWNER.

**LOCATION MAP**

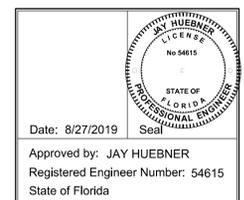
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SECTION 21 / TOWNSHIP 49 S / RANGE 42 E

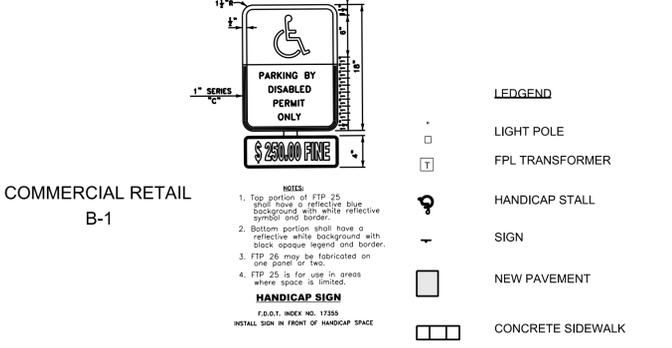
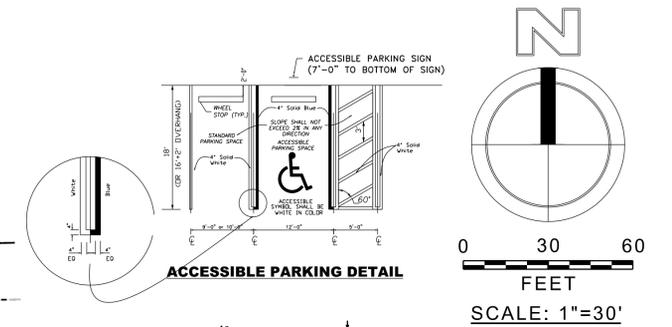
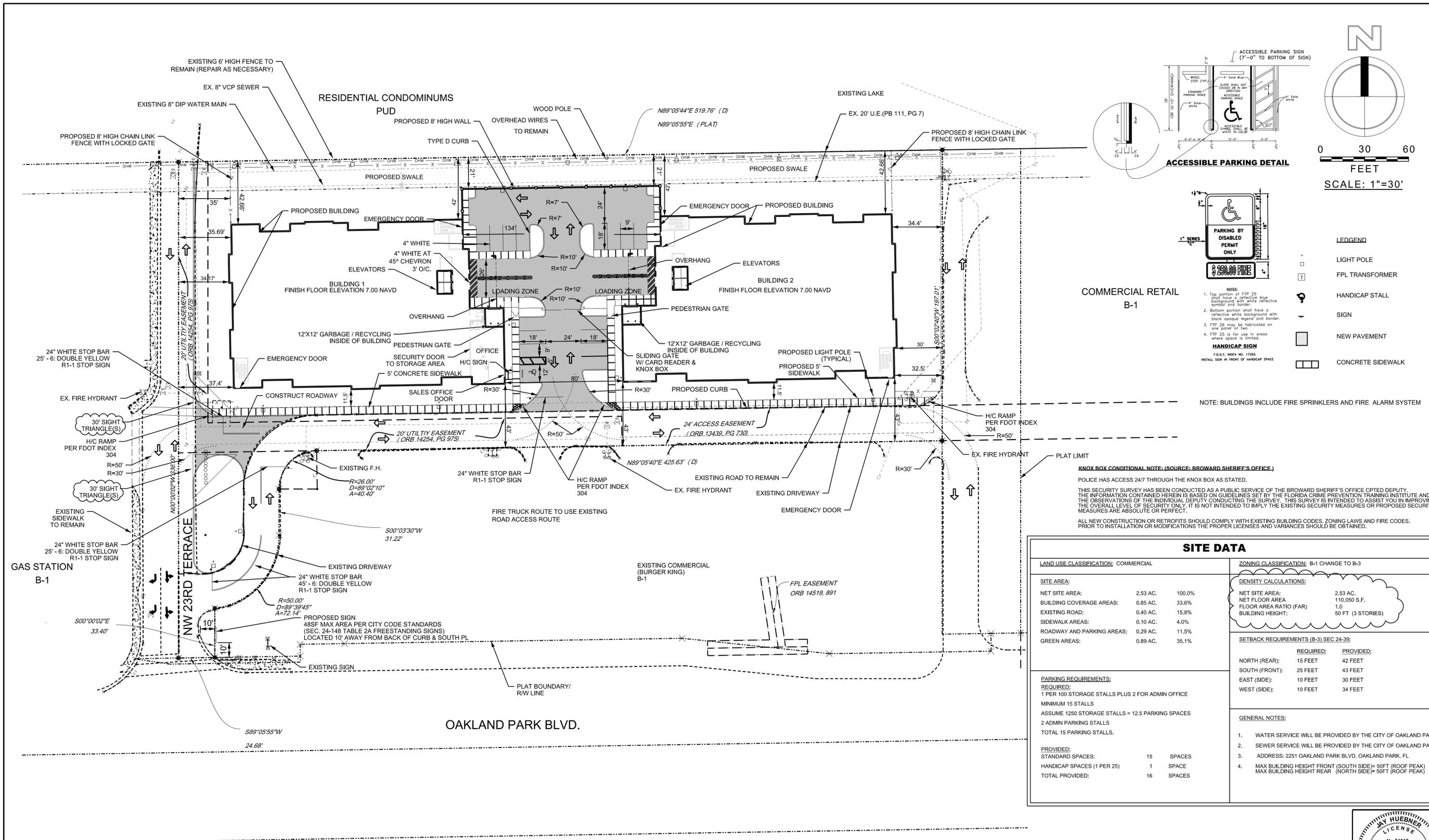
# SITE PLAN



**HSQ GROUP, INC.**  
Engineers · Planners · Surveyors  
1001 Yamato Road, Suite 105  
Boca Raton, Florida 33431 · 561.392.0221  
CA26258 · LB7924

**ENGINEER'S CERTIFICATION**  
THESE PLANS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.





**NOTE: BUILDINGS INCLUDE FIRE SPRINKLERS AND FIRE ALARM SYSTEM**

**COMMERCIAL RETAIL B-1**

**PLAT LIMIT**

**KNOW BOX CONDITIONAL NOTE: (SOURCE: BROWARD SHERIFF'S OFFICE)**  
POLICE HAS ACCESS 24/7 THROUGH THE KNOW BOX AS STATED.

THIS SECURITY SURVEY HAS BEEN CONDUCTED AS A PUBLIC SERVICE OF THE BROWARD SHERIFF'S OFFICE CPTED DEPUTY. THE INFORMATION CONTAINED HEREIN IS BASED ON GUIDELINES SET BY THE FLORIDA CRIME PREVENTION TRAINING INSTITUTE AND THE OBSERVATIONS OF THE INDIVIDUAL DEPUTY CONDUCTING THE SURVEY. THIS SURVEY IS INTENDED TO ASSIST YOU IN IMPROVING THE OVERALL LEVEL OF SECURITY ONLY. IT IS NOT INTENDED TO IMPLY THE EXISTING SECURITY MEASURES OR PROPOSED SECURITY MEASURES ARE ABSOLUTE OR PERFECT.

ALL NEW CONSTRUCTION OR RETROFITS SHOULD COMPLY WITH EXISTING BUILDING CODES, ZONING LAWS AND FIRE CODES. PRIOR TO INSTALLATION OR MODIFICATIONS THE PROPER LICENSES AND VARIANCES SHOULD BE OBTAINED.

SITE DATA	
<b>LAND USE CLASSIFICATION:</b> COMMERCIAL	<b>ZONING CLASSIFICATION:</b> B-1 CHANGE TO B-3
<b>SITE AREA:</b>	<b>DENSITY CALCULATIONS:</b>
NET SITE AREA: 2.53 AC. 100.0%	NET SITE AREA: 2.53 AC.
BUILDING COVERAGE AREAS: 0.85 AC. 33.6%	NET FLOOR AREA: 110,050 S.F.
EXISTING ROAD: 0.40 AC. 15.8%	FLOOR AREA RATIO (FAR): 1.0
SIDEWALK AREAS: 0.10 AC. 4.0%	BUILDING HEIGHT: 50 FT (3 STORIES)
ROADWAY AND PARKING AREAS: 0.29 AC. 11.5%	
GREEN AREAS: 0.89 AC. 35.1%	
<b>PARKING REQUIREMENTS:</b>	<b>SETBACK REQUIREMENTS (B-3) SEC 24-39:</b>
REQUIRED:	REQUIRED: PROVIDED:
1 PER 100 STORAGE STALLS PLUS 2 FOR ADMIN OFFICE	NORTH (REAR): 15 FEET 42 FEET
MINIMUM 15 STALLS	SOUTH (FRONT): 25 FEET 43 FEET
ASSUME 1250 STORAGE STALLS = 12.5 PARKING SPACES	EAST (SIDE): 10 FEET 30 FEET
2 ADMIN PARKING STALLS	WEST (SIDE): 10 FEET 34 FEET
TOTAL 15 PARKING STALLS	
PROVIDED:	<b>GENERAL NOTES:</b>
STANDARD SPACES: 15 SPACES	1. WATER SERVICE WILL BE PROVIDED BY THE CITY OF OAKLAND PARK
HANDICAP SPACES (1 PER 25) 1 SPACE	2. SEWER SERVICE WILL BE PROVIDED BY THE CITY OF OAKLAND PARK
TOTAL PROVIDED: 16 SPACES	3. ADDRESS: 2251 OAKLAND PARK BLVD, OAKLAND PARK, FL
	4. MAX BUILDING HEIGHT FRONT (SOUTH SIDE)= 50FT (ROOF PEAK) MAX BUILDING HEIGHT REAR (NORTH SIDE)= 50FT (ROOF PEAK)

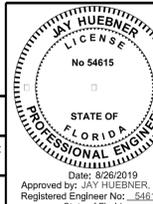
NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: JH Date: 11/16  
 Drawn by: AZ Date: 11/16  
 Checked by: JH Date: 11/16

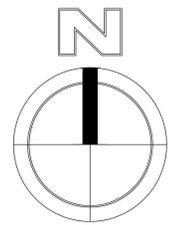
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 Boca Raton, Florida 33431 · 561.392.0221  
 C26258 · LB7924

**SAFE AND SECURE SELF STORAGE**  
**SITE PLAN**

SCALE: 1" = 30'  
 PROJECT NUMBER: 1608-61  
 SHEET NUMBER: SP-1



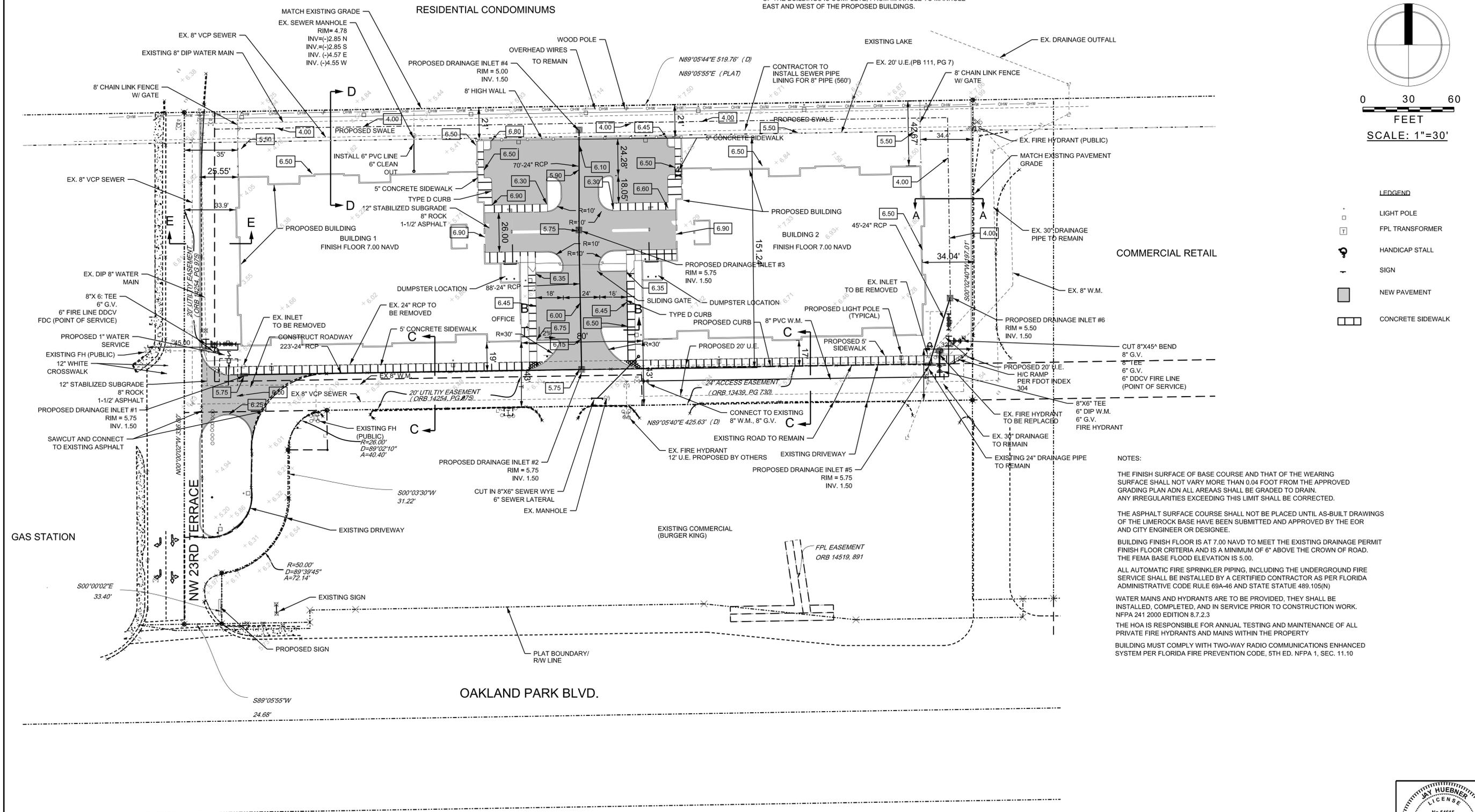
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0 30 60  
FEET  
SCALE: 1"=30'

- LEGEND
- LIGHT POLE
  - FPL TRANSFORMER
  - ♿ HANDICAP STALL
  - SIGN
  - NEW PAVEMENT
  - ▭ CONCRETE SIDEWALK

NOTE:  
THE SEWER LINING SHALL BE PERFORMED AFTER CONSTRUCTION OF THE BUILDINGS IS COMPLETE, FROM MANHOLE TO MANHOLE EAST AND WEST OF THE PROPOSED BUILDINGS.



NOTES:

THE FINISH SURFACE OF BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 0.04 FOOT FROM THE APPROVED GRADING PLAN AND ALL AREAS SHALL BE GRADED TO DRAIN. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.

THE ASPHALT SURFACE COURSE SHALL NOT BE PLACED UNTIL AS-BUILT DRAWINGS OF THE LIMEROCK BASE HAVE BEEN SUBMITTED AND APPROVED BY THE EOR AND CITY ENGINEER OR DESIGNEE.

BUILDING FINISH FLOOR IS AT 7.00 NAVD TO MEET THE EXISTING DRAINAGE PERMIT FINISH FLOOR CRITERIA AND IS A MINIMUM OF 6" ABOVE THE CROWN OF ROAD. THE FEMA BASE FLOOD ELEVATION IS 5.00.

ALL AUTOMATIC FIRE SPRINKLER PIPING, INCLUDING THE UNDERGROUND FIRE SERVICE SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR AS PER FLORIDA ADMINISTRATIVE CODE RULE 69A-46 AND STATE STATUTE 489.105(N)

WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK. NFPA 241 2000 EDITION 8.7.2.3

THE HOA IS RESPONSIBLE FOR ANNUAL TESTING AND MAINTENANCE OF ALL PRIVATE FIRE HYDRANTS AND MAINS WITHIN THE PROPERTY

BUILDING MUST COMPLY WITH TWO-WAY RADIO COMMUNICATIONS ENHANCED SYSTEM PER FLORIDA FIRE PREVENTION CODE, 5TH ED. NFPA 1, SEC. 11.10

NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS
2.	6/1/17	JMH	REVISE BUILDING FOOT PRINT.				
1.	5/17/17	JMH	REVISE PER DRC COMMENTS				

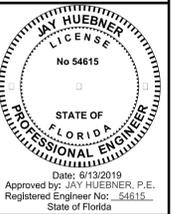
Designed by: JH Date: 11/16  
 Drawn by: AZ Date: 11/16  
 Checked by: JH Date: 11/16



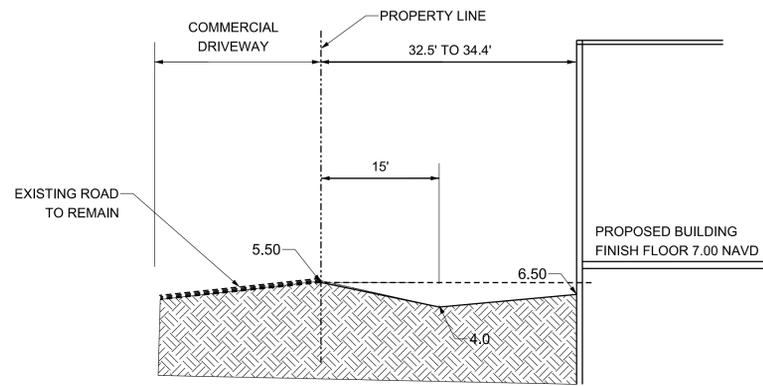
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**SAFE AND SECURE SELF STORAGE**  
 CONCEPTUAL ENGINEERING PLAN

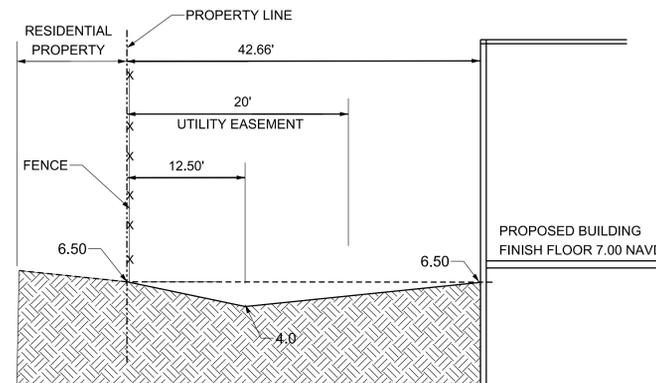
SCALE:  
1" = 30'  
 PROJECT NUMBER:  
1608-61  
 SHEET NUMBER:  
CE-1



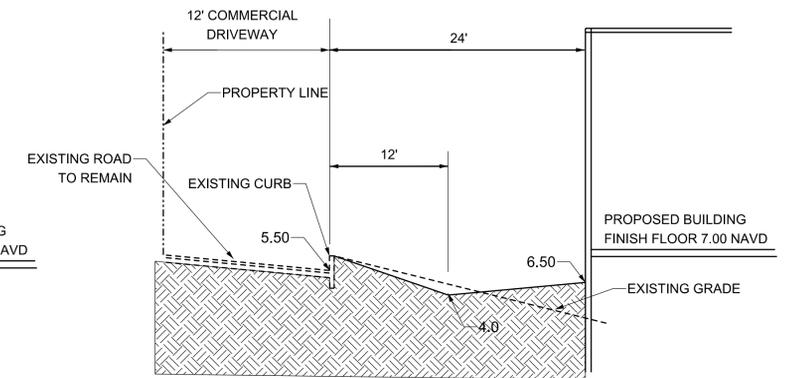
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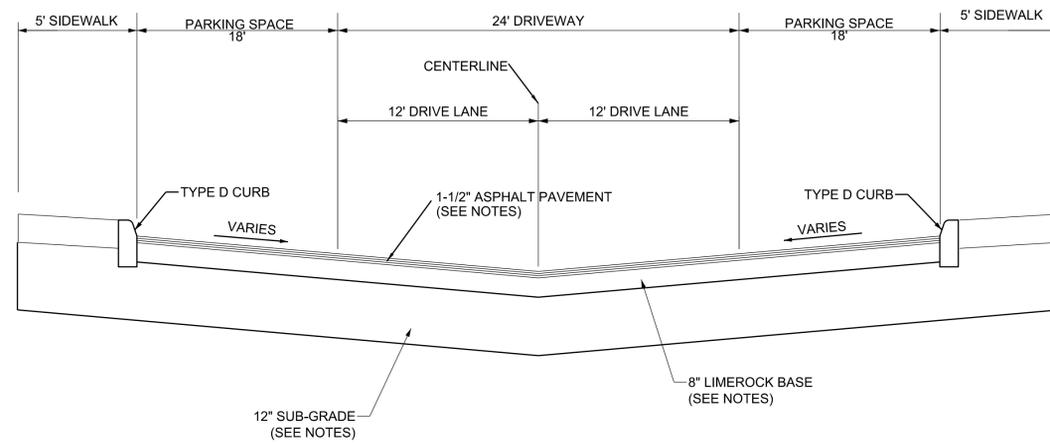
**EAST PROPERTY LINE SECTION A-A**  
N.T.S.



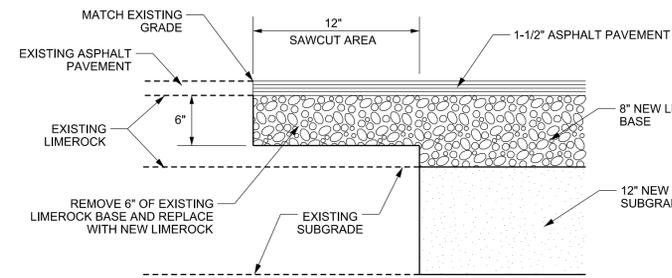
**NORTH PROPERTY LINE SECTION D-D**  
N.T.S.



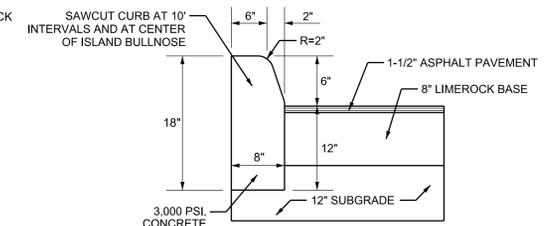
**WEST PROPERTY LINE SECTION E-E**  
N.T.S.



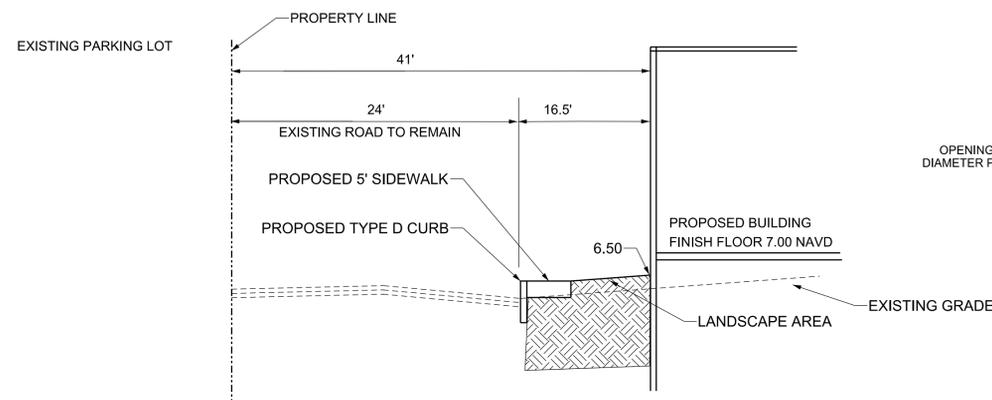
**TYPICAL PARKING LOT SECTION B-B**  
N.T.S.



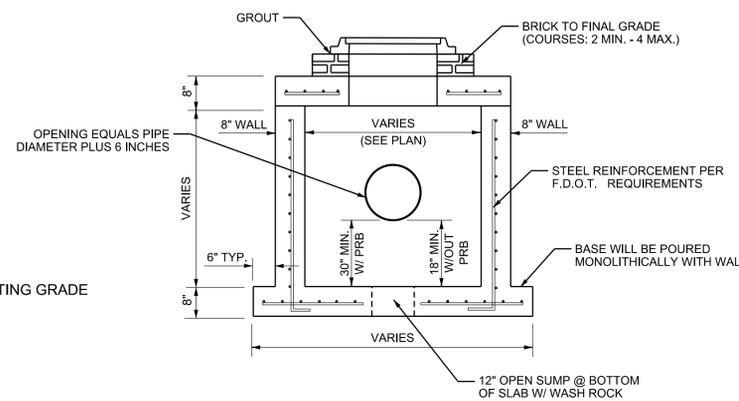
**PAVEMENT CONNECTION DETAIL**  
N.T.S.



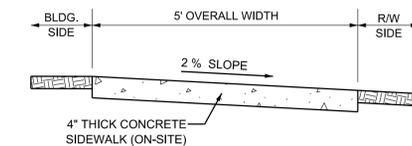
**TYPE \"D\" CONCRETE CURB DETAIL**  
N.T.S.



**SOUTH PROPERTY LINE SECTION C-C**  
N.T.S.



**TYPE \"D\" CATCH BASIN DETAIL**  
N.T.S.



**NOTES**

1. PROVIDE 1/8\"
2. PROVIDE 1/2\"
3. CONCRETE TO BE 3,000 P.S.I. IN 28 DAYS.
4. CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE, OR OTHER APPROVED METHOD.

**CONCRETE SIDEWALK DETAILS**  
N.T.S.

48 HOURS BEFORE DIGGING  
BROWARD, PALM BEACH, BOKER RIVER,  
ST. LUCIE - MARTIN COUNTIES  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE 1 CALL  
UNDERGROUND UTILITIES  
NOTIFICATION CENTER



NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: JH Date: 11/16  
 Drawn by: AZ Date: 11/16  
 Checked by: JH Date: 11/16

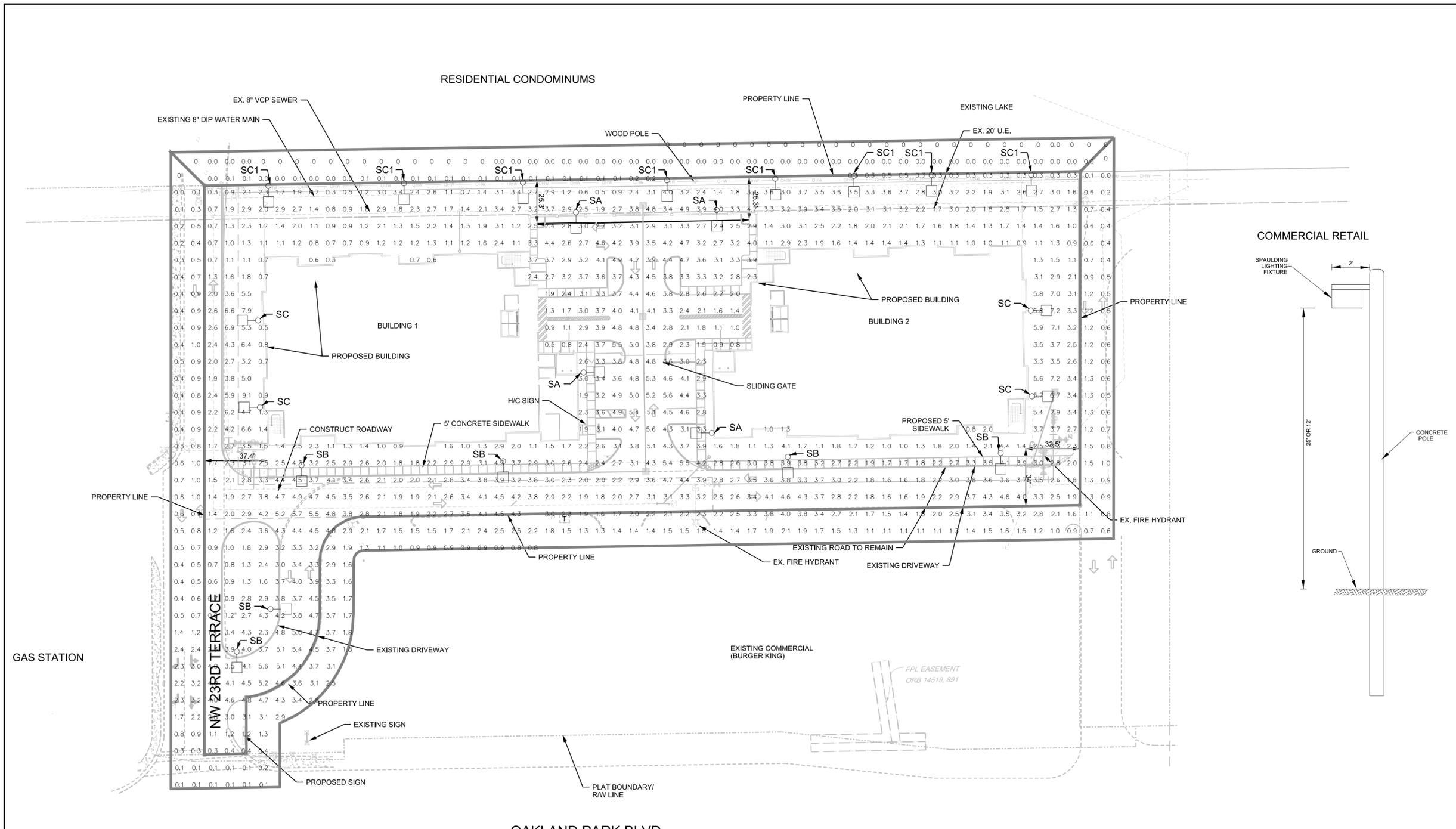
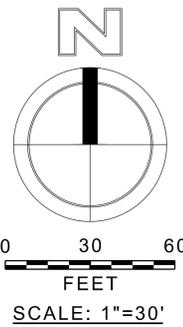


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**SAFE AND SECURE SELF STORAGE**  
 SITE CROSS SECTIONS

SCALE:  
 NTS  
 PROJECT NUMBER:  
 1608-61  
 SHEET NUMBER:  
 CE-2

6/13/2019 2:\projects\2015\151076\enr view\fig\drawings\site plan\151076-pdd-1.dgn



- LEGEND**
- LIGHT POLE
  - FPL TRANSFORMER
  - ♿ HANDICAP STALL
  - SIGN
  - NEW PAVEMENT
  - ▭ CONCRETE SIDEWALK

**GENERAL PHOTOMETRIC SCHEDULE**

AVERAGE FOOT-CANDELES	2.78
MAXIMUM FOOT-CANDELES	9.1
MINIMUM FOOT-CANDELES	0.3
MINIMUM TO MAXIMUM FC RATIO	0.03
MAXIMUM TO MINIMUM FC RATIO	33.72
AVERAGE TO MINIMUM FC RATIO	10.33

**Offsite (North)**

AVERAGE FOOT-CANDELES	0.03
MAXIMUM FOOT-CANDELES	0.2
MINIMUM FOOT-CANDELES	0
MINIMUM TO MAXIMUM FC RATIO	0.01
MAXIMUM TO MINIMUM FC RATIO	75.74
AVERAGE TO MINIMUM FC RATIO	11.25

**Offsite**

AVERAGE FOOT-CANDELES	1.41
MAXIMUM FOOT-CANDELES	4.8
MINIMUM FOOT-CANDELES	0
MINIMUM TO MAXIMUM FC RATIO	0
MAXIMUM TO MINIMUM FC RATIO	606.58
AVERAGE TO MINIMUM FC RATIO	179.28

**LUMINAIRE SCHEDULE**

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	VOLTS	QUANTITY	TOTAL LUMENS	MOUNTING HEIGHT	TILT
SA	○	(1) 90 LEDs - 4000K - 70 CRI	CIMARRON CL1	SPAULDING LIGHTING, CL1-90L-4K-4-BC	120V 1P 2W	6	22286	25'	0°
SB	○	(1) 90 LEDs - 4000K - 70 CRI	CIMARRON CL1	SPAULDING LIGHTING, CL1-90L-4K-3	120V 1P 2W	6	22026	25'	0°
SC	○	(1)	TYPE 4 WITH BACKLIGHT CONTROL	Spaulding, CL15-48L-4K-4-BC	120V 1P 2W	12	11816	12'	0°
SC1	○	(1)	TYPE 4 WITH BACKLIGHT CONTROL	Spaulding, CL15-48L-4K-4-BC	120V 1P 2W	12	11816	12'	20°

NO.	DATE	BY	REVISIONS	NO.	DATE	BY	REVISIONS

Designed by: JH Date: 11/16  
 Drawn by: AZ Date: 11/16  
 Checked by: JH Date: 11/16



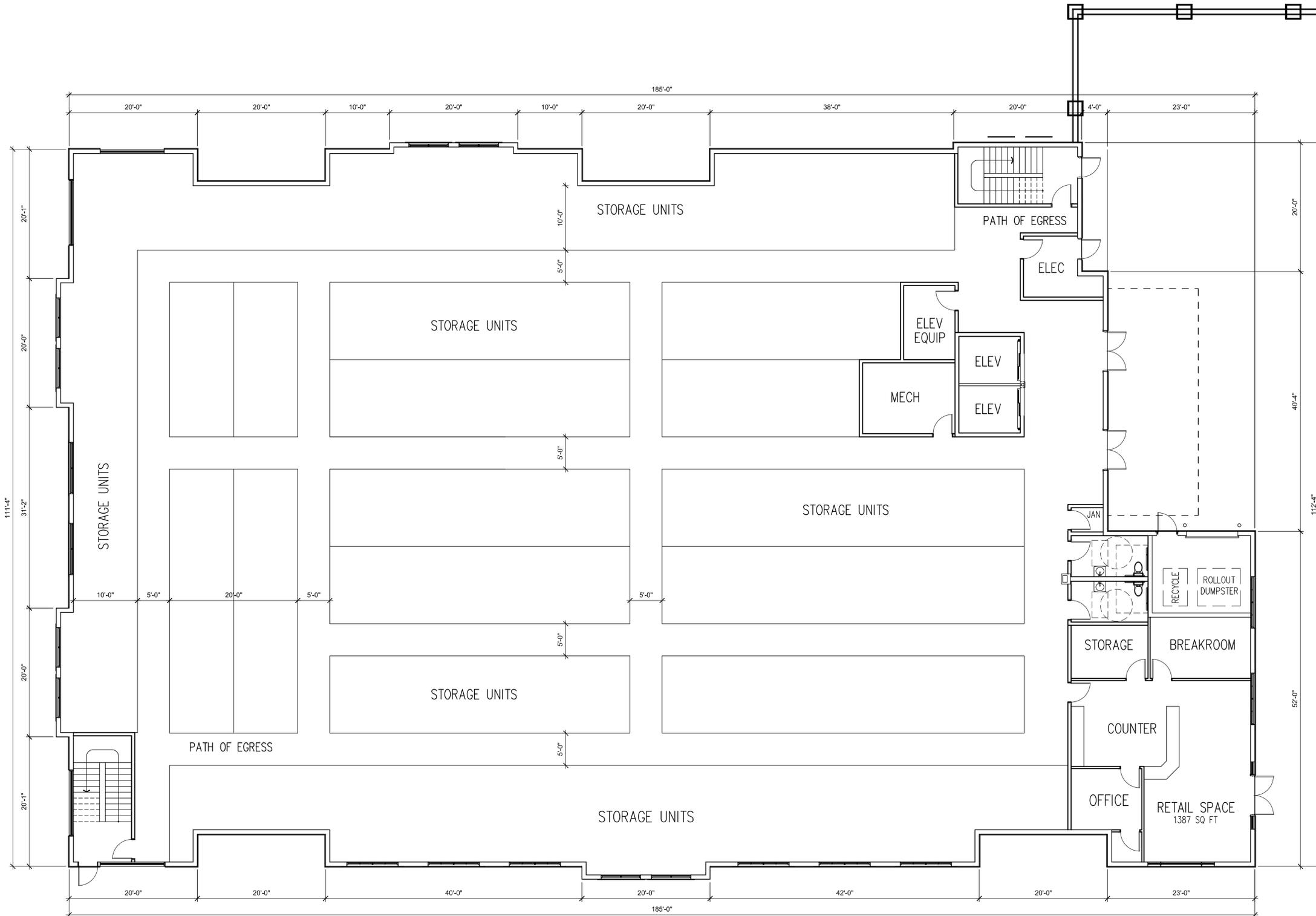
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**SAFE AND SECURE SELF STORAGE**  
**PHOTOMETRIC PLAN**

SCALE: 1" = 30'  
 PROJECT NUMBER: 1608-61  
 SHEET NUMBER: PH-1

Date: 6/13/2019  
 Approved by: JAY HUEBNER, P.E.  
 Registered Engineer No. 54615  
 State of Florida

6/13/2019 z:\projects\201511502-15 greenacres nissan\drawings\site plan\150215-fire.dgn



**NOTES:**

BUILDING OCCUPANCY: STORAGE GROUP S-2

OCCUPANT LOAD:  
 RETAIL /OFFICE = 1387 SF /100 = 13.9 OCCUPANTS  
 STORAGE SPACE = 112,109 SF /500 = 224.2 OCCUPANTS  
 CALCULATED TOTAL OCCUPANT LOAD = 238.1 OCCUPANTS  
 ANTICIPATED ACTUAL OCCUPANT LOAD = 20 OCCUPANTS

CONSTRUCTION TYPE: TYPE II-B

DUMPSTER AREA SHALL CONTAIN RECYCLING FACILITIES.

BUILDING SQUARE FOOTAGE:  
 LEVEL 1 - 37,832 SF  
 LEVEL 2 - 37,832 SF  
 LEVEL 3 - 37,832 SF  
 TOTAL - 113,496 SF

**GROUND FLOOR PLAN - WEST**  
 SCALE: 1/8" = 1'-0

Revisions	By	Date	Symbol

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Seal *Kelly J. Good*

**GOOD & EDWARD DESIGN STUDIOS**  
 28245 Highway 74  
 Main Street  
 Evergreen, CO 80439  
 321-271-0748  
 GoodEdward.com

Sheet Title  
**FLOOR PLAN - WEST  
 GROUND FLOOR**

Project  
**SAFE & SECURE SELF-STORAGE at OAKLAND PARK**  
 OAKLAND PARK, FLORIDA

Scale  
 1/8" = 1'-0"

Date  
 8/4/19

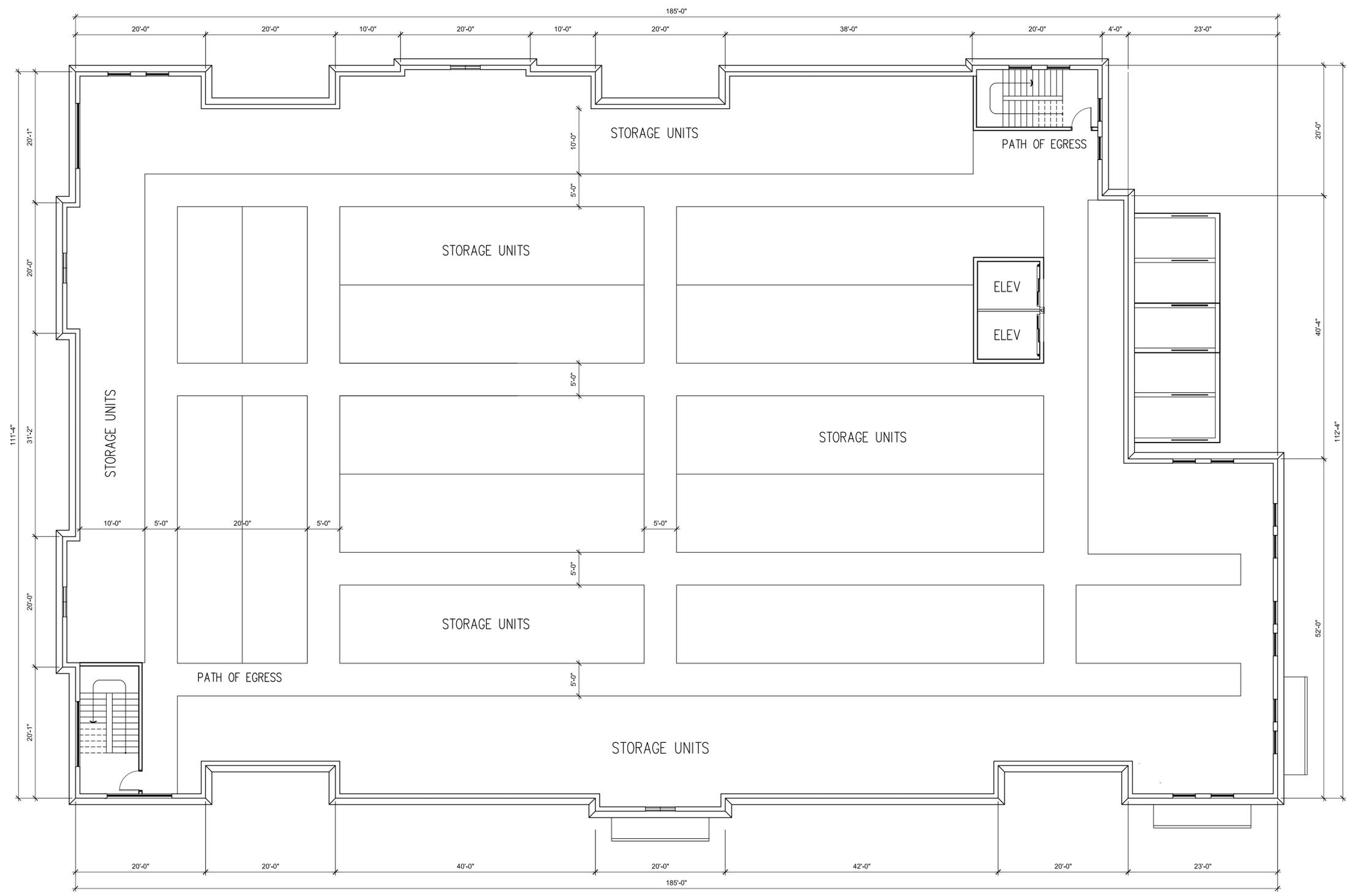
Job No.

Drawn By

Sheet No.  
**A1**

These architecture drawings are preliminary design concepts, herein called "Schematic" and are prepared for City of Oakland Park approvals. Once approvals are received, the architect and engineer will complete the architectural and engineering as required, but will maintain the Schematic design concept as presented herein. This design may be required to have modifications to meet: a.) local zoning ordinances, b.) any and all local, state and federal building requirements, and codes c.) local, state and federal ADA requirements, d.) local, state and federal structural requirements.





**SECOND FLOOR PLAN - WEST**  
 SCALE: 1/8" = 1'-0"

Revisions	By	Date	Symbol

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Seal *Shelley J. Good*

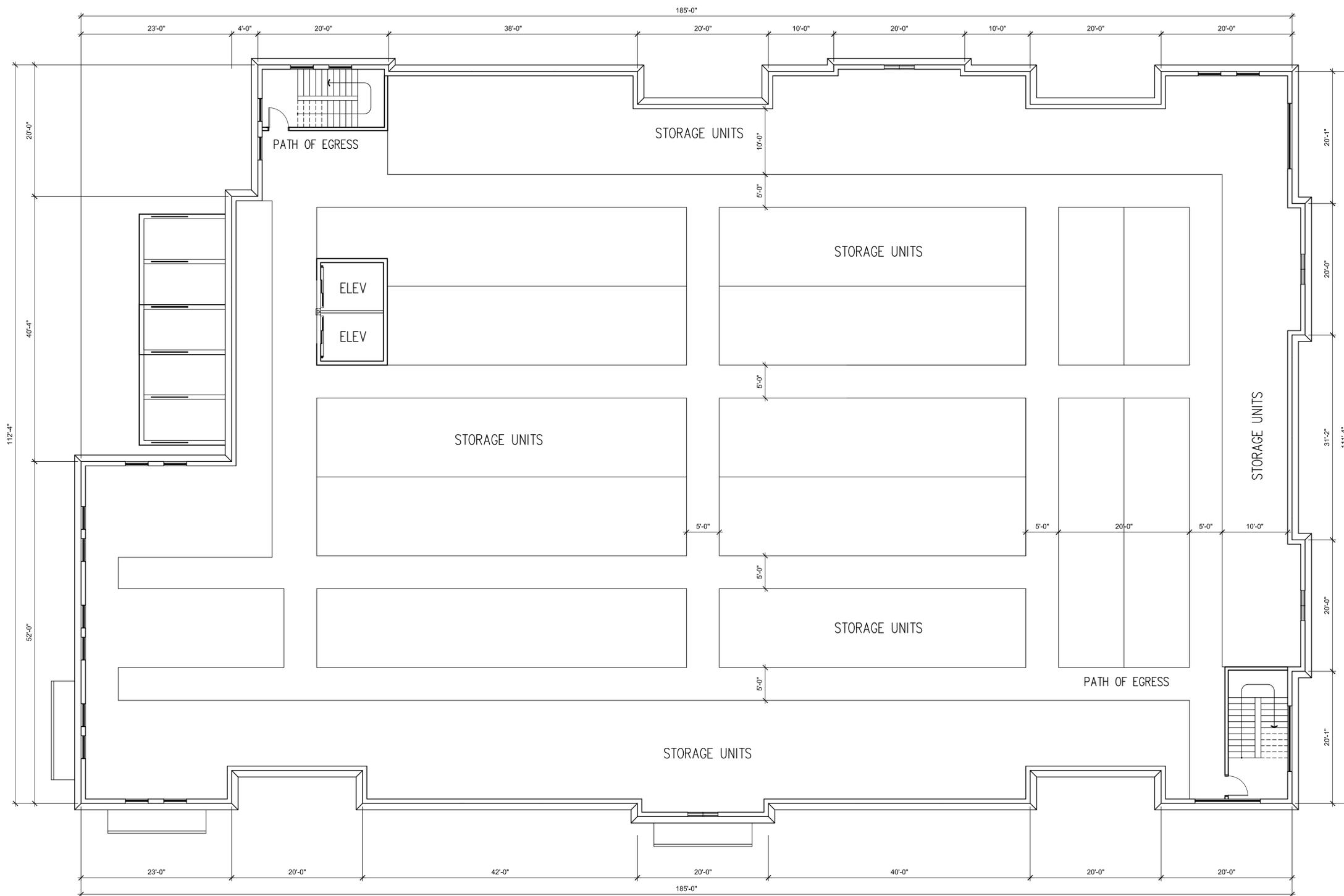


28245 Highway 74  
 Main Street  
 Evergreen, CO 80439  
 321-271-0748  
 GoodEdward.com

Sheet Title	FLOOR PLAN LEVEL 2 WEST	
	SAFE & SECURE SELF-STORAGE at TAMARAC TAMARAC, FLORIDA	
Scale	1/8" = 1'-0"	Job No.
Date	8/4/19	Drawn By
Sheet No.		

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**A3**



## SECOND FLOOR PLAN - EAST

SCALE: 1/8" = 1'-0"

Revisions	By	Date	Symbol

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Seal *Kelly J. Good*



28245 Highway 74  
Main Street  
Evergreen, CO 80439  
321-271-0748  
GoodEdward.com

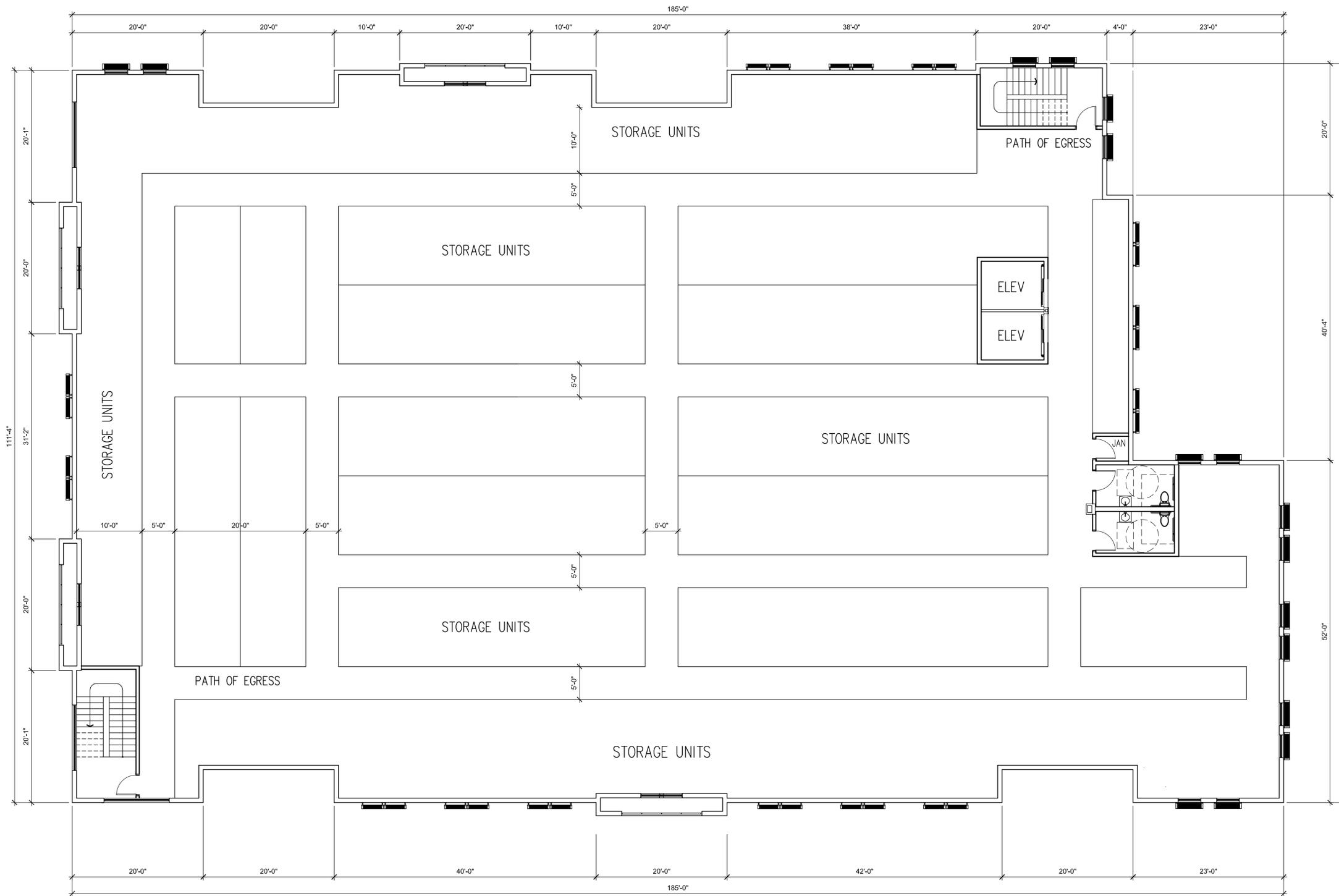
Sheet Title	FLOOR PLAN - EAST	
	LEVEL 2 EAST	
Project	SAFE & SECURE SELF-STORAGE at OAKLAND PARK	
	OAKLAND PARK, FLORIDA	

Scale	1/8" = 1'-0"	Job No.	
Date	8/4/19	Drawn By	

Sheet No.

# A4

These architecture drawings are preliminary design concepts, herein called "Schematic" and are prepared for City of Oakland Park approvals. Once approvals are received, the architect and engineer will complete the architectural and engineering as required, but will maintain the Schematic design concept as presented herein. This design may be required to have modifications to meet: a.) local zoning ordinances, b.) any and all local, state and federal building requirements, and codes c.) local, state and federal ADA requirements, d.) local, state and federal structural requirements.



**THIRD FLOOR PLAN - WEST**  
 SCALE: 1/8" = 1'-0"

Revisions	By	Date	Symbol

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Seal *Shelley J. Good*

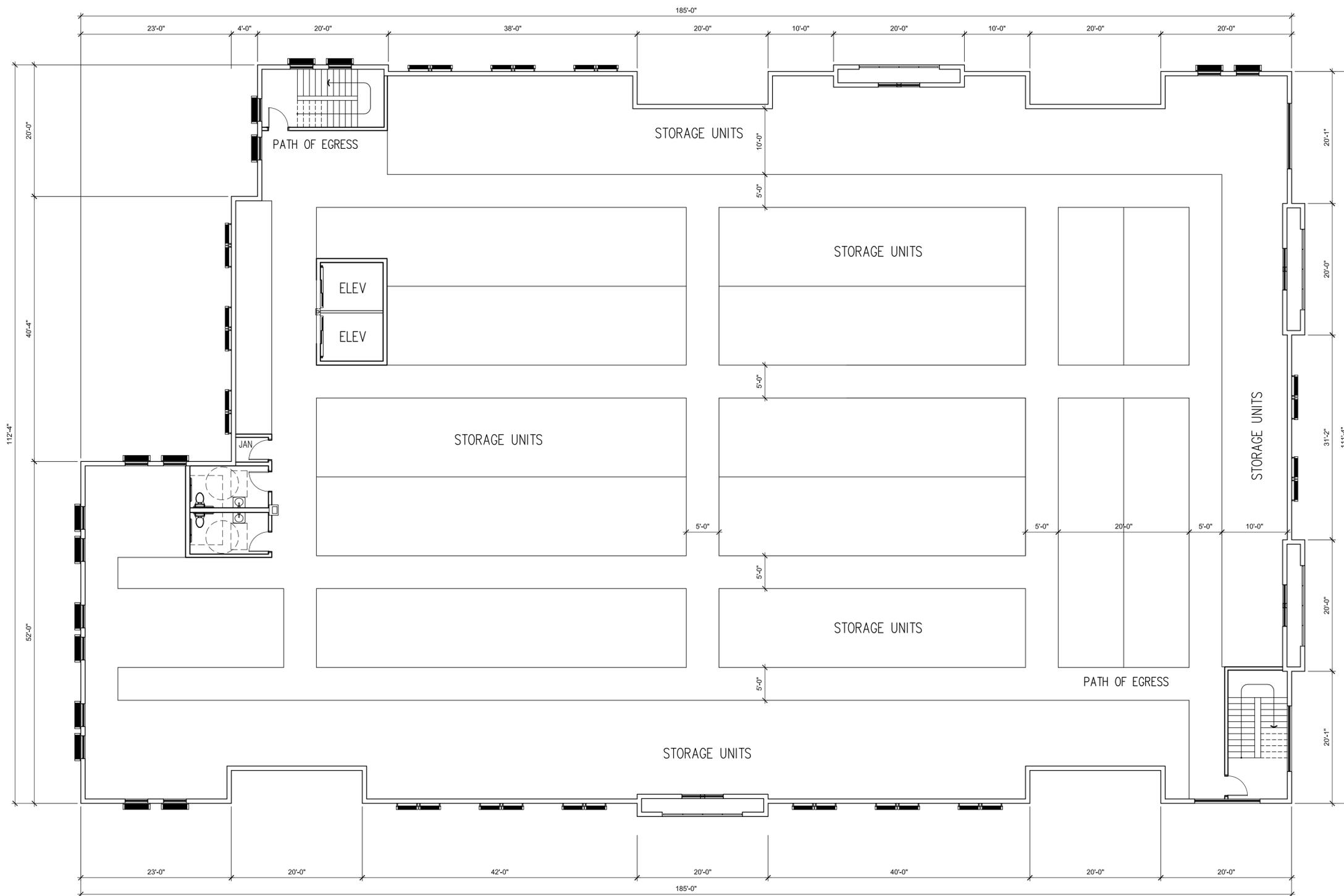


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Sheet Title	FLOOR PLAN LEVEL 3 WEST	
	SAFE & SECURE SELF-STORAGE at TAMARAC TAMARAC, FLORIDA	
Scale	1/8" = 1'-0"	Job No.
Date	8/4/19	Drawn By
Sheet No.		

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**A5**



### THIRD FLOOR PLAN - EAST

SCALE: 1/8" = 1'-0"

Revisions	By	Date	Symbol

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Seal *Kelly J. Good*



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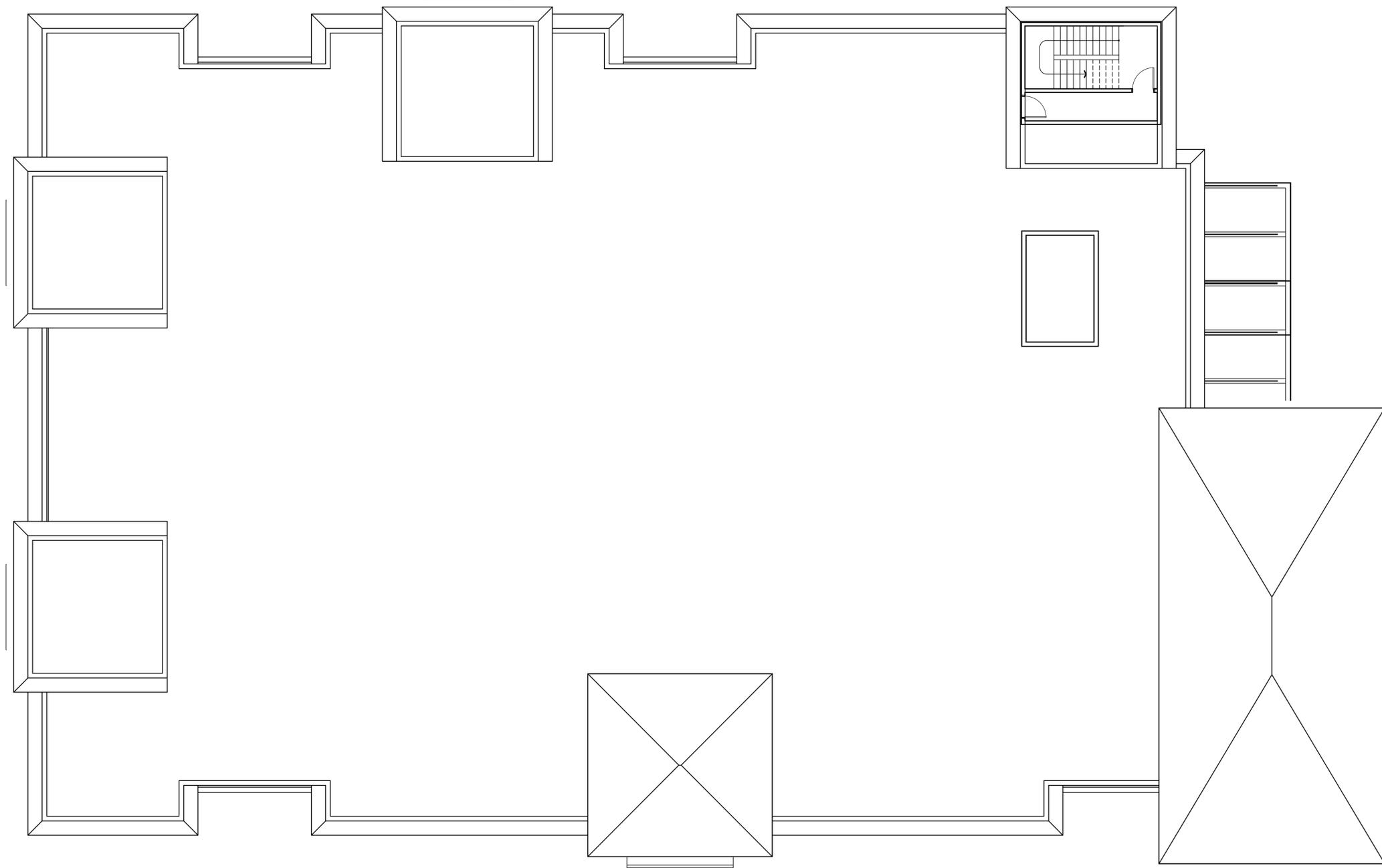
Sheet Title	FLOOR PLAN - EAST	
	LEVEL 3 EAST	
Project	SAFE & SECURE SELF-STORAGE at OAKLAND PARK	
	OAKLAND PARK, FLORIDA	

Scale	1/8" = 1'-0"	Job No.	
Date	8/4/19	Drawn By	

Sheet No.

# A6

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**ROOF PLAN - WEST**

SCALE: 1/8" = 1'-0

Revisions	By	Date	Symbol

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Seal *Shelley J. Good*



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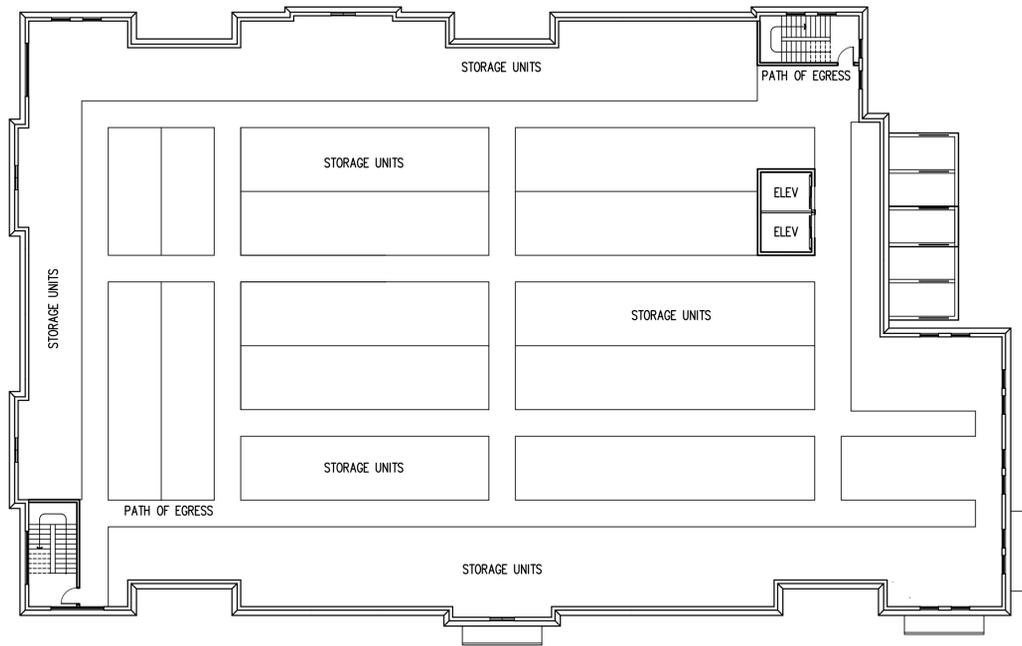
Sheet Title	ROOF PLAN
	Project SAFE & SECURE SELF-STORAGE at OAKLAND PARK OAKLAND PARK, FLORIDA
Scale	1/8" = 1'-0"
Date	8/4/19
Job No.	
Drawn By	

Sheet No.

**A7**

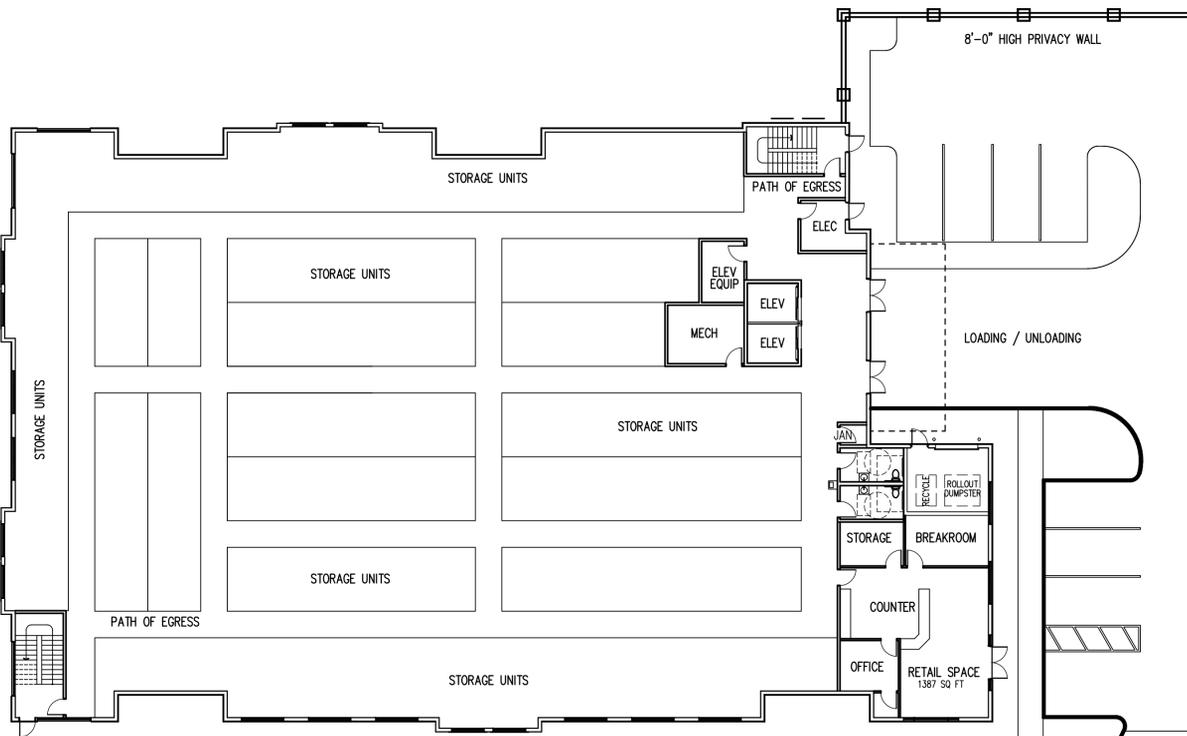
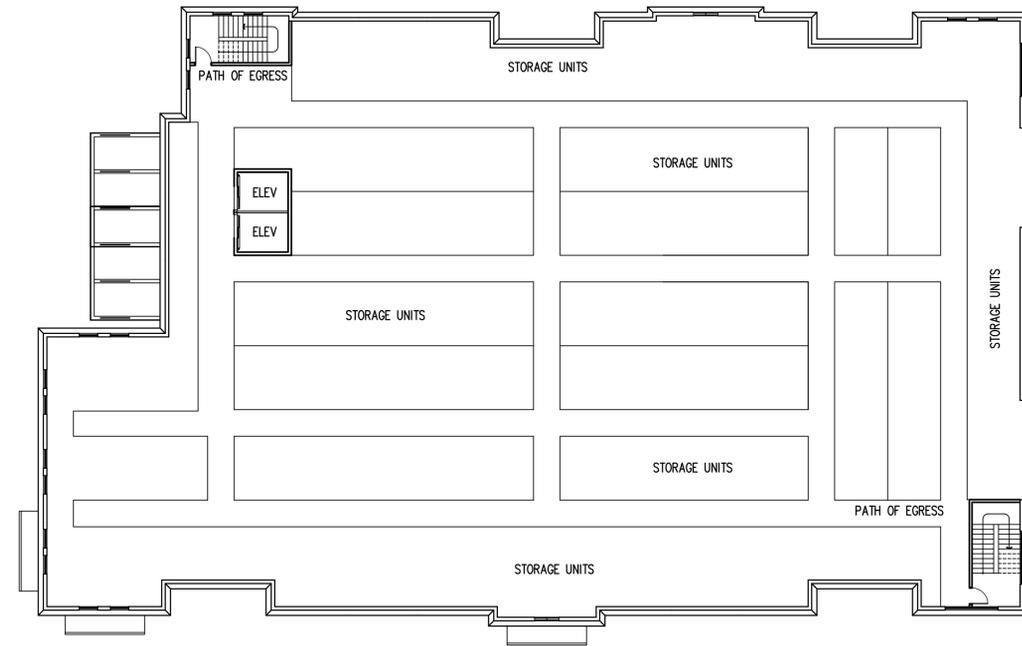
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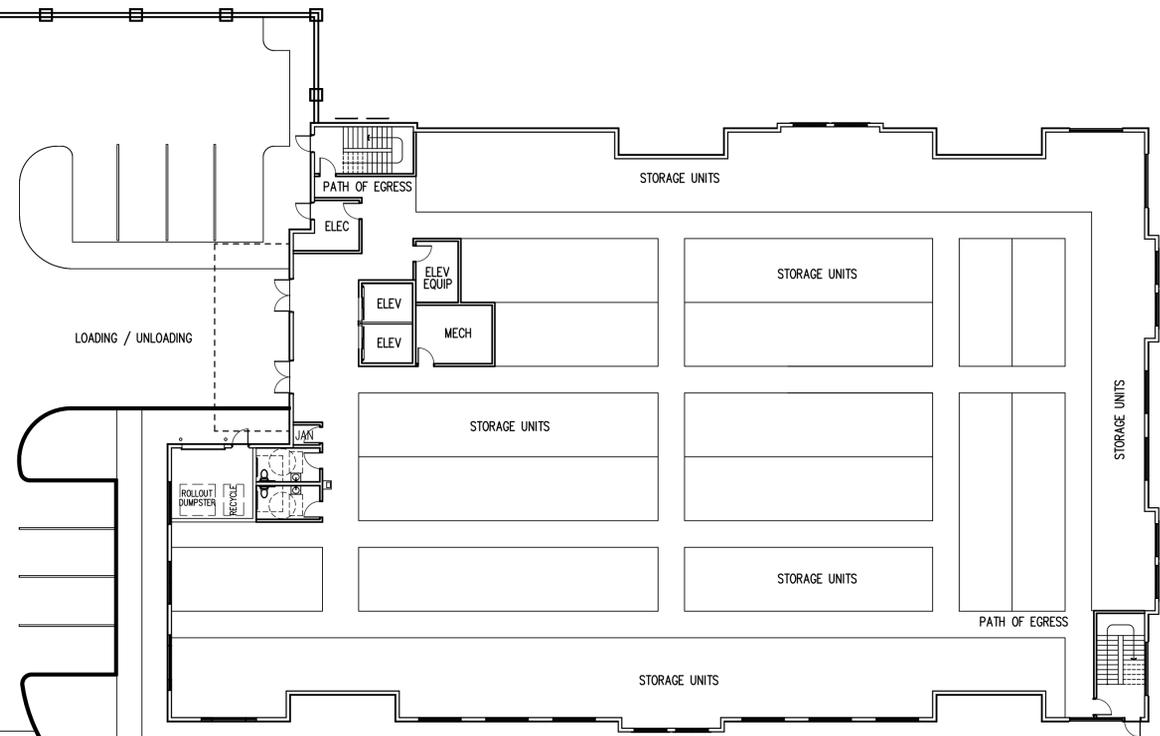
### LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'-0



### GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0



Revisions	By	Date	Symbol

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Seal *Shelley J. Good*

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Sheet Title  
**COMBINED PLANS**  
**GROUND FLOOR PLAN & LEVEL 2 PLAN**  
Project  
**SAFE & SECURE SELF-STORAGE at OAKLAND PARK**  
OAKLAND PARK, FLORIDA

Scale	1/16" = 1'-0"	Job No.	
Date	8/4/19	Drawn By	

Sheet No.

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# A9



- Roof Peak  
50' - 0"
- Parapet  
43' - 6"
- Parapet  
40' - 0"
- Roof  
36' - 0"
- Level 3  
25' - 0"
- Cornice  
18' - 0"
- Level 2  
14' - 0"
- Level 1  
0' - 0"



### FRONT (SOUTH) ELEVATION

SCALE: 1/8" = 1'-0 (Oakland Park Blvd)



### RIGHT (EAST) ELEVATION

SCALE: 1/8" = 1'-0

- Roof Peak  
50' - 0"
- Parapet  
43' - 6"
- Parapet  
40' - 0"
- Roof  
36' - 0"
- Level 3  
25' - 0"
- Cornice  
18' - 0"
- Level 2  
14' - 0"
- Level 1  
0' - 0"

Revisions	
By	
Date	
Symbol	

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Sheet Title	ELEVATIONS	
	SAFE & SECURE SELF-STORAGE at OAKLAND PARK OAKLAND PARK, FLORIDA	
Scale	1/8" = 1'-0"	Job No.
Date	8/4/19	Drawn By
Sheet No.		

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# A11



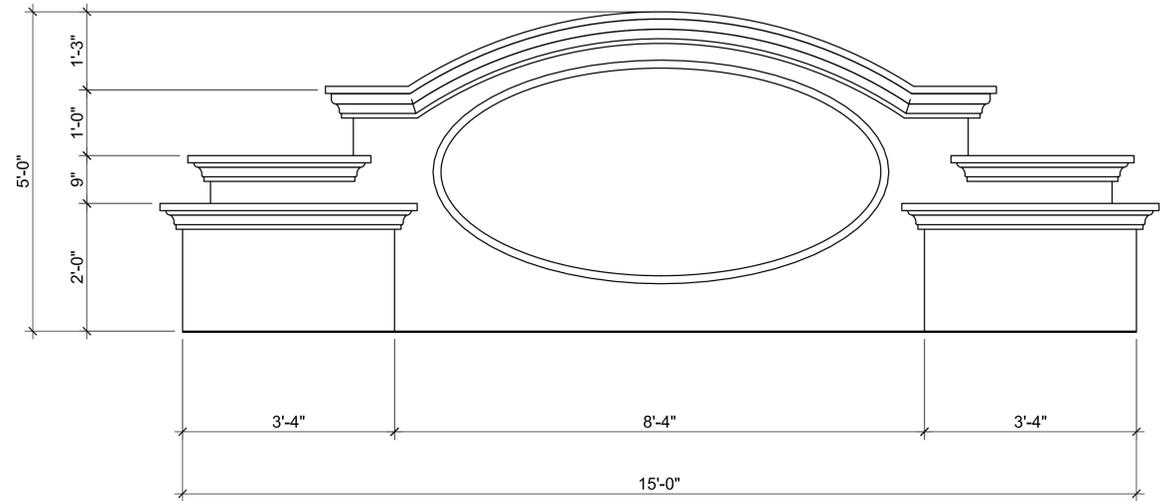




## MONUMENT SIGN

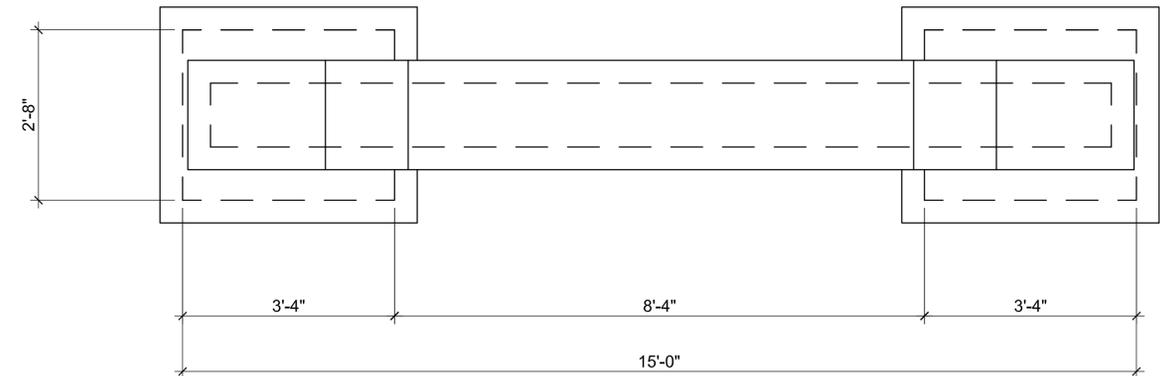
SEE THE SITE PLAN AND LANDSCAPE PLAN FOR THE LOCATION OF THE MONUMENT SIGN.

PROVIDE LIGHTING, ILLUMINATION, AND LANDSCAPING AS PER APPLICABLE CODES.



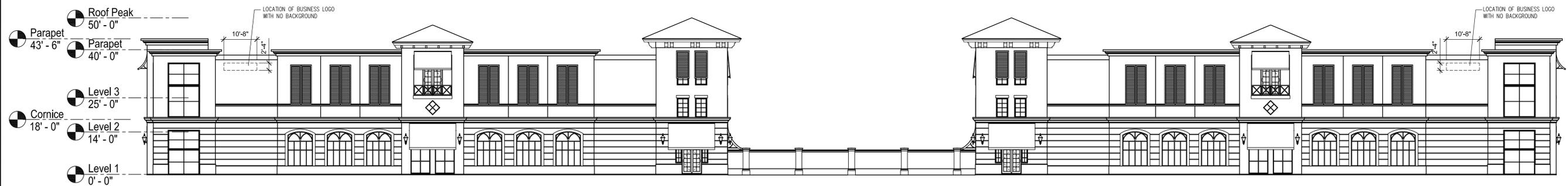
## ELEVATION

SCALE: 3/4" = 1'-0"



## PLAN

SCALE: 3/4" = 1'-0"



## FRONT (SOUTH) ELEVATION WALL LOGO LOCATIONS

SCALE: 1/16" = 1'-0" (Oakland Park Blvd)

Revisions	By	Date	Symbol

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Sheet Title	IDENTITY SIGNAGE
	MONUMENT SIGN
Project	SAFE & SECURE SELF-STORAGE at OAKLAND PARK
	OAKLAND PARK, FLORIDA

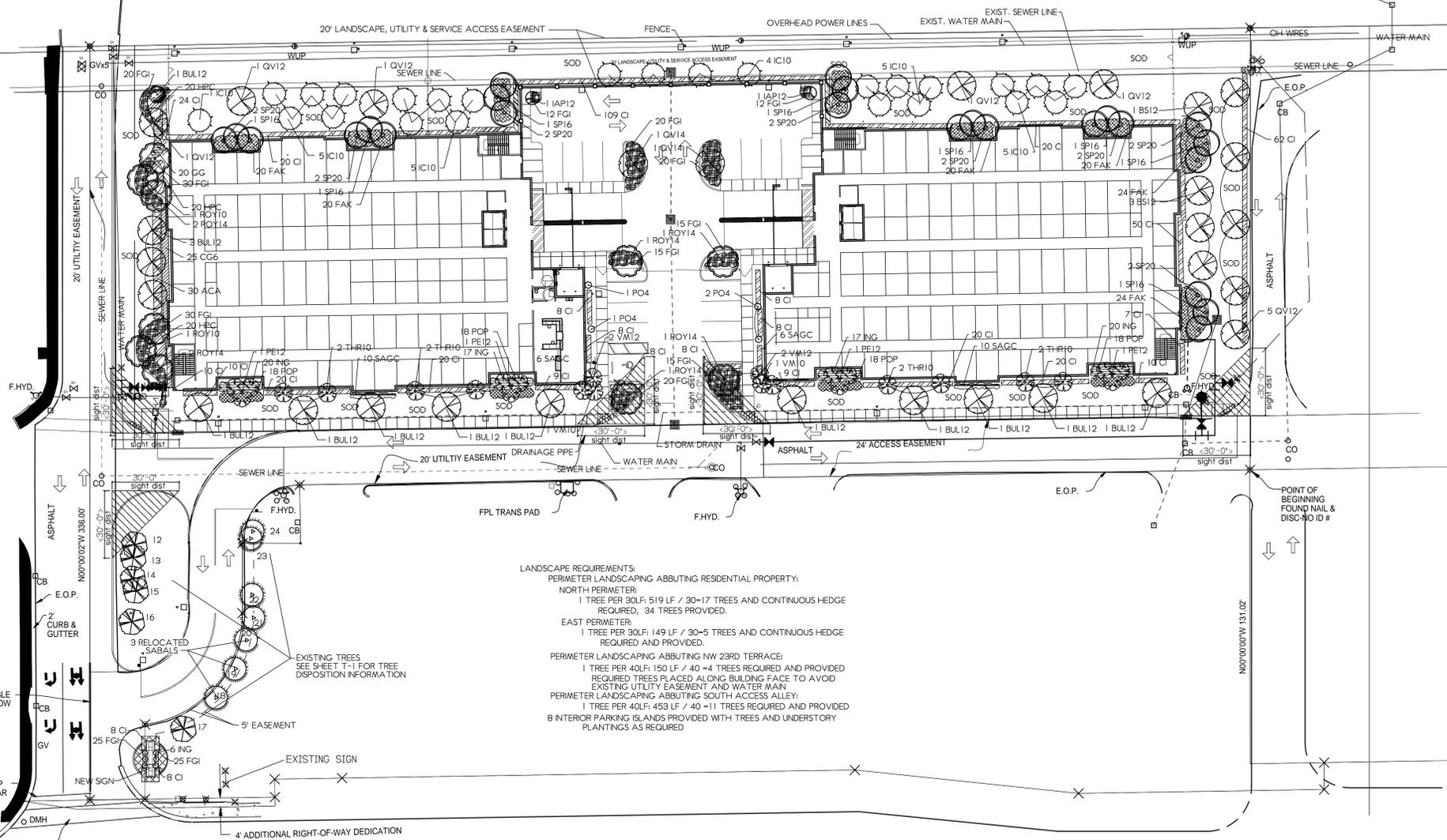
Scale 3/4" = 1'-0" Job No.

Date 8/4/19 Drawn By

Sheet No.

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# A14



**LANDSCAPE REQUIREMENTS:**  
**PERIMETER LANDSCAPING ABUTTING RESIDENTIAL PROPERTY:**  
**NORTH PERIMETER:**  
 1 TREE PER 30LF. 519 LF / 30+17 TREES AND CONTINUOUS HEDGE REQUIRED, 34 TREES PROVIDED.  
**EAST PERIMETER:**  
 1 TREE PER 30LF. 149 LF / 30+5 TREES AND CONTINUOUS HEDGE REQUIRED AND PROVIDED.  
**PERIMETER LANDSCAPING ABUTTING NW 23RD TERRACE:**  
 1 TREE PER 40LF. 150 LF / 40+4 TREES REQUIRED AND PROVIDED. REQUIRED TREES PLACED ALONG BUILDING FACE TO AVOID EXISTING UTILITY EASEMENT AND WATER MAIN.  
**PERIMETER LANDSCAPING ABUTTING SOUTH ACCESS ALLEY:**  
 1 TREE PER 40LF. 453 LF / 40+11 TREES REQUIRED AND PROVIDED.  
**8 INTERIOR PARKING ISLANDS PROVIDED WITH TREES AND UNDERSTORY PLANTINGS AS REQUIRED.**

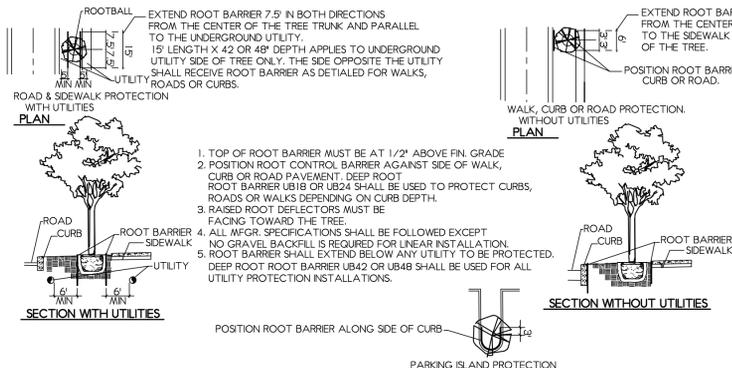
**PLANT LIST OAKLAND PARK SELF STORAGE**

NOTE: The quantities on this plant list are to be used as a guide only. Bidder shall do independent takeoff for bidding purposes.  
 \* Denotes native plants.

CT - CLEAR TRUNK GW - GREY WOOD DBH - DIAMETER BREAST HEIGHT (4 FT) OA - OVERALL HEIGHT  
 FTB - FULL TO BRACE HVY - HEAVY TRUNK CAL - CALIPER @ 4" 12" PER GRADES & STEPS SNG - SINGLE TRUNK  
 DBL - DOUBLE TRUNK TRP - TRIPLE TRUNK STD - TREE STANDARD MULT - MULTI-TRUNK  
 STA - STAGGERED HEIGHTS BRB - BRANCHED AND BURLEAPPED FG - FIELD GROWN  
 ALL PLANT MATERIALS MUST ADHERE TO CURRENT GRASSES AND STANDARDS FOR FLORIDA NUMBER ONE QUALITY OR BETTER. CONTAINER SIZE, WHEN LISTED, IS THE MINIMUM CONTAINER SIZE ACCEPTABLE FOR THE PLANT SPECIFIED. ALL PLANT MATERIAL WILL BE ACCEPTED BY THE PLANT SIZE SPECIFICATION AND NOT THE CONTAINER SIZE.

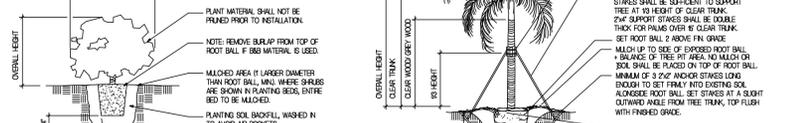
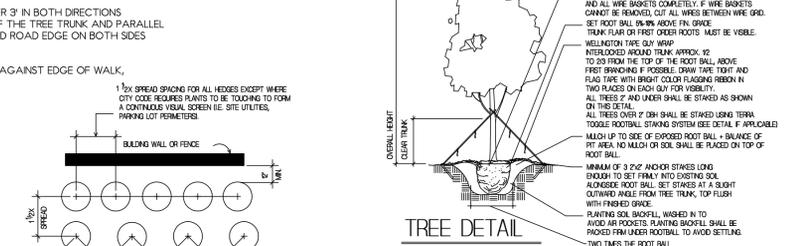
SYM	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	TRUNK DIA.	TRUNK SPCS.	COMMENTS
ACA	30	Azalea speciosa	Coppered	30'	24'	4.5CT	2.5"DBH	Full 24"oc
BS12	4	Banksia laevis	*Candle Tree	12'	6'	6CT		
BR12	14	Bidens arborosa	Yerwood	12'	6'	6CT		
CG6	25	Clusia garberi	Small Leaf Chesta	6'	3'			Full 34"oc
CI	476	Chysochloa lasca	*Cocoyam	30"	18"			Full 24"oc
FAK	128	Triplaris dactyloides	*Fakelike Grass	30"	30"			Full 24"oc
FB	239	Ficus microcarpa	Crepe Island Ficus	18"	18"			Full 24"oc
GO	20	Calyptranthes gracilis	Treeill	30"	24"			Full 24"oc
GR	60	Hamelia patens compacta	*Flame Firebush	18" 24"	18"			Full 24"oc
IAP12	2	Illex attenuata 'East Palatka'	*East Palatka Holly	12'	5'	3CT	2.5"DBH	
IC10	11	Illex coccineus	*Daboon Holly	10'	5'	4.5CT	2.5"DBH	
ING	80	Ischaemum 'New Grass'	New Grass Grass	30"	18"			Full 24"oc
PE12	4	Psychotria elegans	Solitaire Palm	12'				Triple
PO4	4	Ficus palmata	New Podocarpus	4'	24"			
POP	72	Podocarpus macrophylla 'Pringles'	Pringle Dwarf Podocarpus	18"	18"	4.5CT	2.5"DBH	
QV12	8	Quercus virginiana	*Live Oak	12'	6'			3"DBH
QV14	2	Quercus virginiana	*Live Oak	14'	7'			3"DBH
ROY10	2	Royalty Palm	*Florida Royal Palm	10' GW-14' HCT				
ROY14	8	Royalty Palm	*Florida Royal Palm	14' GW-18" 20"CT				
SAGC	32	Schefflera arboricola 'Gold Capella'	Var. Schefflera	30"	24"			
SP10	2	Sabal palmetto	*Cabbage Palm	10CT				
SP16	6	Sabal palmetto	*Cabbage Palm	16CT				
SP20	16	Sabal palmetto	*Cabbage Palm	20CT				
THR10	10	Thrinax radiata	*Thatch Palm	10CT				
VM10	2	Vectha montgomeryana	Montgomery Palm	10'				
VM12	4	Vectha montgomeryana	Montgomery Palm	12CT				

OTHER LANDSCAPE MATERIALS:  
 MCH - Mulch (in Bags)  
 SOE - Planting Soil (Cubic Yards)  
 SOD - Sod  
 TO BE MEASURED IN FIELD



**ROOT CONTROL BARRIER INSTALLATION DETAIL & SPECIFICATIONS**

ROOT BARRIER SHALL BE USED ON ALL TREES AND PALMS PLANTED WITHIN 6' OF ANY PUBLIC INFRASTRUCTURE, SIDEWALK, ROAD, CURB OR UTILITY.



**GENERAL SPECIFICATIONS**

- All plant materials shall be Florida No. 1 or better as set forth by the Florida Department of Agriculture, Grades and Standards for Nursery Plants, current edition. All plants to be graded shall comply with the general requirements listed there in. Certification that all plant materials installed are Florida No. 1 or better shall be the sole responsibility of the Landscape Contractor. Said certification shall be provided to the Owner or his authorized representative at the time of delivery of the plant material to the job site. Any claims regarding plant material grade shall be determined by a representative of the Division of Plant Industry of the State of Florida. All rules and guidelines set by the State for the purpose of grading plant materials shall be followed.
- Palms shall be planted so that their heads are clear of building walls and windows at mature spread.
- All Sabel Palms, Queen Palms, Washingtonia Palms, Phoenix varieties and all other single trunk, upright varieties with six foot (6') of clear trunk or greater shall be stakes and staked. All trees shall be planted so that heads will be clear of building walls, roof lines and windows at mature spread. Shade trees shall not be located closer than fifteen feet (15') from project light poles. Medium to small trees/palms shall not be planted closer than ten feet (10') to project light poles. Florida Power and Light tree location guidelines shall be followed in all cases relating to FPL power pole or easement locations. Where Codes require, locations of all trees planted in Rights-Of-Way or utility easements shall be confirmed by the landscape contractor with the City or County Engineer before installation. All tree trunk calipers shall be measured at 4-12" above top of root ball. All trees that are designated as single-trunk trees shall have a single, dominant leader and a relatively straight trunk. All trees that are designated as multi-trunk trees shall have at least three trunks with equal calipers originating from the base of the tree, and with angles no greater than 45 degrees. Trees with bark inclusion or codominant trunks will not be accepted.
- All Trees and Palms shall be kept in an upright position. Under no circumstances shall any support method employ the driving of nails or other mechanical devices of any kind into the bark of any tree or palm. All staking shall be removed approximately 6 months after planting or at the time of establishment of the tree. Large trees and palms shall be planted a minimum of 10' from building foundations and masonry walls. Medium trees and palms a minimum of 7' and small trees/palms a minimum of 5' from masonry structures. All synthetic burlap, synthetic string or cords shall be removed before any trees are planted. All synthetic tape (ie. tagging tape, nursery label) shall be removed from trunks, branches, etc. before inspection. The top one-third of any natural burlap shall be removed before the trees are backfilled. All wire baskets shall be removed from the top and sides of the rootball to a depth of 3' and all remaining wire shall be cut to prevent girdling. All trees (except palms) and other plants shall be planted with the top of their rootballs 5%-8% above the final grade surrounding the planting area as detailed. Palms shall be planted with the top of the rootball flush with the surrounding area.
- All trees within or overhanging pedestrian areas shall have a clear trunk high enough to allow unobstructed pedestrian movement under or around trees. Sight distance concerns must be maintained for clear sight visibility from thirty (30) inches to seventy-two (72) inches, tree trunks excluded.
- All hedges shall be planted with twelve inches (12") clear space between outer branches and building walls, fences or pavement edges and three feet (3') back from edge of parking spaces at the time of planting. Spacing of shrubs closer to center shall be as specified by the municipality for screening requirements. All mechanical equipment, air conditioning, irrigation pumps, FPL transformers, pool pumps, etc., must be screened on three (3) sides by shrubs.
- Irrigation shall be by underground, automatic, rust free system with 100% coverage and a minimum of 50% overlap of spray. Irrigation rain sensor shall be installed. Irrigation water shall not be directed onto or over pedestrian surfaces. Irrigation systems other than City water shall require a South Florida Water Management District water use permit prior to the issuance of the required irrigation permit from the City and/or the operation of the irrigation system. Approved irrigation permits shall be required from the City prior to installation.
- Planting soil shall be at least 30% muck and 70% sand pulverized and weed free, to be mixed with existing soil free from rocks and debris and backfilled into plant pits by washing in. Planting soil for Sabel Palms shall be clean sand. Existing soil may be used as planting soil if approved by the Landscape Architect.
- Fertilizer for trees and shrubs shall be a general purpose 50% organic fertilizer low in phosphorus, with minor elements, iron and manganese and shall be mixed with the planting soil at the time of backfilling. Fertilizer for palms shall be a palm special type to include manganese and magnesium sulfate. Application rates for all fertilizers at the time of planting shall be 1/2 the manufacturer's recommendations for established plants.
- Mulch shall be shredded eucalyptus or other clean hardwood species grade 1" or better set at a 3" minimum depth and wet down to prevent wind displacement. Cypress, rot or dyed mulch shall not be accepted. All mulch shall be certified "Arsenic Free". All trees shall have a water ring with a minimum depth of two inches, minimum of three inches, and a diameter of 3 feet to 4 feet around the base. No mulch shall be placed over the rootball. All mulch shall be kept two inches from the stems of all shrub plant material.
- Sod shall be Stenotaphrum secundatum 'Floriant' or 'Palmetto' solid sod, weed free and set with staggered joints. Sod shall be placed on all areas not used for buildings, vehicular use areas, walking, site structures or planting beds and shall extend to any abutting street, pavement edge and to the mean waterline of any abutting canal, lake or waterway. Sod shall be placed no closer than 13' from the trunk of any tree. Sod placed adjacent to pavement and curbs shall be set with top of sod-soil set flush with the top of the adjacent pavement and/or curb.
- Planting plans take precedence over plant lists. The Landscape Contractor shall be responsible for doing his own takeoff. The Landscape Contractor shall familiarize himself with the municipal code and deed restrictions of the municipality in which the project is located. All existing codes and deed restrictions pertaining to the municipality in which the project is located shall apply and may supersede these General Specifications. The more stringent requirement shall apply.
- The Landscape Contractor shall be aware of the locations of all easements and utilities above and below ground and shall call for utility locations forty eight (48) hours before any digging operations begin. All plant pits located in easements shall be hand dug. The Landscape Contractor shall provide a written guarantee to the Owner for all plant materials and workmanship for a period no less than one year from the time of final inspection and acceptance by the Owner. At the end of the guarantee period, all plant materials shall be inspected by the Landscape Contractor and the Owner. All plants that are in a healthy, growing condition at the time of the inspection shall be free from further guarantee and shall be the Owner's responsibility. All plants that are in questionable condition due to transport shock shall continue under the guarantee until recovery or, if deemed severely retarded in growth or dead, shall be replaced. Replaced plant material shall be guaranteed for the same time period and under the same conditions as the original plant material. This guarantee does not apply if the plant materials have not been installed by the Owner as instructed by the Landscape Contractor, are damaged by storms, vandalism, insect or freeze damage or acts of God beyond the Landscape Contractors control. All plants shall be free from harmful plant pests at the time of planting.

**NO REVISIONS**

DATE:	FEBRUARY 17, 2017
DATE:	JUNE 1, 2017
DATE:	FEBRUARY 20, 2019
DATE:	JULY 24, 2019
DATE:	AUGUST 23, 2019

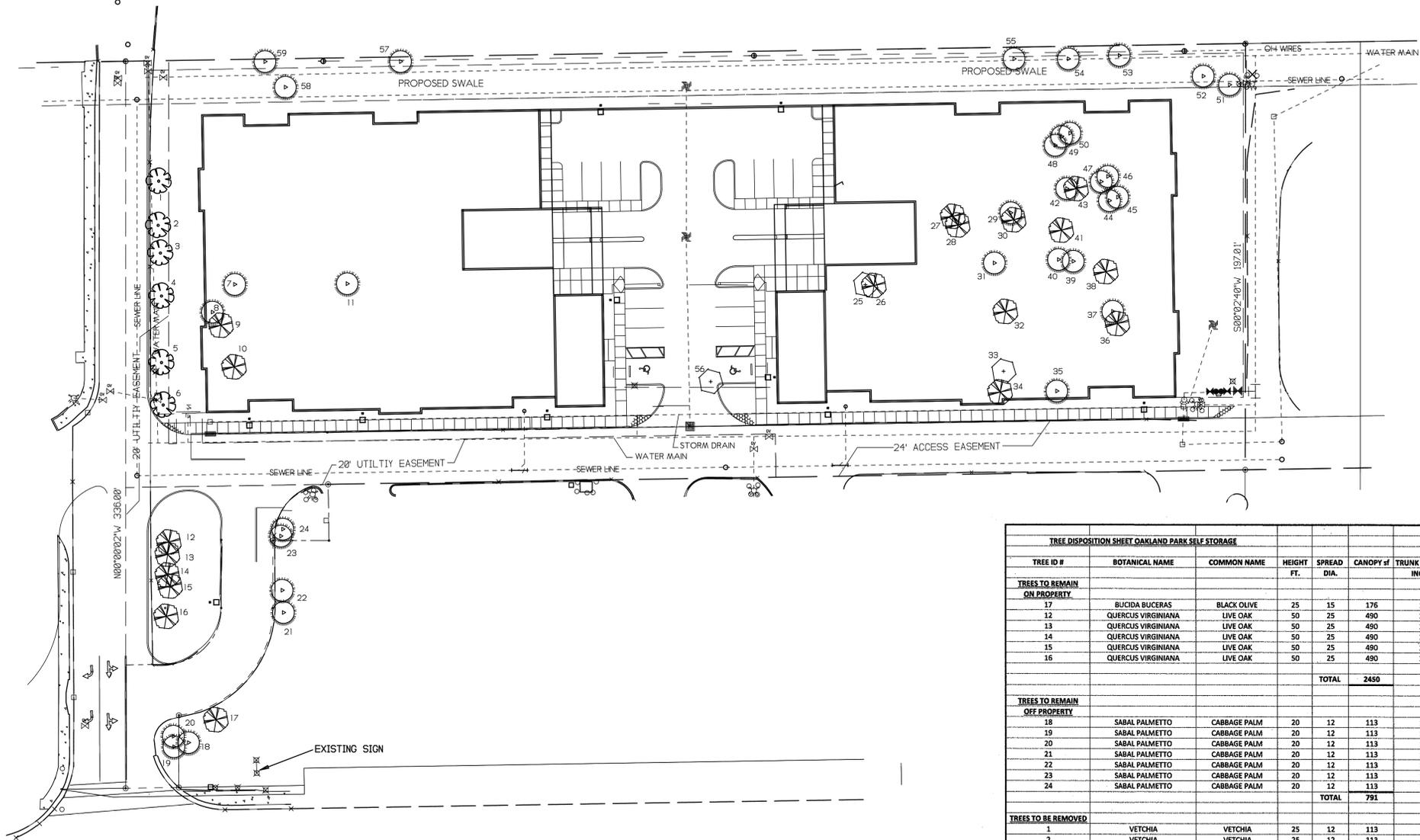
SCALE: 1"=30'  
 DRAWN BY: M.J.P.

**LANDSCAPE PLAN FOR OAKLAND PARK SELF STORAGE**  
 WEST OAKLAND PARK BOULEVARD, OAKLAND PARK, FLORIDA

**Michael J. Parrow and Associates, Inc.**  
 Landscape Architecture  
 P.O. Box 9861, Coral Springs, FL 33075  
 Phone: (954) 448-0659 | Fax: (954) 448-0652

SHEET NO: L-1  
 OF: ONE

THESE DRAWINGS ARE NOT VALID FOR SUBMITTAL OR CONTRACT CONSTRUCTION UNLESS THEY ARE SIGNED AND SEALED BY THE LICENSED ARCHITECT. UNLESS AND UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS AND NOTES ARE TO BE USED FOR CLIENT PURPOSES & BIDDING ONLY.



TREE ID #	BOTANICAL NAME	COMMON NAME	HEIGHT FT.	SPREAD DIA.	CANOPY sf	TRUNK DIA. DBH INCHES	CONDITION	DISPOSITION	COMMENTS
<b>TREES TO REMAIN ON PROPERTY</b>									
17	BUCIDA BUCERAS	BLACK OLIVE	25	15	176	14	GOOD	REMAIN	NEEDS PROPER PRUNING
12	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	20	GOOD	REMAIN	NEEDS PROPER PRUNING
13	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	24	GOOD	REMAIN	NEEDS PROPER PRUNING
14	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	30	GOOD	REMAIN	NEEDS PROPER PRUNING
15	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	22	GOOD	REMAIN	NEEDS PROPER PRUNING
16	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	24	GOOD	REMAIN	NEEDS PROPER PRUNING
					<b>TOTAL</b>	<b>2450</b>			
<b>TREES TO REMAIN OFF PROPERTY</b>									
18	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	FAIR	RELOCATE	
19	SABAL PALMETTO	CABBAGE PALM	20	12	113	15	FAIR	RELOCATE	
20	SABAL PALMETTO	CABBAGE PALM	20	12	113	14	FAIR	RELOCATE	
21	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	FAIR	REMAIN	OFF PROPERTY
22	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	FAIR	REMAIN	OFF PROPERTY
23	SABAL PALMETTO	CABBAGE PALM	20	12	113	10	FAIR	REMAIN	OFF PROPERTY
24	SABAL PALMETTO	CABBAGE PALM	20	12	113	10	FAIR	REMAIN	OFF PROPERTY
					<b>TOTAL</b>	<b>791</b>			
<b>TREES TO BE REMOVED</b>									
1	VETCHIA	VETCHIA	25	12	113	8	POOR	REMOVE	WITHIN CONSTRUCTION AREA
2	VETCHIA	VETCHIA	25	12	113	4	POOR	REMOVE	WITHIN CONSTRUCTION AREA
3	VETCHIA	VETCHIA	25	12	113	8	POOR	REMOVE	WITHIN CONSTRUCTION AREA
4	VETCHIA	VETCHIA	25	12	113	8	POOR	REMOVE	WITHIN CONSTRUCTION AREA
5	VETCHIA	VETCHIA	25	12	113	8	POOR	REMOVE	WITHIN CONSTRUCTION AREA
6	VETCHIA	VETCHIA	25	12	113	8	POOR	REMOVE	WITHIN CONSTRUCTION AREA
7	SABAL PALMETTO	CABBAGE PALM	20	12	113	16	POOR	REMOVE	WITHIN CONSTRUCTION AREA
8	SABAL PALMETTO	CABBAGE PALM	20	12	113	16	POOR	REMOVE	WITHIN CONSTRUCTION AREA
9	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	32	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
10	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	32	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
11	SABAL PALMETTO	CABBAGE PALM	20	12	113	10	POOR	REMOVE	WITHIN CONSTRUCTION AREA
25	FICUS VAR.	FICUS VAR.	40	35	962	20	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
26	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	24	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
27	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	24	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
28	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	24	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
29	SABAL PALMETTO	CABBAGE PALM	20	12	113	10	POOR	REMOVE	WITHIN CONSTRUCTION AREA
30	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	24	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
31	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	POOR	REMOVE	WITHIN CONSTRUCTION AREA
32	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	18	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
33	FICUS VAR.	FICUS VAR.	40	35	962	72	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
34	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	30	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
35	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	POOR	REMOVE	WITHIN CONSTRUCTION AREA
36	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	20	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
37	SABAL PALMETTO	CABBAGE PALM	20	12	113	9	POOR	REMOVE	WITHIN CONSTRUCTION AREA
38	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	20	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
39	SABAL PALMETTO	CABBAGE PALM	20	12	113	10	POOR	REMOVE	WITHIN CONSTRUCTION AREA
40	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	POOR	REMOVE	WITHIN CONSTRUCTION AREA
41	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	20	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
42	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	POOR	REMOVE	WITHIN CONSTRUCTION AREA
43	QUERCUS VIRGINIANA	LIVE OAK	50	25	490	12	GOOD	REMOVE	WITHIN CONSTRUCTION AREA
44	SABAL PALMETTO	CABBAGE PALM	20	12	113	9	POOR	REMOVE	WITHIN CONSTRUCTION AREA
45	SABAL PALMETTO	CABBAGE PALM	20	12	113	7	POOR	REMOVE	WITHIN CONSTRUCTION AREA
46	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	POOR	REMOVE	WITHIN CONSTRUCTION AREA
47	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	POOR	REMOVE	WITHIN CONSTRUCTION AREA
48	SABAL PALMETTO	CABBAGE PALM	20	12	113	9	POOR	REMOVE	WITHIN CONSTRUCTION AREA
49	SABAL PALMETTO	CABBAGE PALM	20	12	113	9	POOR	REMOVE	WITHIN CONSTRUCTION AREA
50	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	POOR	REMOVE	WITHIN CONSTRUCTION AREA
51	SABAL PALMETTO	CABBAGE PALM	20	12	113	8	POOR	REMOVE	WITHIN CONSTRUCTION AREA
52	SABAL PALMETTO	CABBAGE PALM	20	12	113	12	POOR	REMOVE	WITHIN CONSTRUCTION AREA
53	SABAL PALMETTO	CABBAGE PALM	20	12	113	8	POOR	REMOVE	UNDER POWERLINES
54	SABAL PALMETTO	CABBAGE PALM	20	12	113	8	POOR	REMOVE	UNDER POWERLINES
55	SABAL PALMETTO	CABBAGE PALM	20	12	113	10	POOR	REMOVE	UNDER POWERLINES
56	FICUS VAR.	FICUS VAR.	40	35	962	18	FAIR	REMOVE	WITHIN CONSTRUCTION AREA
57	SABAL PALMETTO	CABBAGE PALM	20	12	113	10	POOR	REMOVE	UNDER POWERLINES
58	SABAL PALMETTO	CABBAGE PALM	20	12	113	8	POOR	REMOVE	IN NEW SWALE
59	SABAL PALMETTO	CABBAGE PALM	20	12	113	8	POOR	REMOVE	UNDER POWERLINES
					<b>TOTAL</b>	<b>12269</b>			

THESE DRAWINGS ARE NOT VALID FOR CONSTRUCTION OR CONTRACT NEGOTIATION, USE UNLESS SIGNED, SEALED & DATED WITH ORIGINAL PROFESSIONAL ENGINEER'S SEAL BY THE LANDSCAPE ARCHITECT. UNSIGNED & SEALED DRAWINGS MAY BE USED FOR CLIENT HOUSE PURPOSES & BIDDING ONLY.

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Michael J. Petrow and Associates, Inc.  
Landscape Architecture  
P.O. Box 8801, Coral Springs, FL 33075  
Phone: (954) 466-9659 FL Reg. 4392

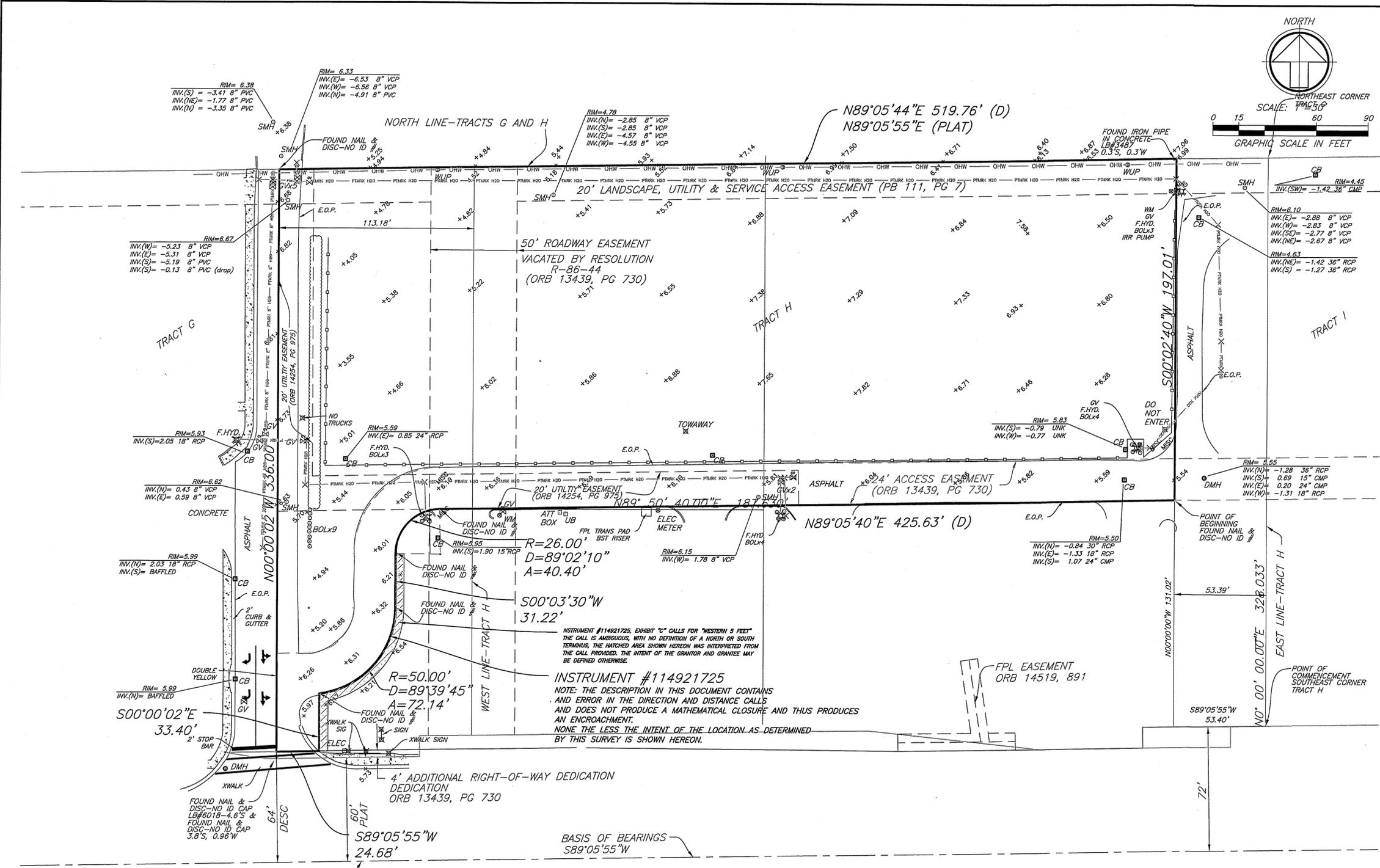
SHEET NO: T-1  
OF: ONE

TREE DISPOSITION PLAN FOR OAKLAND PARK SELF STORAGE  
WEST OAKLAND PARK BOULEVARD, OAKLAND PARK, FLORIDA

SCALE: 1"=30'  
DATE: NOVEMBER 23, 2016  
DRAWN BY: M.J.P.

NO	REVISIONS
1	FEBRUARY 20, 2019

RIGHT OF OWNERSHIP: The drawings, designs, arrangements and ideas represented by these plans are the property of the Landscape Architect. None of such drawings, designs, arrangements, or ideas shall be used, copied, reproduced, or otherwise disclosed in any form without the express written permission of the Landscape Architect. The Landscape Architect warrants that the drawings, designs, arrangements and ideas submitted herein comply with the laws, rules, regulations, codes, ordinances, and standards in effect at the time of the plans preparation. No warranty either expressed or implied is hereby given.



**LAND DESCRIPTION:**  
 A PORTION OF TRACTS G AND H, OAKLAND LAKES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 111, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHEAST CORNER OF SAID TRACT H; THENCE SOUTH 89°05'55" WEST, ALONG A LINE PARALLEL WITH AND 72.00 FEET NORTH OF AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF THE SOUTHWEST ONE-QUARTER (SE1/4) OF SECTION 20, TOWNSHIP 49 SOUTH, RANGE 42 EAST, A DISTANCE OF 53.40 FEET; THENCE NORTH ALONG A LINE PARALLEL WITH AND 53.39 FEET WEST OF THE EAST LINE OF SAID TRACT H, A DISTANCE OF 131.02 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; SAID POINT ALSO BEING ON THE SOUTH LINE OF THAT CERTAIN INGRESS AND EGRESS EASEMENT DESCRIBED IN OFFICIAL RECORDS BOOK 13439, PAGES 730 THROUGH 787 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE SOUTH 89°05'40" WEST, A DISTANCE OF 425.63 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHWESTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 26.00 FEET, A CENTRAL ANGLE OF 89°02'10" AND AN ARC DISTANCE OF 40.40 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 00°03'30" WEST, A DISTANCE OF 31.22 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE SOUTHWESTERLY AND WESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 82°39'45" AND AN ARC DISTANCE OF 72.14 FEET, THE LAST FOUR COURSES BEING COINCIDENT WITH THE SOUTH LINE OF SAID CERTAIN INGRESS AND EGRESS EASEMENT DESCRIBED IN OFFICIAL RECORDS BOOK 13439, PAGE 730 THROUGH 787; THENCE SOUTH 00°00'02" EAST, A DISTANCE OF 33.34 FEET; THENCE SOUTH 89°05'55" WEST, ALONG A LINE PARALLEL WITH AND 64.00 FEET NORTH OF AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF THE SOUTHWEST ONE-QUARTER (SE1/4) OF SECTION 20 A DISTANCE OF 24.68 FEET; THENCE NORTH 00°00'02" WEST, ALONG A LINE PARALLEL WITH AND 113.18 FEET WEST OF SAID TRACT H, A DISTANCE OF 336.00 FEET; THENCE NORTH 89°05'44" EAST, ALONG THE NORTH LINE OF SAID TRACTS G AND H, A DISTANCE OF 519.76 FEET; THENCE SOUTH 00°02'40" WEST, ALONG A LINE PARALLEL WITH AND 53.29 FEET WEST OF AS MEASURED AT RIGHT ANGLES TO THE WEST LINE OF SAID TRACT H, A DISTANCE OF 197.01 FEET TO THE POINT OF BEGINNING.

**LANDS LYING IN THE CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA, CONTAINING 110,053 SQUARE FEET (2.53 ACRES), MORE OR LESS.**

**LANDS SHOWN HEREON WERE NOT ABSTRACTED BY SHAH DROTOS & ASSOCIATES FOR EASEMENTS, RIGHT-OF-WAY, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD. TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY OF RECORD, THIS SURVEY IS BASED UPON AN EXAMINATION OF TITLE DATED APRIL 2, 2019 (ATTORNEYS' TITLE FUND SERVICES, LLC, FUND FILE NUMBER 709537) AND IS SUBJECT TO THE FOLLOWING ITEMS LISTED UNDER RESTRICTION/EASEMENTS THEREIN, WITH ALL RECORDING REFERENCES TO THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA:**

- NOT SURVEY RELATED.
- LIABILITY FOR POSSIBLE CONTINUING VIOLATION ACCORDING TO CODE ENFORCEMENT LIEN RECORDED IN INSTRUMENT NO. 113370137. (NOT A SURVEY RELATED ITEM)
- DEDICATIONS, RESERVATIONS, STREETS, EASEMENTS AND ALL OTHER MATTERS CONTAINED ON THE PLAT OF OAKLAND LAKES AS RECORDED IN PLAT BOOK 111, PAGE 7, AFFECTED BY RESOLUTIONS RECORDED IN ORB 13436, PG 555; ORB 13436, PG 588 AND ORB 13439, PG 730. PLATTED EASEMENTS ARE PLOTTED ON THE SURVEY. DEDICATIONS/VACATIONS REFERENCED IN THE RESOLUTIONS ARE PLOTTED ON THE SURVEY.
- PRIVATE EASEMENT AGREEMENTS RECORDED IN ORB 9746, PG 605; ORB 10087, PG 363 AND ORB 13623, PG 28. (24' ACCESS EASEMENT SHOWN ON SURVEY IN ITS CURRENT FORM AS RECORDED IN ORB 13439, PG 730)
- UTILITY EASEMENT RECORDED IN ORB 14254, PG 975. PLOTTED ON THE SURVEY.
- EASEMENT GRANTED TO FLORIDA POWER & LIGHT COMPANY RECORDED IN ORB 14519, PG 891. DOES NOT AFFECT SUBJECT PROPERTY.
- STORM DRAINAGE EASEMENTS RECORDED IN ORB 18336, PG 239 AND ORB 18336, PG 242. DOES NOT AFFECT SUBJECT PROPERTY.
- ROAD CONTRIBUTION AGREEMENT RECORDED IN ORB 9802, PG 686 (NOT PLOTTABLE), AFFECTED BY PARTIAL RELEASES OF ROAD CONSTRUCTION LIEN RECORDED IN ORB 14456, PG 832 (NOT PLOTTABLE) AND ORB 15168, PG 345 (NOT PLOTTABLE); ORB 22405, PG 924 (NOT PLOTTABLE).
- ROAD CONTRIBUTION AGREEMENT RECORDED IN ORB 9802, PG 677 (NOT PLOTTABLE), AFFECTED BY PARTIAL RELEASES OF ROAD CONTRIBUTION LIEN RECORDED IN ORB 14456, PG 832 (NOT PLOTTABLE) AND ORB 15168, PG 345 (NOT PLOTTABLE).
- AGREEMENT RECORDED IN ORB 9809, PG 661. (NOT PLOTTABLE)
- RESOLUTION RELATING TO DISCLAIMING INTERESTS IN EASEMENTS RECORDED IN ORB 14012, PG 796. (NOT PLOTTABLE)
- MATTERS CONTAINED IN QUIT CLAIM DEED RECORDED IN ORB 13987, PG 283.
- MUTUAL AND RECIPROCAL EASEMENT AGREEMENT RECORDED IN ORB 13735, PG 488. (NOT PLOTTABLE)
- RECIPROCAL EASEMENT AGREEMENT RECORDED IN ORB 18524, PG 905. (NOT PLOTTABLE)

**LANDS SHOWN HEREON WERE NOT ABSTRACTED BY SHAH DROTOS & ASSOCIATES FOR EASEMENTS, RIGHT-OF-WAY, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD. TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY OF RECORD, THIS SURVEY IS BASED UPON AN EXAMINATION OF TITLE DATED APRIL 2, 2019 (ATTORNEYS' TITLE FUND SERVICES, LLC, FUND FILE NUMBER 709537) AND IS SUBJECT TO THE FOLLOWING ITEMS LISTED UNDER RESTRICTION/EASEMENTS THEREIN, WITH ALL RECORDING REFERENCES TO THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA:**

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- 1. NOT SURVEY RELATED.**
- 2. LIABILITY FOR POSSIBLE CONTINUING VIOLATION ACCORDING TO CODE ENFORCEMENT LIEN RECORDED IN INSTRUMENT NO. 113370137. (NOT A SURVEY RELATED ITEM)**
- 3. DEDICATIONS, RESERVATIONS, STREETS, EASEMENTS AND ALL OTHER MATTERS CONTAINED ON THE PLAT OF OAKLAND LAKES AS RECORDED IN PLAT BOOK 111, PAGE 7, AFFECTED BY RESOLUTIONS RECORDED IN ORB 13436, PG 555; ORB 13436, PG 588 AND ORB 13439, PG 730. PLATTED EASEMENTS ARE PLOTTED ON THE SURVEY. DEDICATIONS/VACATIONS REFERENCED IN THE RESOLUTIONS ARE PLOTTED ON THE SURVEY.**
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- 5. UTILITY EASEMENT RECORDED IN ORB 14254, PG 975. PLOTTED ON THE SURVEY.**
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- 14. RECIPROCAL EASEMENT AGREEMENT RECORDED IN ORB 18524, PG 905. (NOT PLOTTABLE)**

**SURVEY NOTES:**

- UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
- BEARINGS SHOWN HEREON ARE BASED ON THE PLAT OF OAKLAND LAKES RECORDED IN PLAT BOOK 111, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA THE REFERENCE BEARING IS SOUTH 87°05'50" WEST FOR THE SOUTH LINE OF THE SOUTHWEST ONE-QUARTER (SW1/4) OF SECTION 21, TOWNSHIP 49 SOUTH, RANGE 42 EAST.
- FLOOD ZONE INFORMATION:  

COMMUNITY NUMBER	120050
PANEL NUMBER	0336H
ZONE	AH
BASE ELEVATION	5'
MAP DATE	08-18-14
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) BENCHMARK INFORMATION: BROWARD COUNTY ENGINEERING DEPARTMENT BENCHMARK #2654-SOUTH END OF LAKE LOCATED BETWEEN NORTHWEST 24 AND NORTHWEST 26 AVENUES, SOUTH OF OAKLAND PARK BOULEVARD, TOP OF GRATE ON CATCH BASIN ON NORTH SIDE OF NORTHWEST 27 STREET OPPOSITE SOUTHWESTERLY CORNER OF LAKE. ELEVATION=6.52 (NGVD83), 4.94 (NAV88).
- THE SURVEY AND THE INFORMATION, DETAILS, COURSES AND DISTANCES SHOWN THEREON ARE TRUE, CORRECT AND ACCURATE.

**CERTIFIED TO:**  
 OAKLAND LAKES BOULEVARD, LLC  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
 DOUG MAREK, P.A.

**MICHAEL D. SARVER**  
 PROFESSIONAL SURVEYOR AND MAPPER #4174

LAST FIELDWORK DATE: MARCH 15, 2019  
 MAP DATE: JUNE 18, 2019

**LEGEND**

C.L.P. CONCRETE LIGHT POLE	BST BELL SOUTH TELEPHONE	N&D NAIL AND DISC
G.V. GATE VALVE	DCCV DOUBLE DETECTOR CHECK VALVE	HANDI HANDICAP
F.HYD. FIRE HYDRANT	ICV IRRIGATION CONTROL VALVE	CUP CONCRETE UTILITY POLE
L.P. LIGHT POLE	CB CATCH BASIN	DMH DRAINAGE MANHOLE
C.O. CLEAN-OUT	BFP BACK FLOW PREVENTER	IPC IRON PIPE WITH ID CAP
ELEC. ELECTRIC METER BOX	IRR IRRIGATION	FRM CONCRETE MONUMENT WITH ID DISC
W.M. WATER METER BOX	IRC 5/8" IRON ROD WITH ID CAP	NON-VEHICULAR ACCESS LINE
COL. COLUMN	FND FOUND	CAB CABBAGE PALM
W.P. WOOD POWER POLE	CATV CABLE TELEVISION	TOB TOP OF BANK
C.L.P. CONCRETE LIGHT POLE	DIA DIAMETER	© SET 5/8" IRC W/ID LB#6456
M.H. MANHOLE		
SMH SANITARY MANHOLE		
ORB OFFICIAL RECORDS BOOK		
PB PLAT BOOK		
PG PAGE		
TYP TYPICAL		
F.FE FINISHED FLOOR ELEVATION		
BOLL BOLLARD		
ATT AMERICAN TELEPHONE/TELEGRAPH		
HH HANDHOLE		

-PTMRK 8" H2O- GPR PAINT MARK LOCATION OF EXISTING 8" WATERMAIN  
 -PTMRK H2O- GPR PAINT MARK LOCATION OF EXISTING WATERMAIN (SIZE UNKNOWN)

**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1	2-9-17		ADDED WATERMAIN PAINTMARKS

**ENGINEERING SURVEYING PLANNING**

**SHAH DROTOS & ASSOCIATES**

ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456  
 3410 N. Andrews Avenue Ex. • Pompano Beach, FL 33064  
 PH: 954-943-9433 • FAX: 954-783-4754

CHECKED BY: MDR  
 DESIGNED BY:  
 APPROVED BY: S.D.A.  
 SCALE: 1"=30'

**A PORTION OF TRACTS G AND H OAKLAND LAKES PLAT BOOK 111, PAGE 7, BCR OAKLAND PARK, BROWARD COUNTY, FLORIDA**

**ALTA/NSPS LAND TITLE SURVEY**

FOR THE FIRM, BY:

**MICHAEL D. SARVER**  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA REG NO. LS4174

DATE: JUNE 2019

JOB NO. 1094A.00  
 SHEET 1 OF 1