

# SAFE AND SECURE SELF STORAGE

## CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

### OAKLAND LAKES BLVD, LLC.

PROJECT NUMBER  
1608-61  
SHEET NUMBER  
CS-1

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LEGAL DESCRIPTION:

A PORTION OF TRACTS G AND H, OAKLAND LAKES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 111, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES:

THE PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH ALL APPLICABLE, FEDERAL, STATE, COUNTY AND CITY CODES AND REGULATIONS HAVING JURISDICTION. IF ANY DISCREPANCIES EXIST BETWEEN THE PLANS/ SPECIFICATIONS PREPARED BY THE DESIGNER AND THE CITY CODE AND/OR THE CITY STANDARD DETAILS, THE LATER SHALL GOVERN OR THE MOST STRINGENT.

ALL VEGETATION, MUCH, AND ANY DELETERIOUS MATERIAL WITHIN THE ROW LIMITS OF ALL STREETS AND ALLEYS AND REQUIRED OFF-STREET PARKING AREAS MUST BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL, FREE OF STUMPS, LARGE ROOTS OR OTHER MATERIAL NOT SUITABLE FOR INCLUSION IN ROADWAY FILL.

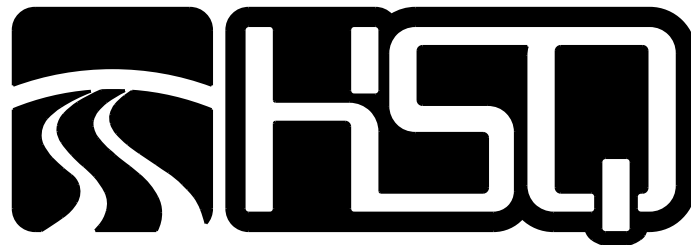
OWNERSHIP AND MAINTENANCE OF THE SANITARY SYSTEM BY THE CITY IS LIMITED TO THE MAINS FROM MANHOLE TO MANHOLE AND EXPRESSLY EXCLUDES SEWER LATERAL SERVICES. THE SEWER LATERAL SERVICE FROM GRAVITY MAIN INTO THE BUILDING IS TO BE MAINTAINED BY THE PROPERTY OWNER.



LOCATION MAP

SCALE: 1" = 200'  
SECTION 21 / TOWNSHIP 49 S / RANGE 42 E

# SITE PLAN



## HSQ GROUP, INC.

Engineers · Planners · Surveyors

1001 Yamato Road, Suite 105  
Boca Raton, Florida 33431 · 561.392.0221  
CA26258 · LB7924

DEVELOPER:

THE PUGLIESE COMPANY  
101 PUGLIESES WAY  
DELRAY BEACH, FL 33444  
(561) 454-1625

PLANNER:

HSQ GROUP, INC.  
1001 YAMATO ROAD  
SUITE 105  
BOCA RATON, FL 33431  
(561) 392-0221

ARCHITECT:

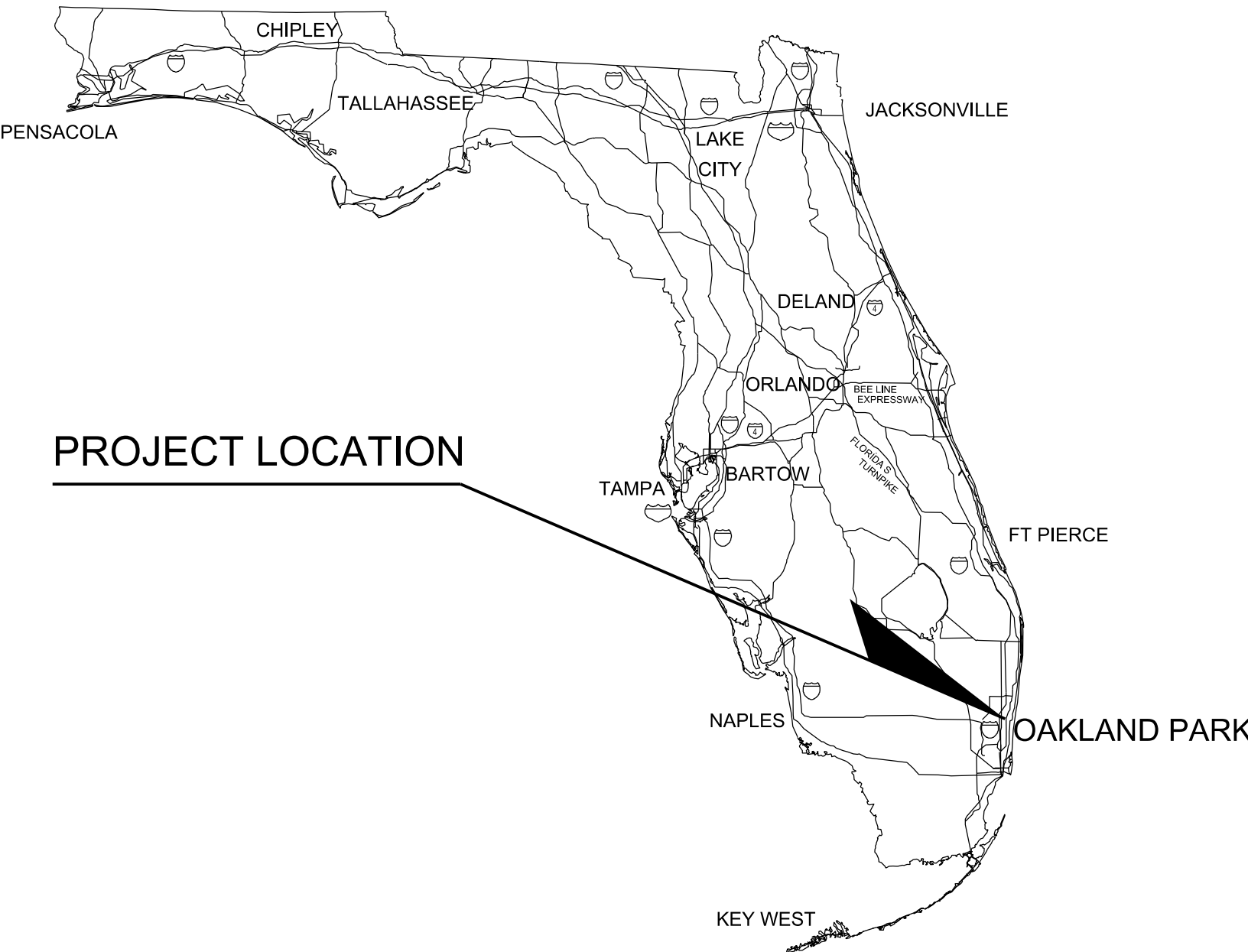
KENNETH R. CARLSON  
ARCHITECT, P.A.  
1166 W. NEWPORT CENTER,  
DRIVE STE 311  
DEERFIELD BEACH, FL 33442  
(954) 427-8848

CIVIL ENGINEER:

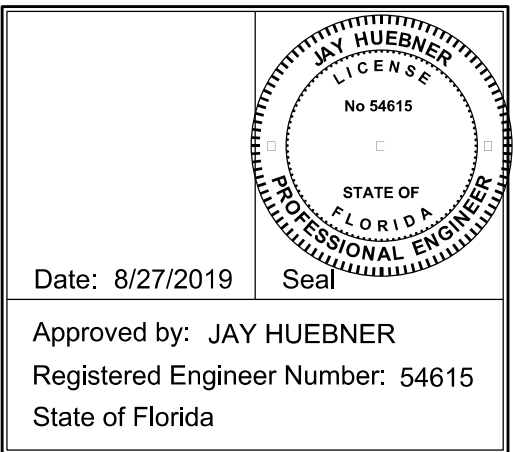
HSQ GROUP, INC.  
1001 YAMATO ROAD  
SUITE 105  
BOCA RATON, FL 33431  
(561) 392-0221

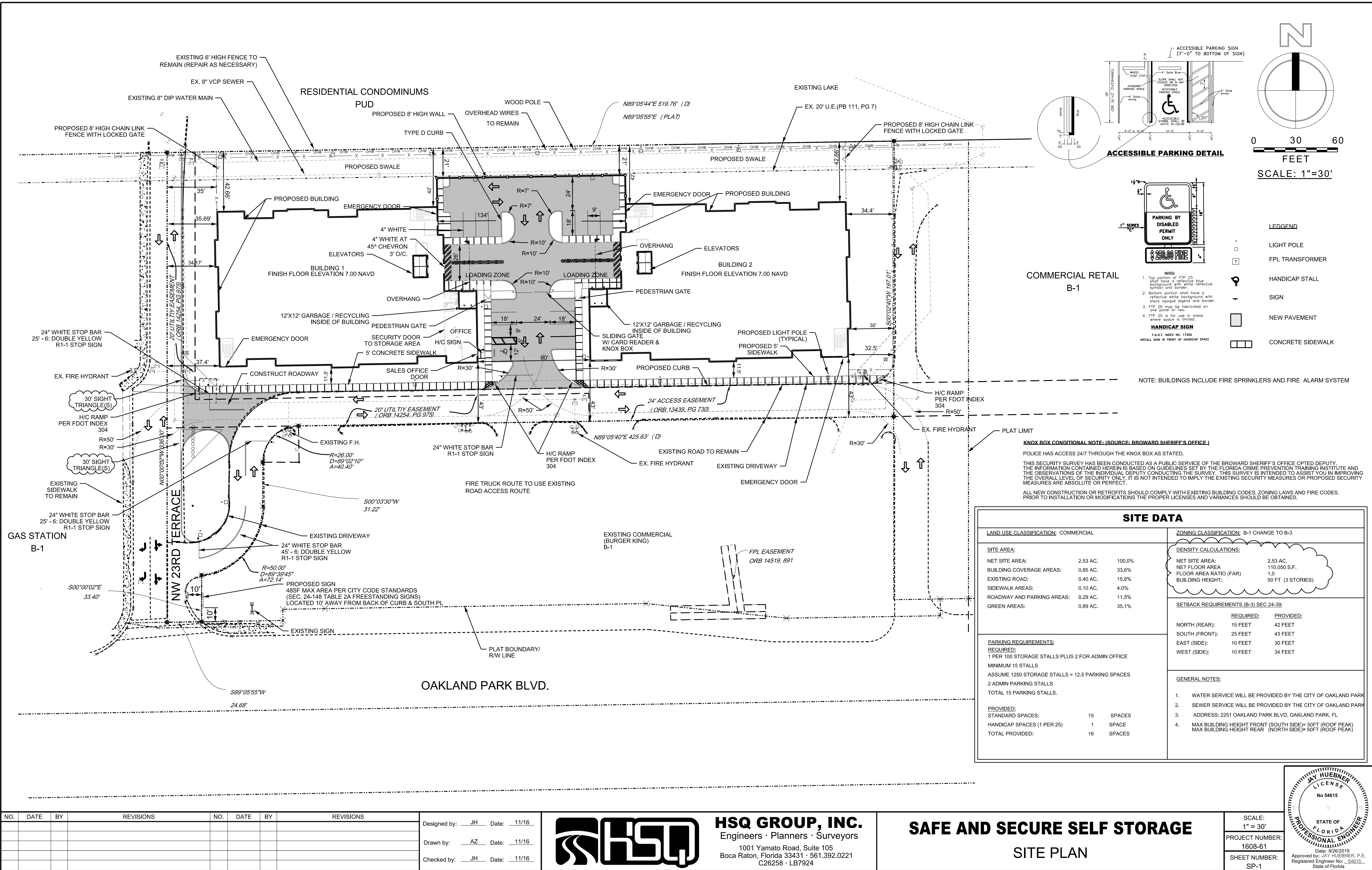
LANDSCAPE ARCHITECT:

MICHEAL J PETROW &  
ASSOCIATES, INC  
CORAL SPRINGS, FL  
(954) 752-7762



ENGINEER'S CERTIFICATION  
THESE PLANS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.



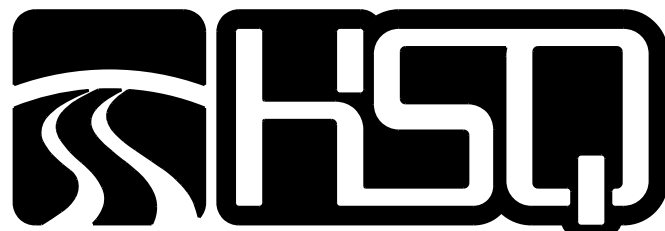


| NO. | DATE | BY | REVISIONS | NO. | DATE | BY | REVISIONS |
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|     |      |    |           |     |      |    |           |
|     |      |    |           |     |      |    |           |

Designed by: JH Date: 11/16

Drawn by: AZ Date: 11/16

Checked by: JH Date: 11/16



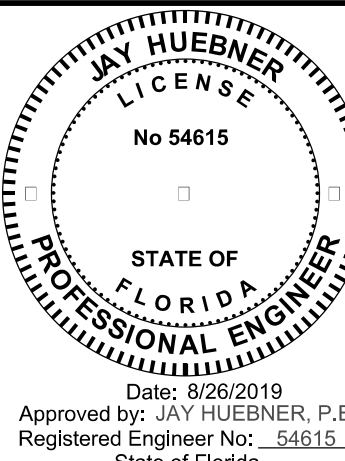
**HSQ GROUP, INC.**  
Engineers · Planners · Surveyors  
1001 Yamato Road, Suite 105  
Boca Raton, Florida 33431 · 561.392.0221  
C26258 · LB7924

**SAFE AND SECURE SELF STORAGE**  
**SITE PLAN**

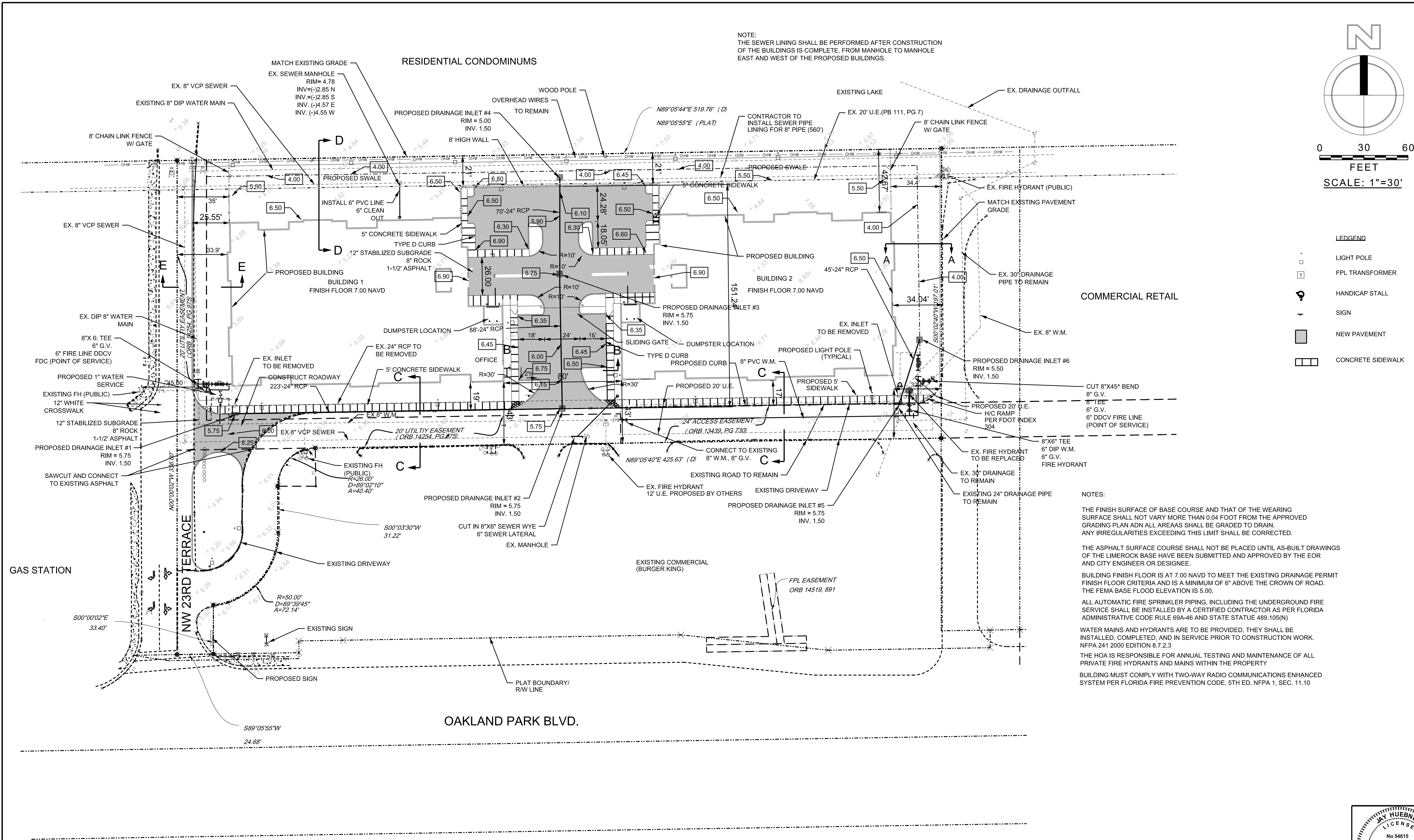
SCALE:  
1" = 30'

PROJECT NUMBER:  
1608-61

SHEET NUMBER:  
SP-1



8/26/2019 z:\projects\2016\160861-oakland park self storage\drawings\site plan\160861-sp001.dgn



| NO. | DATE    | BY  | REVISIONS                   |
|-----|---------|-----|-----------------------------|
| 2.  | 6/1/17  | JMH | REVISE BUILDING FOOT PRINT. |
| 1.  | 5/17/17 | JMH | REVISE PER DRC COMMENTS     |

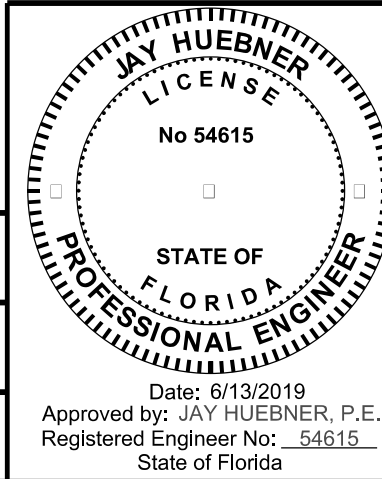
|              |    |       |       |
|--------------|----|-------|-------|
| Designed by: | JH | Date: | 11/16 |
| Drawn by:    | AZ | Date: | 11/16 |
| Checked by:  | JH | Date: | 11/16 |

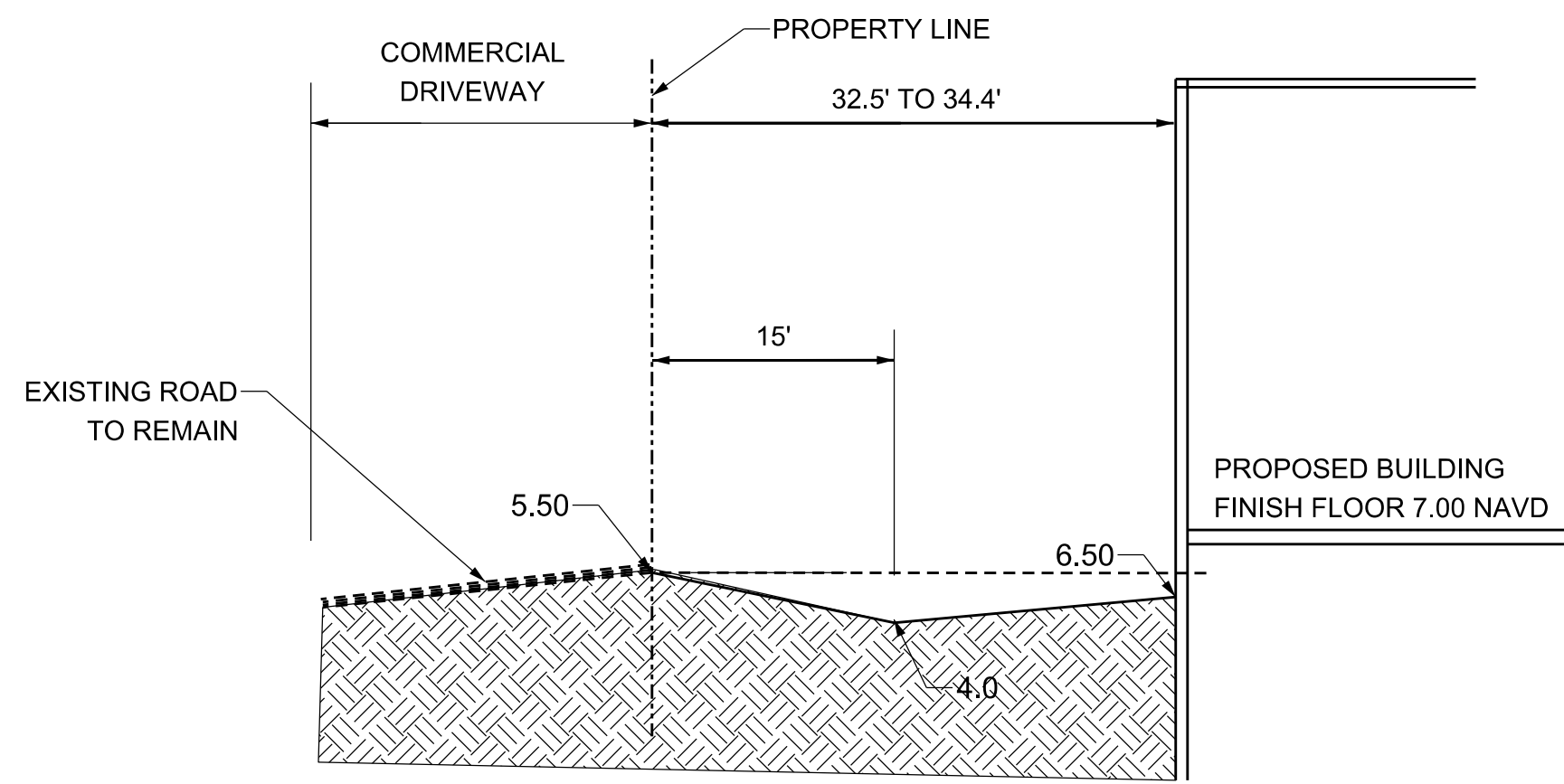


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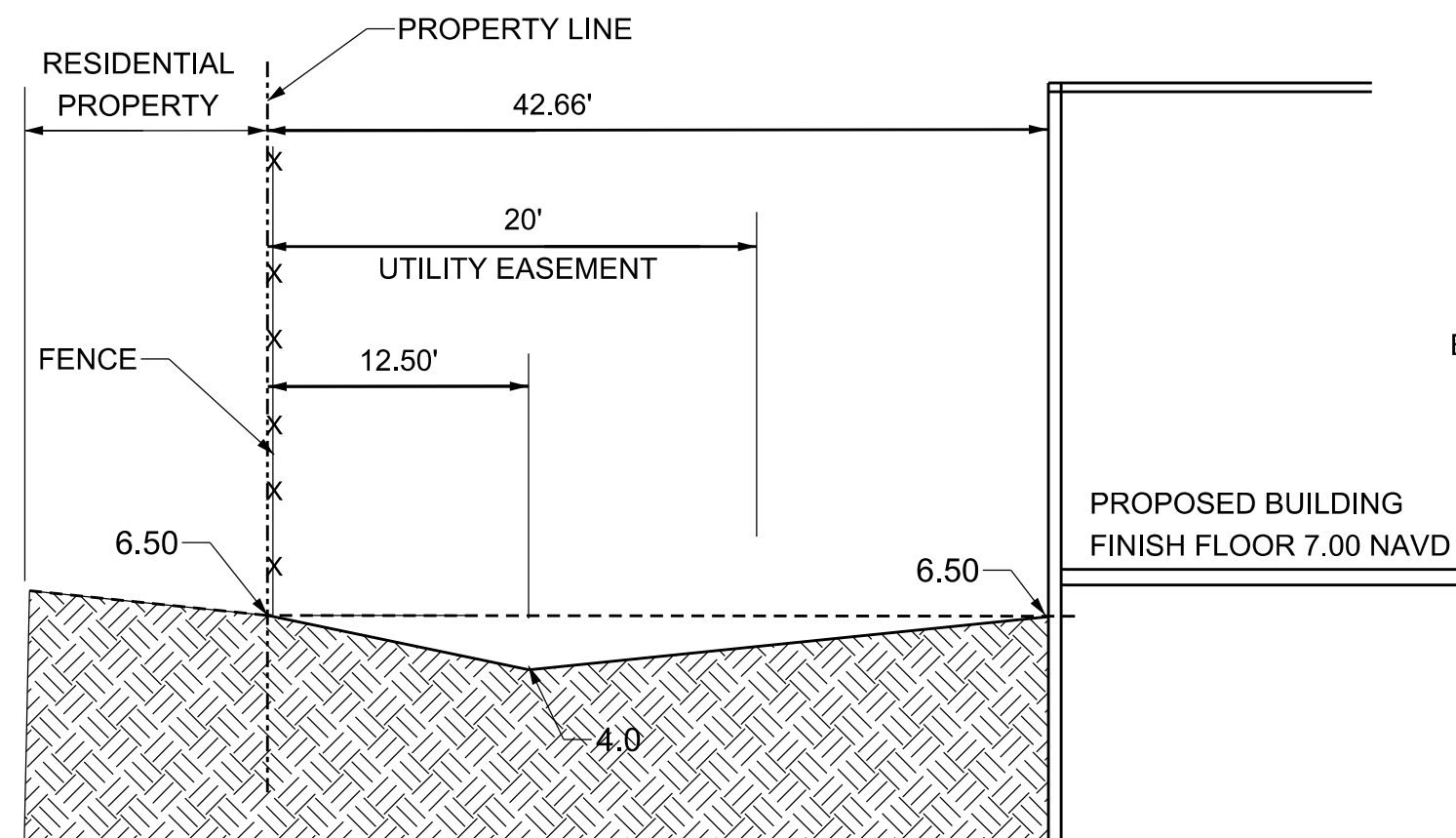
**SAFE AND SECURE SELF STORAGE**  
**CONCEPTUAL ENGINEERING PLAN**

|                 |          |
|-----------------|----------|
| SCALE:          | 1" = 30' |
| PROJECT NUMBER: | 1608-61  |
| SHEET NUMBER:   | CE-1     |

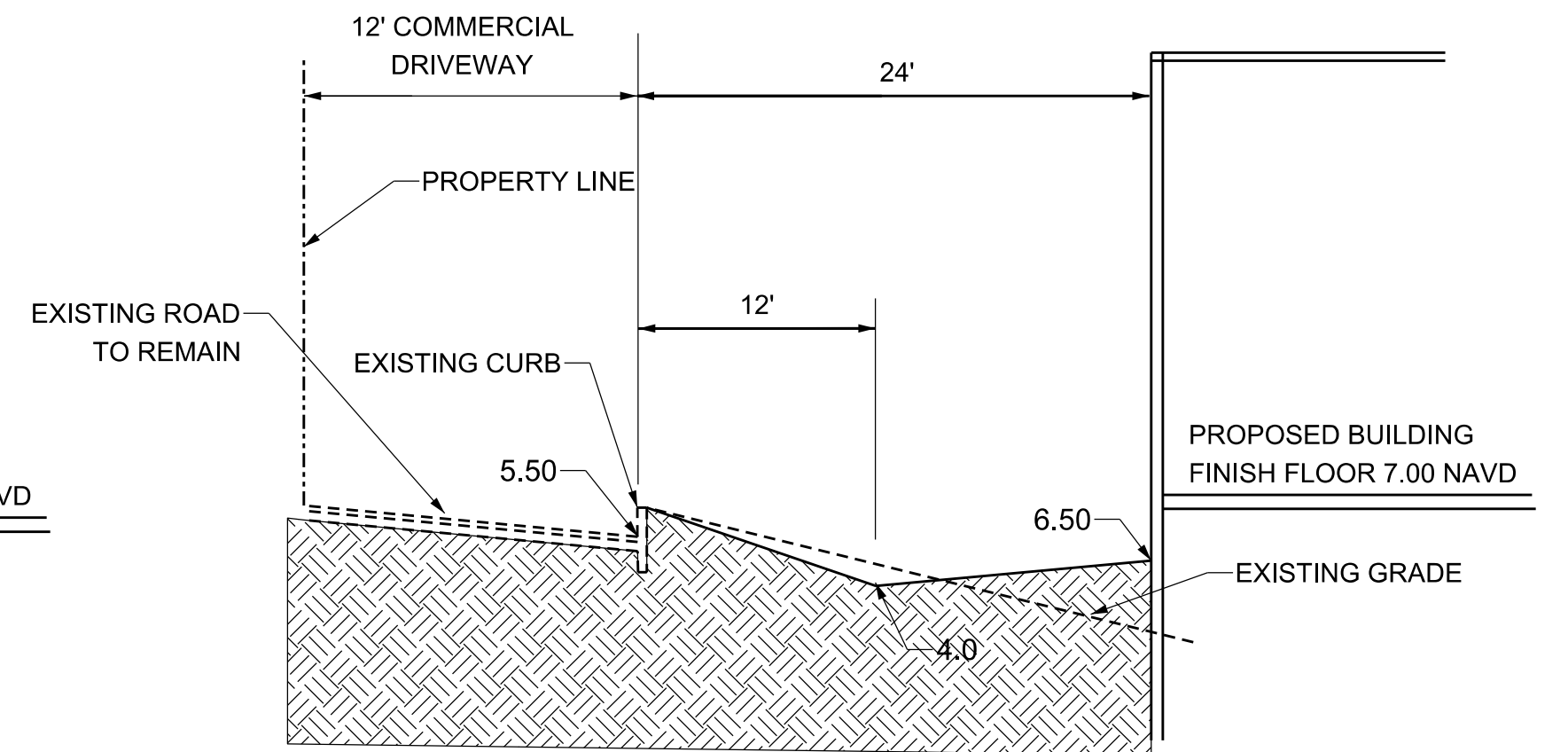




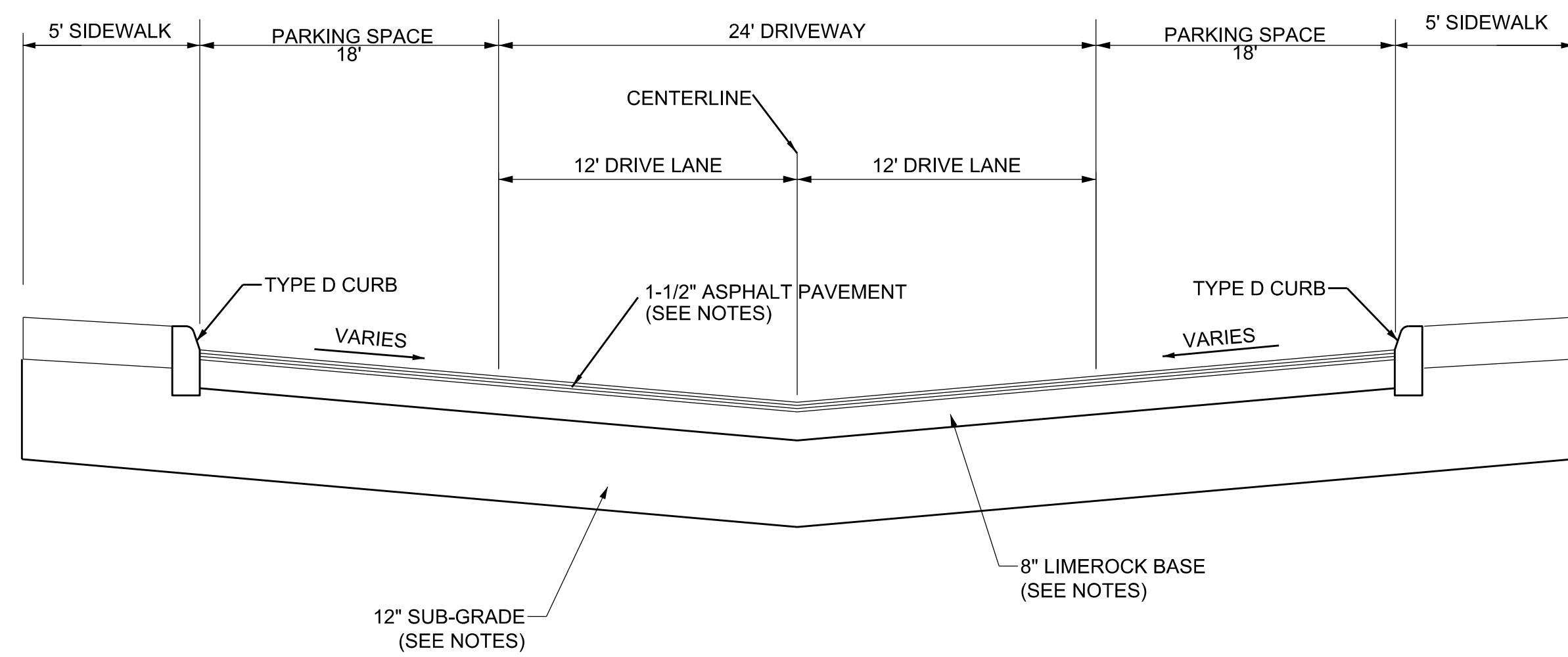
**EAST PROPERTY LINE SECTION A-A**  
N.T.S.



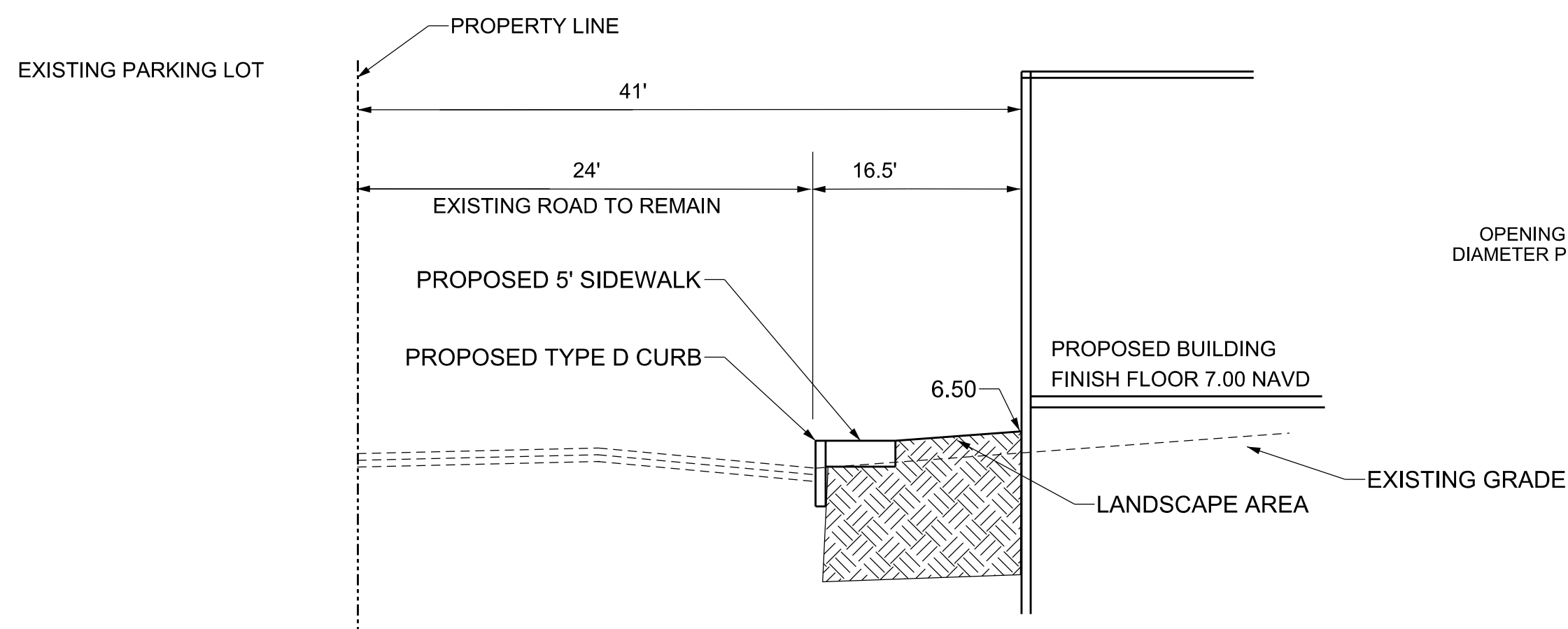
**NORTH PROPERTY LINE SECTION D-D**  
N.T.S.



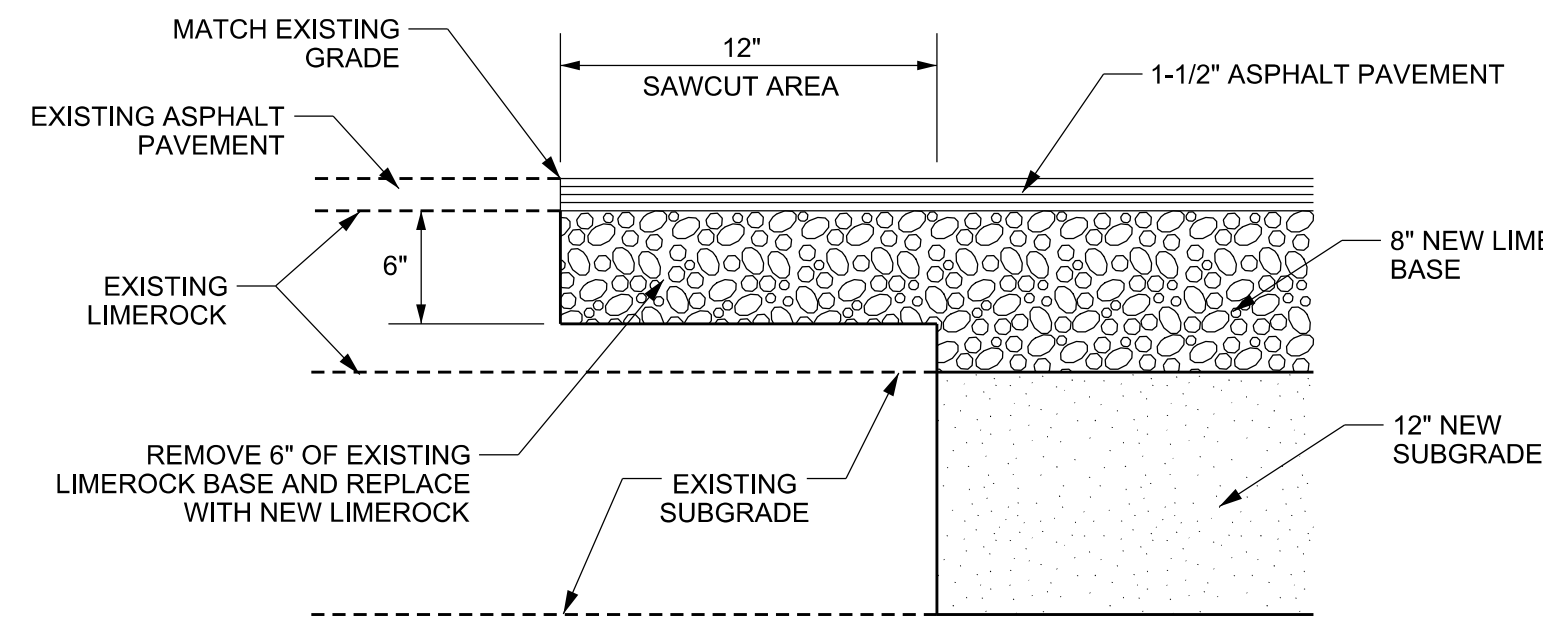
**WEST PROPERTY LINE SECTION E-E**  
N.T.S.



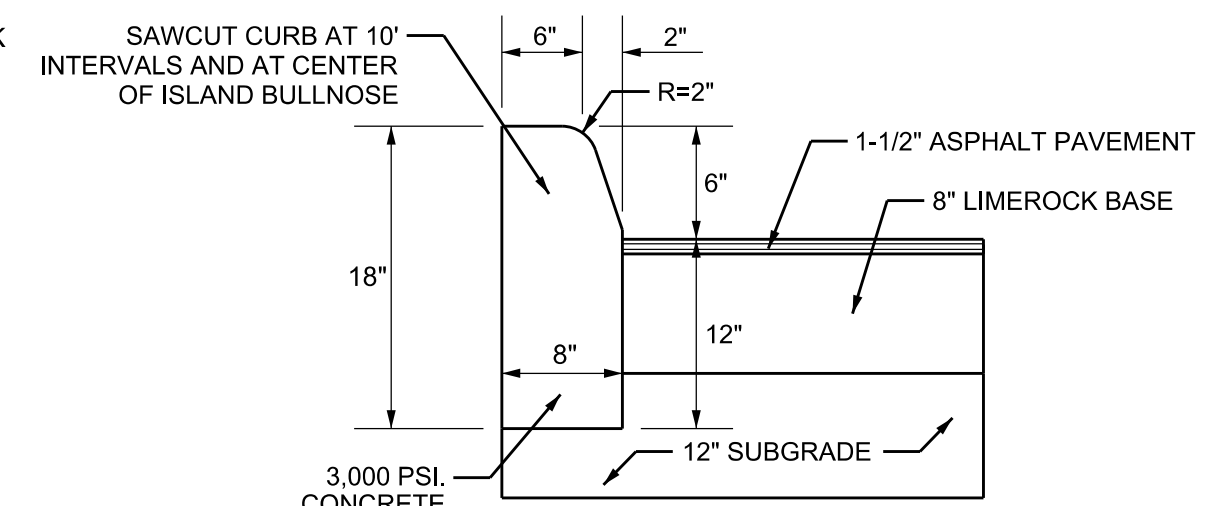
**TYPICAL PARKING LOT SECTION B-B**  
N.T.S.



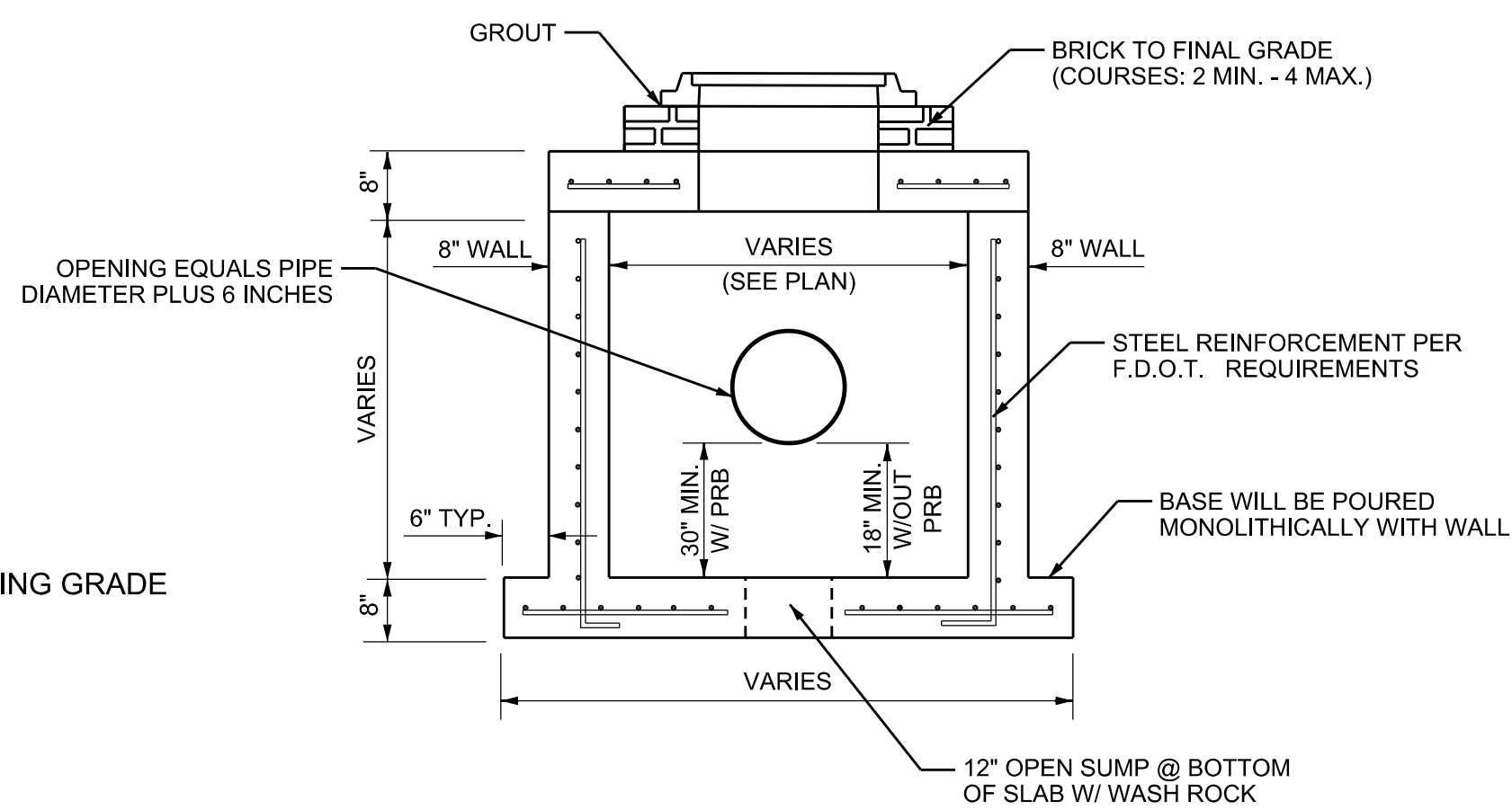
**SOUTH PROPERTY LINE SECTION C-C**  
N.T.S.



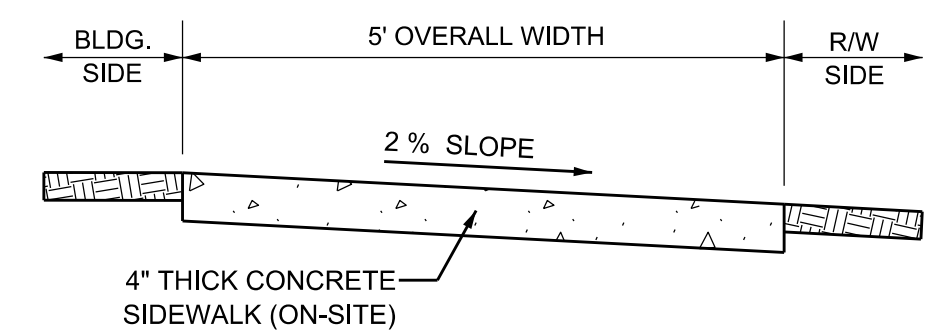
**PAVEMENT CONNECTION DETAIL**  
N.T.S.



**TYPE "D" CONCRETE CURB DETAIL**  
N.T.S.



**TYPE "D" CATCH BASIN DETAIL**  
N.T.S.



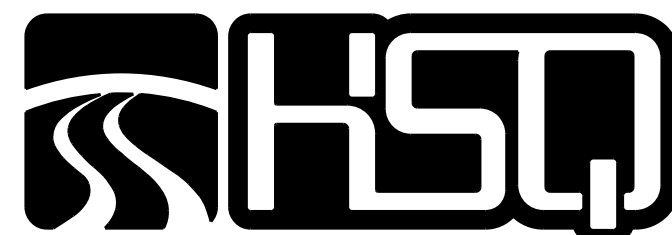
#### NOTES

1. PROVIDE 1/8" CONSTRUCTION JOINTS AT 5' O/C. MINIMUM DEPTH 1/2".
2. PROVIDE 1/2" EXPANSION JOINTS WITH NON-RISING FILLER AT 20' O/C, TO RUN FULL DEPTH OF SLAB.
3. CONCRETE TO BE 3,000 P.S.I. IN 28 DAYS.
4. CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE, OR OTHER APPROVED METHOD.

**CONCRETE SIDEWALK DETAILS**  
N.T.S.

| NO. | DATE | BY | REVISIONS | NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|-----|------|----|-----------|
|     |      |    |           |     |      |    |           |
|     |      |    |           |     |      |    |           |
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Designed by: JH Date: 11/16  
 Drawn by: AZ Date: 11/16  
 Checked by: JH Date: 11/16

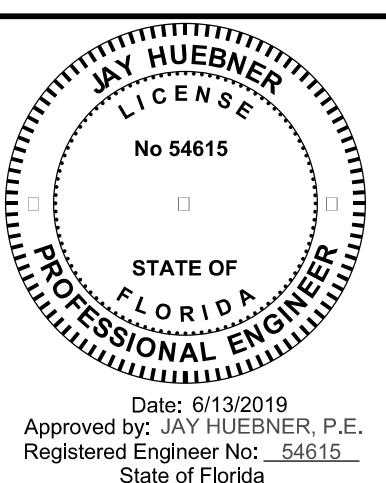


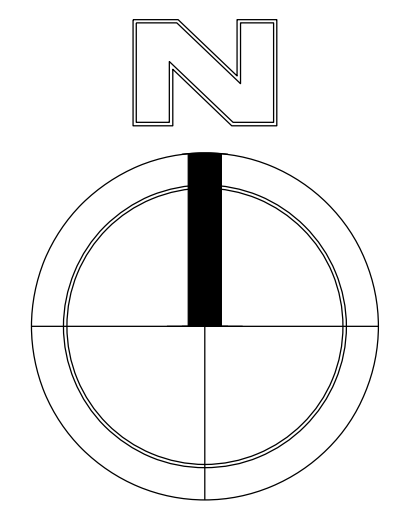
**HSQ GROUP, INC.**  
 Engineers · Planners · Surveyors  
 1001 Yamato Road, Suite 105  
 Boca Raton, Florida 33431 · 561.392.0221  
 C26258 · LB7924

**SAFE AND SECURE SELF STORAGE**  
**SITE CROSS SECTIONS**

SCALE:  
 NTS  
 PROJECT NUMBER:  
 1608-61  
 SHEET NUMBER:  
 CE-2

48 HOURS BEFORE DIGGING  
 BROWARD - PALM BEACH - HONOLULU  
 ST. LOUIS - NORTH COAST  
 CALL TOLL FREE  
 1-800-432-4770  
 SUNSHINE STATE 1 CALL  
 UNDERGROUND UTILITIES  
 NOTIFICATION CENTER





0 30 60  
FEET  
SCALE: 1"=30'

LEGEND

- LIGHT POLE
- FPL TRANSFORMER
- ⦿ HANDICAP STALL
- SIGN
- NEW PAVEMENT
- ▭ CONCRETE SIDEWALK

GENERAL  
PHOTOMETRIC  
SCHEDULE

|                             |       |
|-----------------------------|-------|
| AVERAGE FOOT-CANDLES        | 2.78  |
| MAXIMUM FOOT-CANDLES        | 9.1   |
| MINIMUM FOOT-CANDLES        | 0.3   |
| MINIMUM TO MAXIMUM FC RATIO | 0.03  |
| MAXIMUM TO MINIMUM FC RATIO | 33.72 |
| AVERAGE TO MINIMUM FC RATIO | 10.33 |

Offsite (North)

|                             |       |
|-----------------------------|-------|
| AVERAGE FOOT-CANDLES        | 0.03  |
| MAXIMUM FOOT-CANDLES        | 0.2   |
| MINIMUM FOOT-CANDLES        | 0     |
| MINIMUM TO MAXIMUM FC RATIO | 0.01  |
| MAXIMUM TO MINIMUM FC RATIO | 75.74 |
| AVERAGE TO MINIMUM FC RATIO | 11.25 |

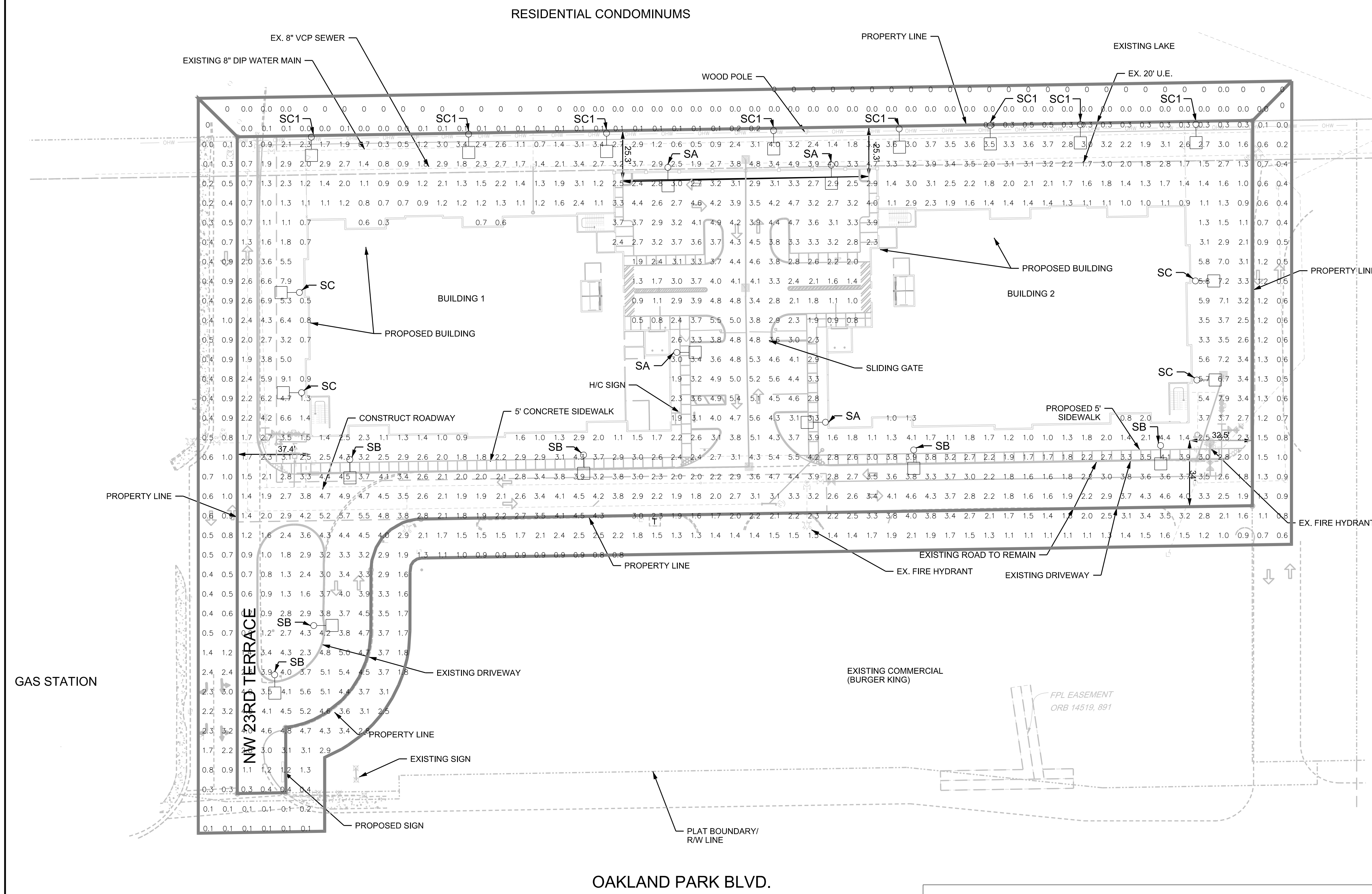
Offsite

|                             |        |
|-----------------------------|--------|
| AVERAGE FOOT-CANDLES        | 1.41   |
| MAXIMUM FOOT-CANDLES        | 4.8    |
| MINIMUM FOOT-CANDLES        | 0      |
| MINIMUM TO MAXIMUM FC RATIO | 0      |
| MAXIMUM TO MINIMUM FC RATIO | 606.58 |
| AVERAGE TO MINIMUM FC RATIO | 179.28 |

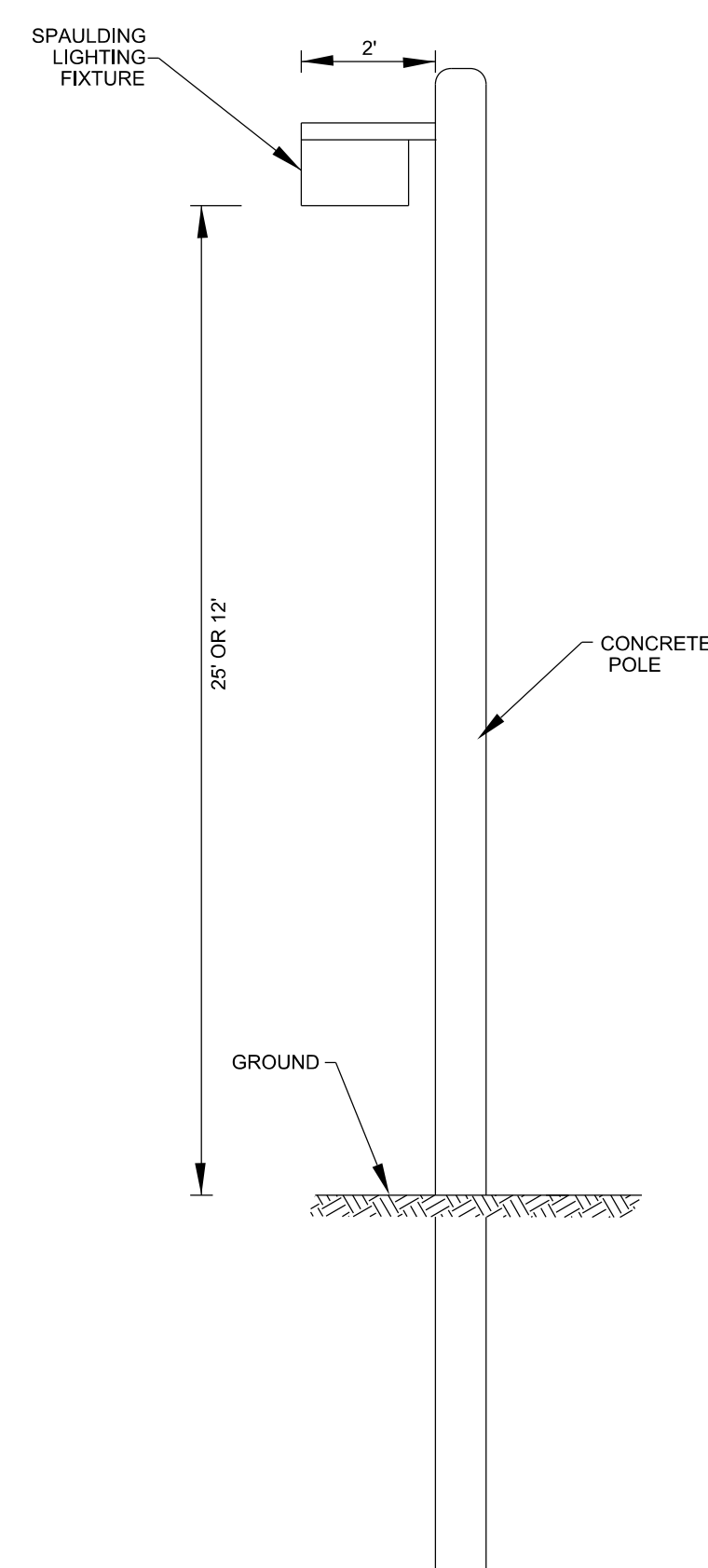
LUMINAIRE SCHEDULE

| CALLOUT | SYMBOL | LAMP                         | DESCRIPTION                   | MODEL                               | VOLTS      | QUANTITY | TOTAL LUMENS | MOUNTING HEIGHT | TILT |
|---------|--------|------------------------------|-------------------------------|-------------------------------------|------------|----------|--------------|-----------------|------|
| SA      | ○□     | (1) 90 LEDs - 4000K - 70 CRI | CIMARRON CL1                  | SPAULDING LIGHTING, CL1-90L-4K-4-BC | 120V 1P 2W | 6        | 22286        | 25'             | 0°   |
| SB      | ○□     | (1) 90 LEDs - 4000K - 70 CRI | CIMARRON CL1                  | SPAULDING LIGHTING, CL1-90L-4K-3    | 120V 1P 2W | 6        | 22026        | 25'             | 0°   |
| SC      | ○□     | (1)                          | TYPE 4 WITH BACKLIGHT CONTROL | Spaulding, CL1S-48L-4K-4-BC         | 120V 1P 2W | 12       | 11816        | 12'             | 0°   |
| SC1     | ○□     | (1)                          | TYPE 4 WITH BACKLIGHT CONTROL | Spaulding, CL1S-48L-4K-4-BC         | 120V 1P 2W | 12       | 11816        | 12'             | 20°  |

GAS STATION

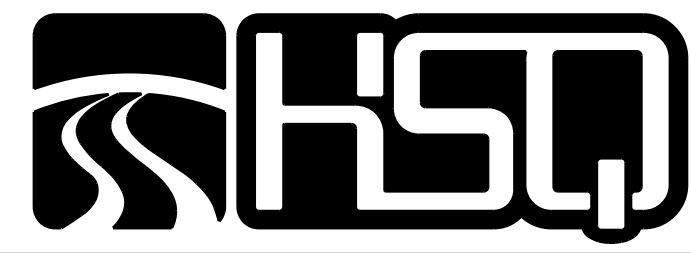


COMMERCIAL RETAIL



| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
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Designed by: JH Date: 11/16  
Drawn by: AZ Date: 11/16  
Checked by: JH Date: 11/16

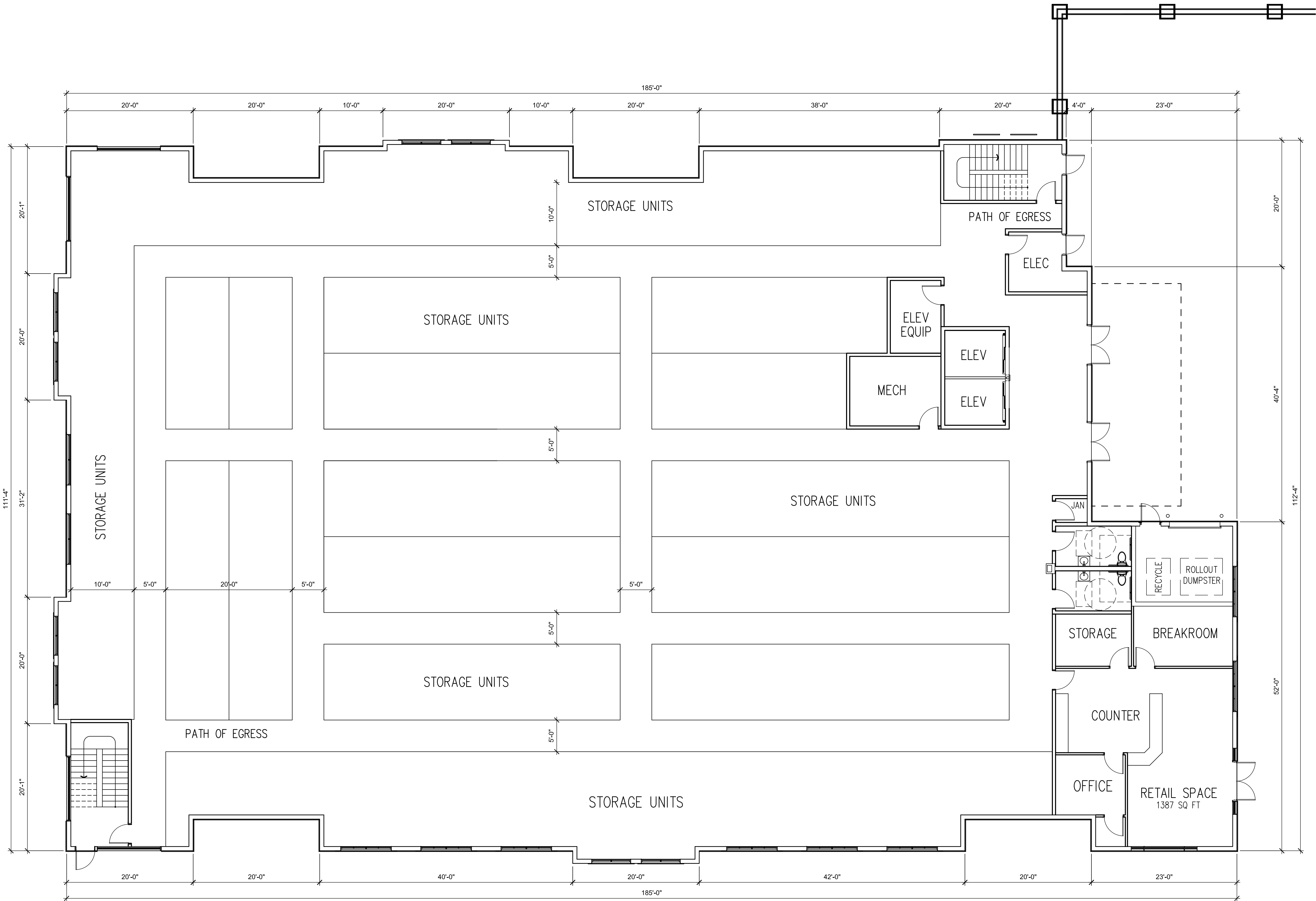


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Boca Raton, Florida 33431 · 561.392.0221  
C26258 · LB7924

**SAFE AND SECURE SELF STORAGE**  
**PHOTOMETRIC PLAN**

SCALE:  
1" = 30'  
PROJECT NUMBER:  
1608-61  
SHEET NUMBER:  
PH-1

Date: 6/13/2019  
Approved by: JAY HUEBNER, P.E.  
Registered Engineer No.: 54615  
State of Florida



## GROUND FLOOR PLAN - WEST

SCALE: 1/8" = 1'-0

### NOTES:

BUILDING OCCUPANCY: STORAGE GROUP S-2

OCCUPANT LOAD:  
RETAIL /OFFICE = 1387 SF /100 = 13.9 OCCUPANTS  
STORAGE SPACE = 112,109 SF /500 = 224.2 OCCUPANTS  
CALCULATED TOTAL OCCUPANT LOAD = 238.1 OCCUPANTS  
ANTICIPATED ACTUAL OCCUPANT LOAD = 20 OCCUPANTS

CONSTRUCTION TYPE: TYPE II-B

DUMPSTER AREA SHALL CONTAIN RECYCLING FACILITIES.

BUILDING SQUARE FOOTAGE:

LEVEL 1 - 37,832 SF

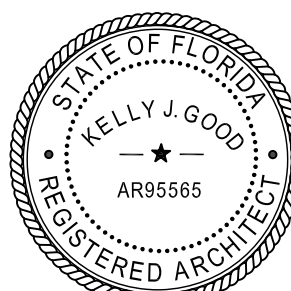
LEVEL 2 - 37,832 SF

LEVEL 3 - 37,832 SF

TOTAL - 113,496 SF

| Revisions | By | Date | Symbol |
|-----------|----|------|--------|
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Seal  
*Kelly J. Good*

**GOOD & EDWARD**  
DESIGN STUDIOS

28245 Highway 74  
Main Street  
Evergreen, CO 80439

321-271-0748  
GoodEdward.com

| Sheet Title                       | Project   |
|-----------------------------------|---|
| FLOOR PLAN - WEST<br>GROUND FLOOR | SAFE & SECURE SELF-STORAGE at OAKLAND PARK<br>OAKLAND PARK, FLORIDA |

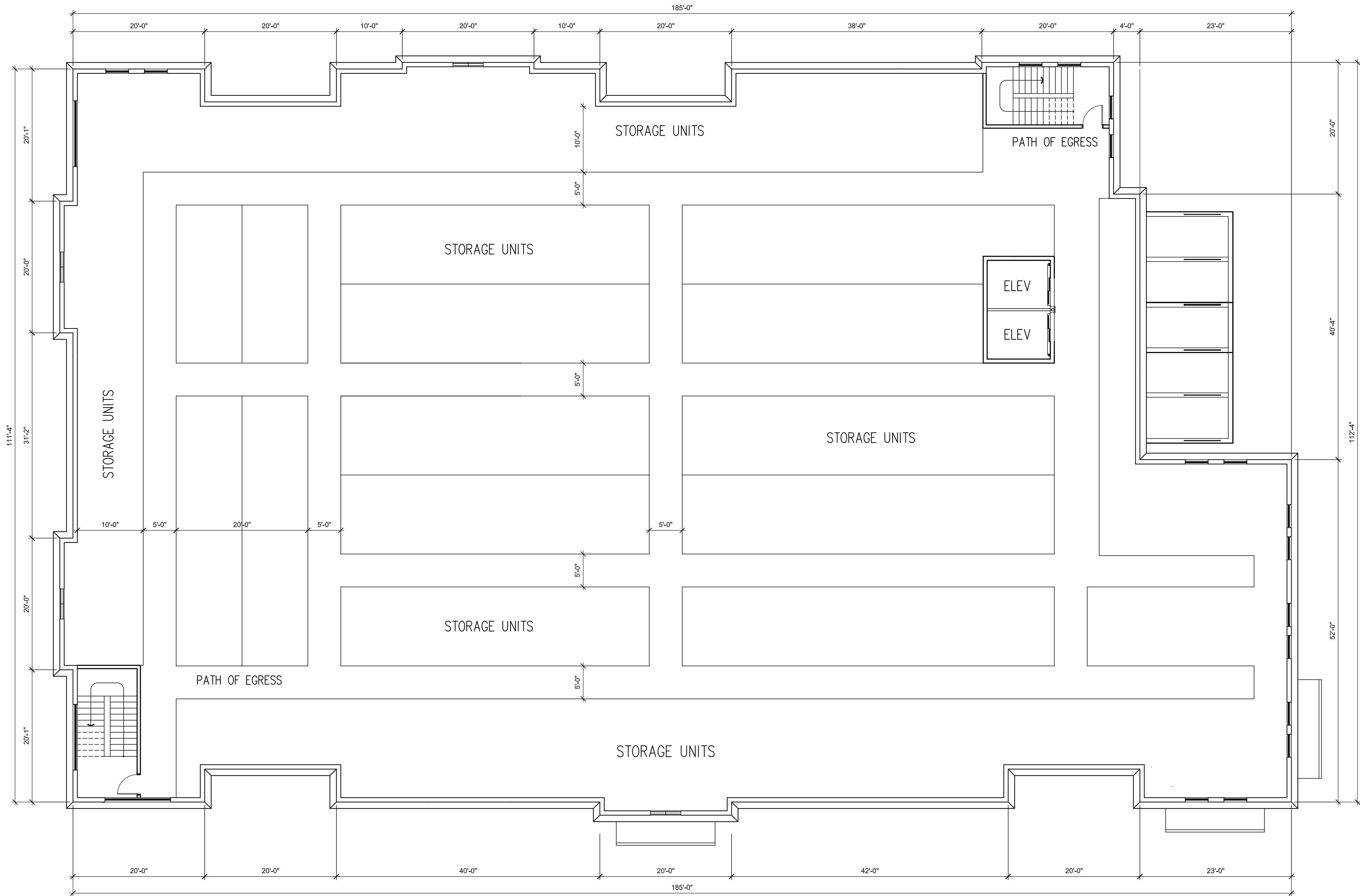
|                       |          |
|-----------------------|----------|
| Scale<br>1/8" = 1'-0" | Job No.  |
| Date<br>8/4/19        | Drawn By |

Sheet No.

A1

These architecture drawings are preliminary design concepts, herein called "Schematic" and are prepared for City of Oakland Park approvals. Once approvals are received, the architect and engineer will complete the architectural and engineering as required, but will maintain the Schematic design concept as presented herein. This design may be required to have modifications to meet: a.) local zoning ordinances, b.) any and all local, state and federal building requirements, and codes c.) local, state and federal ADA requirements, d.) local, state and federal structural requirements.

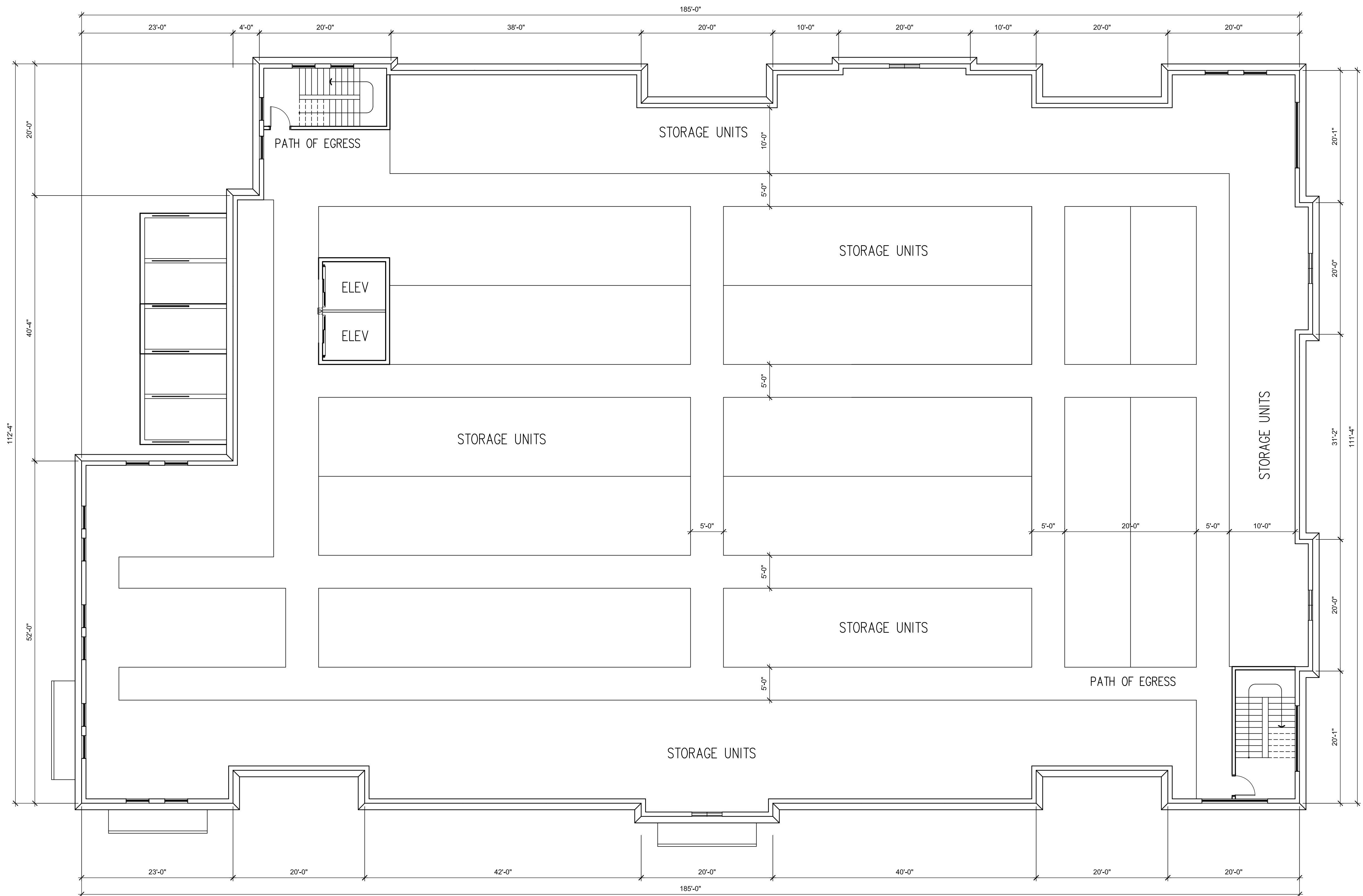
# A2



SECOND FLOOR PLAN - WEST  
SCALE: 1/8" = 1'-0

These architecture drawings are preliminary design concepts, herein called "Schematic" and are prepared for City of Oakland Park approvals. Once approvals are received, the architect and engineer will complete the architectural and engineering as required, but will maintain the Schematic design concept as presented herein. This design may be required to have modifications to meet: a.) local zoning ordinances, b.) any and all local, state and federal building requirements, and codes c.) local, state and federal ADA requirements, d.) local, state and federal structural requirements.

|   |   |
|---|---|
| Revisions   |   |
| By  |   |
| Date  |   |
| Symbol  |   |
| <small>This is an original design, created by Good &amp; Edward Design Studios concepts, ideas, plans and details are the sole property of Good &amp; Edward Design Studios. None of the aforementioned shall be used by or disclosed to any person, firm or organization for any purpose without the prior written permission of Good &amp; Edward Design Studios.</small> |   |
|   |   |
| Seal  | <i>Kelly J. Good</i>                                      |
| <b>GOOD &amp; EDWARD</b><br>DESIGN STUDIOS<br>28245 Highway 74<br>Main Street<br>Evergreen, CO 80439<br>321-271-0748<br>GoodEdward.com  |   |
| Sheet Title   | FLOOR PLAN<br>LEVEL 2 WEST                                |
| Project   | SAFE & SECURE SELF-STORAGE at TAMARAC<br>TAMARAC, FLORIDA |
| Scale   | 1/8" = 1'-0"  |
| Date  | 8/4/19  |
| Job No.   |   |
| Drawn By  |   |
| Sheet No.   | A3  |



SECOND FLOOR PLAN - EAST  
SCALE: 1/8" = 1'-0

These architecture drawings are preliminary design concepts, herein called "Schematic" and are prepared for City of Oakland Park approvals. Once approvals are received, the architect and engineer will complete the architectural and engineering as required, but will maintain the Schematic design concept as presented herein. This design may be required to have modifications to meet: a.) local zoning ordinances, b.) any and all local, state and federal building requirements, and codes c.) local, state and federal ADA requirements, d.) local, state and federal structural requirements.

| Revisions | By | Date | Symbol |
|-----------|----|------|--------|
|           |    |      |        |
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**GOOD & EDWARD**  
DESIGN STUDIOS  
28245 Highway 74  
Main Street  
Evergreen, CO 80439  
321-271-0748  
GoodEdward.com

| Sheet Title                       | Project   |
|-----------------------------------|---|
| FLOOR PLAN - EAST<br>LEVEL 2 EAST | SAFE & SECURE SELF-STORAGE at OAKLAND PARK<br>OAKLAND PARK, FLORIDA |

| Scale        | Job No.  |
|--------------|----------|
| 1/8" = 1'-0" |          |
| Date         | Drawn By |
| 8/4/19       |          |

Sheet No.

A4

[illegible]

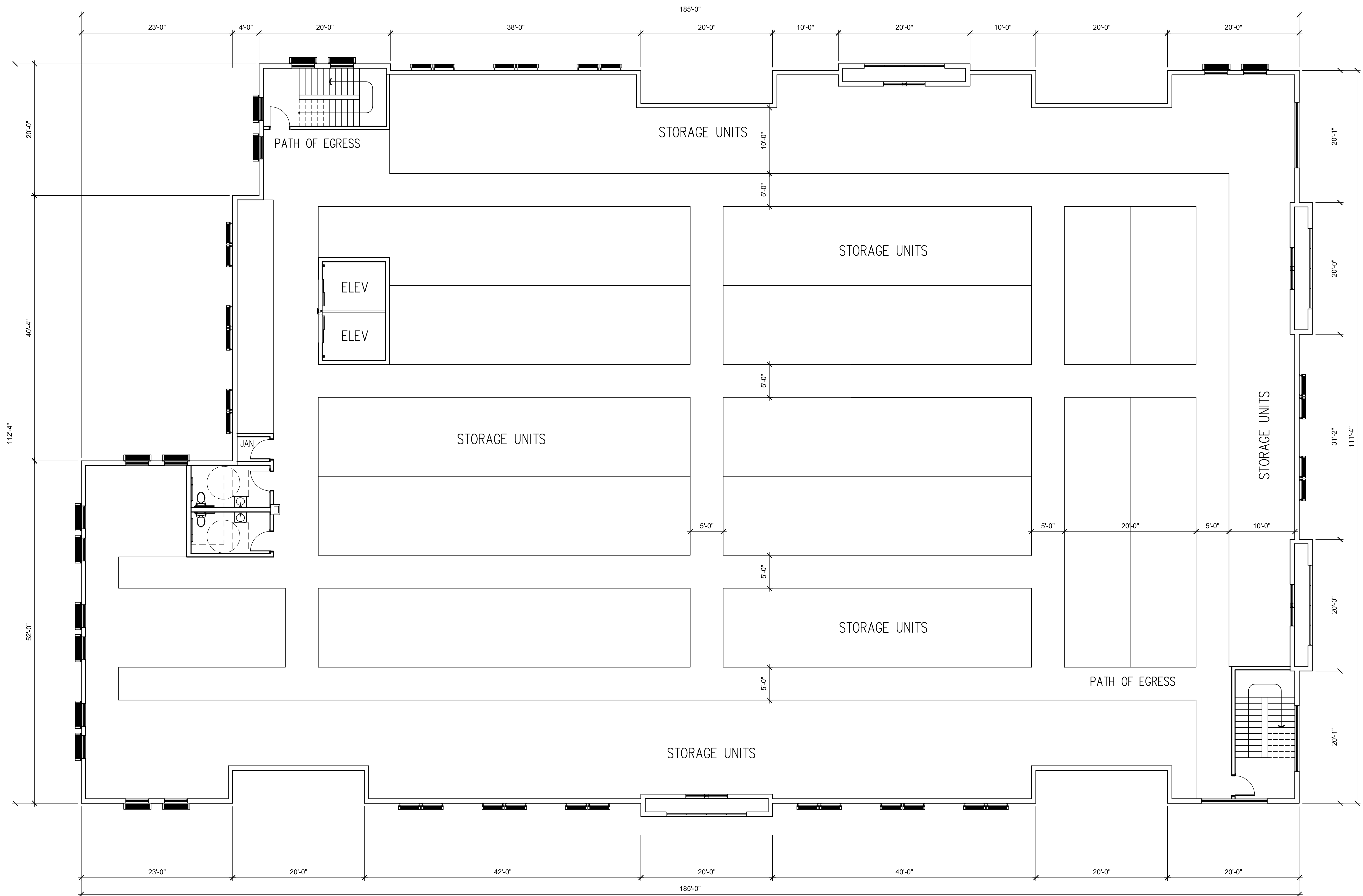
28245 Highway 74  
Main Street  
Evergreen, CO 80439

321-271-0748  
GoodEdward.com

|             |   |
|-------------|---|
| Sheet Title | FLOOR PLAN<br>LEVEL 3 WEST                                |
| Project     | SAFE & SECURE SELF-STORAGE at TAMARAC<br>TAMARAC, FLORIDA |

|                       |          |
|-----------------------|----------|
| Scale<br>1/8" = 1'-0" | Job No.  |
| Date<br>8/4/19        | Drawn By |

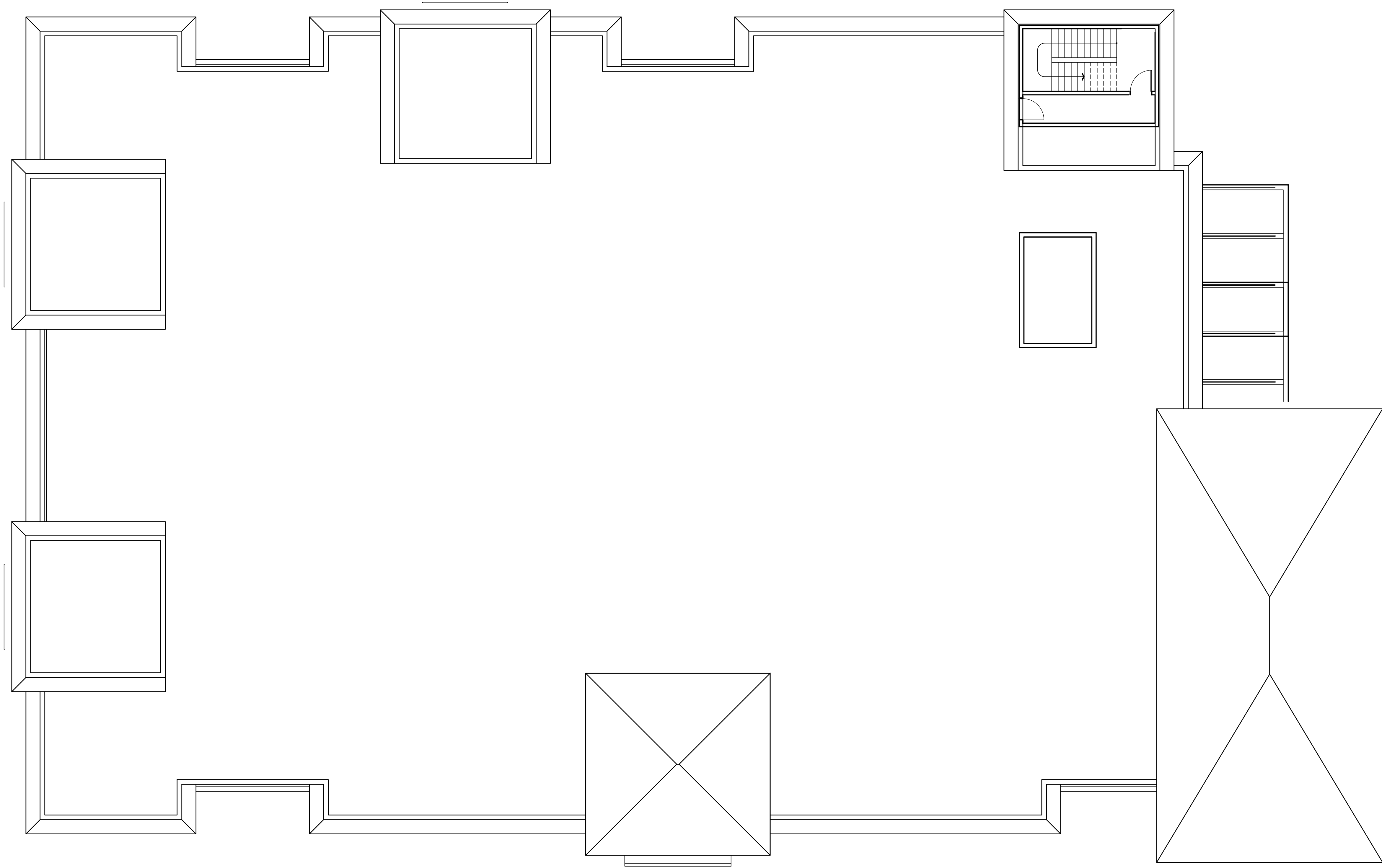
# A5



THIRD FLOOR PLAN - EAST  
SCALE: 1/8" = 1'-0

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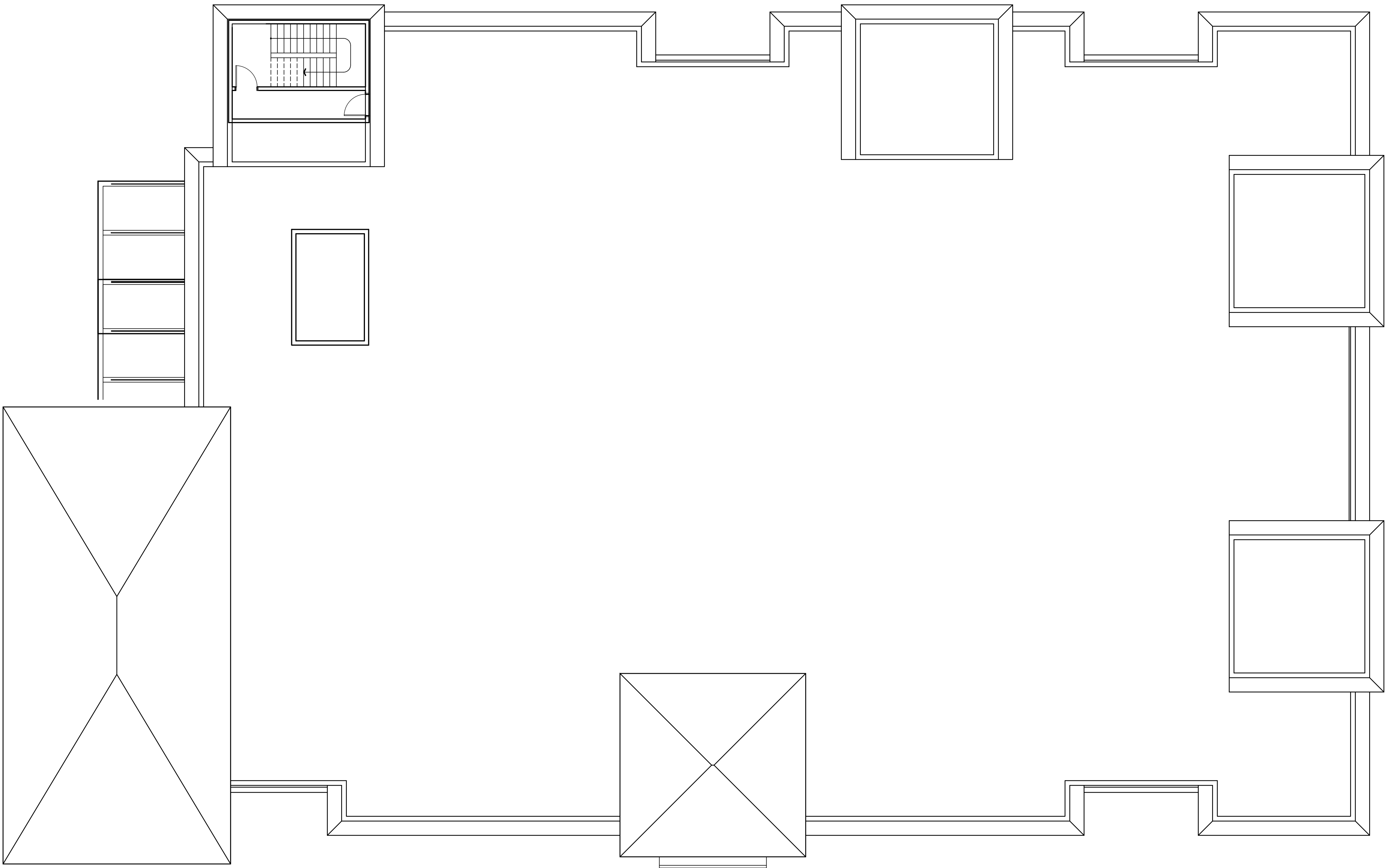
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| Revisions  |   |
| By   |   |
| Date   |   |
| Symbol   |   |
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| Seal <i>Sielly J. Good</i>   |   |
|   |   |
| 28245 Highway 74<br>Main Street<br>Evergreen, CO 80439<br><br>321-271-0748<br>GoodEdward.com   |   |
| Sheet Title  | FLOOR PLAN - EAST<br>LEVEL 3 EAST                                   |
| Project  | SAFE & SECURE SELF-STORAGE at OAKLAND PARK<br>OAKLAND PARK, FLORIDA |
| Scale  | 1/8" = 1'-0"  |
| Date   | 8/4/19  |
| Job No.  |   |
| Drawn By   |   |
| Sheet No.  | A6  |



ROOF PLAN - WEST  
SCALE: 1/8" = 1'-0

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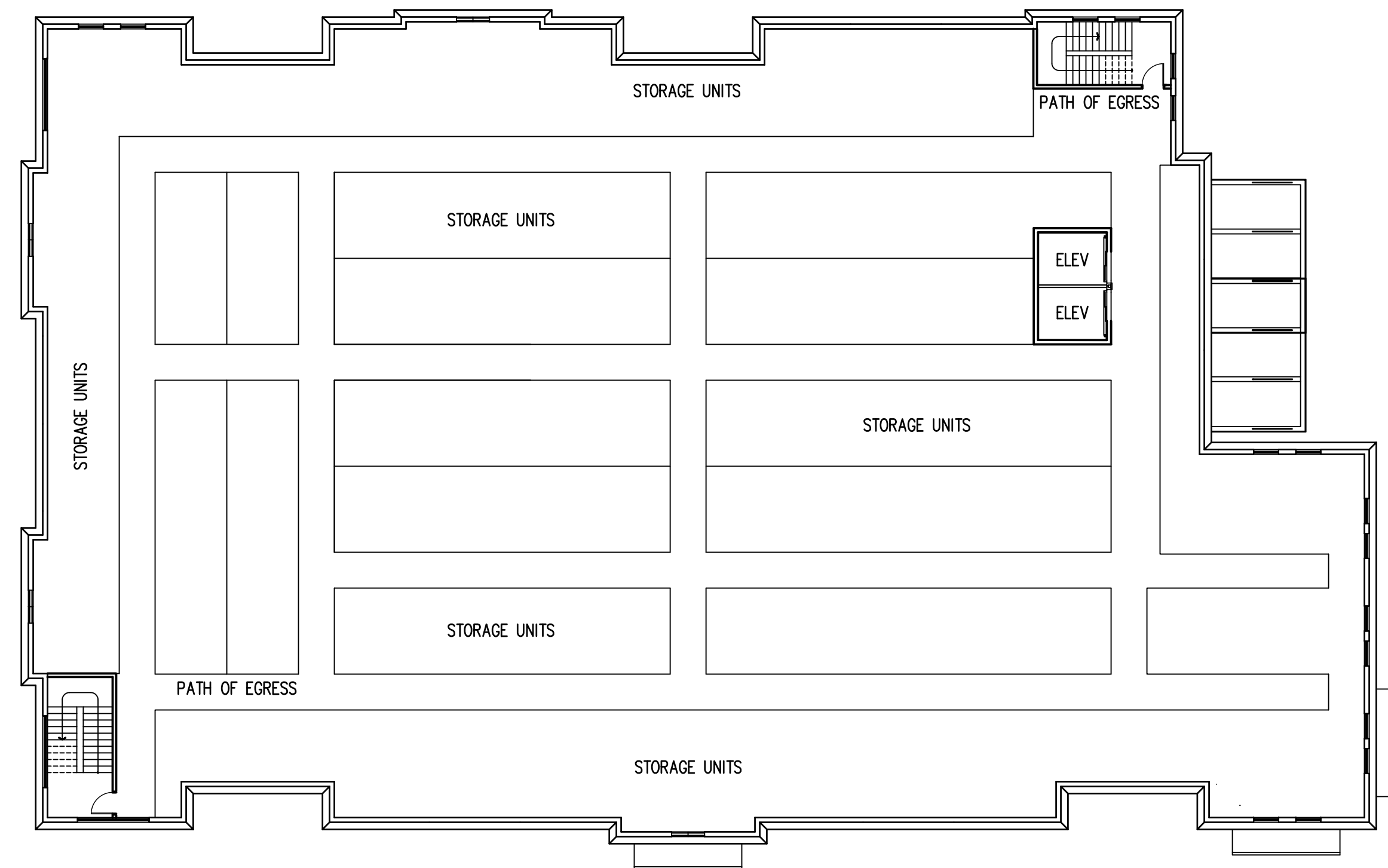
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|---|--------------|---|--|
| Revisions   |              |   |  |
| By  |              |   |  |
| Date  |              |   |  |
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|    |              |   |  |
|  <p>28245 Highway 74<br/>Main Street<br/>Evergreen, CO 80439<br/><br/>321-271-0748<br/>GoodEdward.com</p>  |              |   |  |
| Sheet Title   |              | Project   |  |
| ROOF PLAN   |              | SAFE & SECURE SELF-STORAGE at OAKLAND PARK<br>OAKLAND PARK, FLORIDA |  |
| Scale   | 1/8" = 1'-0" | Job No.   |  |
| Date  | 8/4/19       | Drawn By  |  |
| Sheet No.   |              |   |  |
| A7  |              |   |  |



ROOF PLAN - EAST  
SCALE: 1/8" = 1'-0

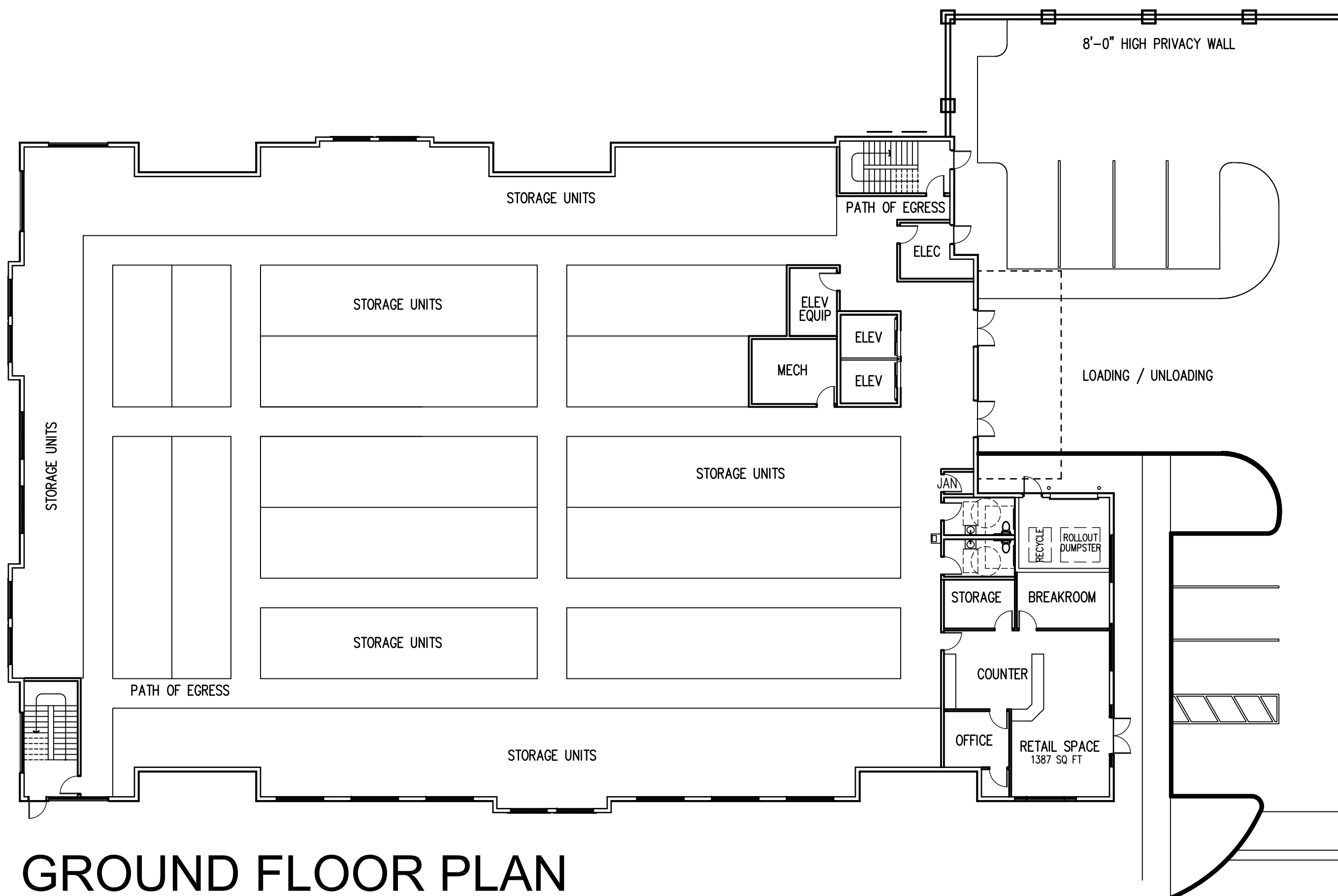
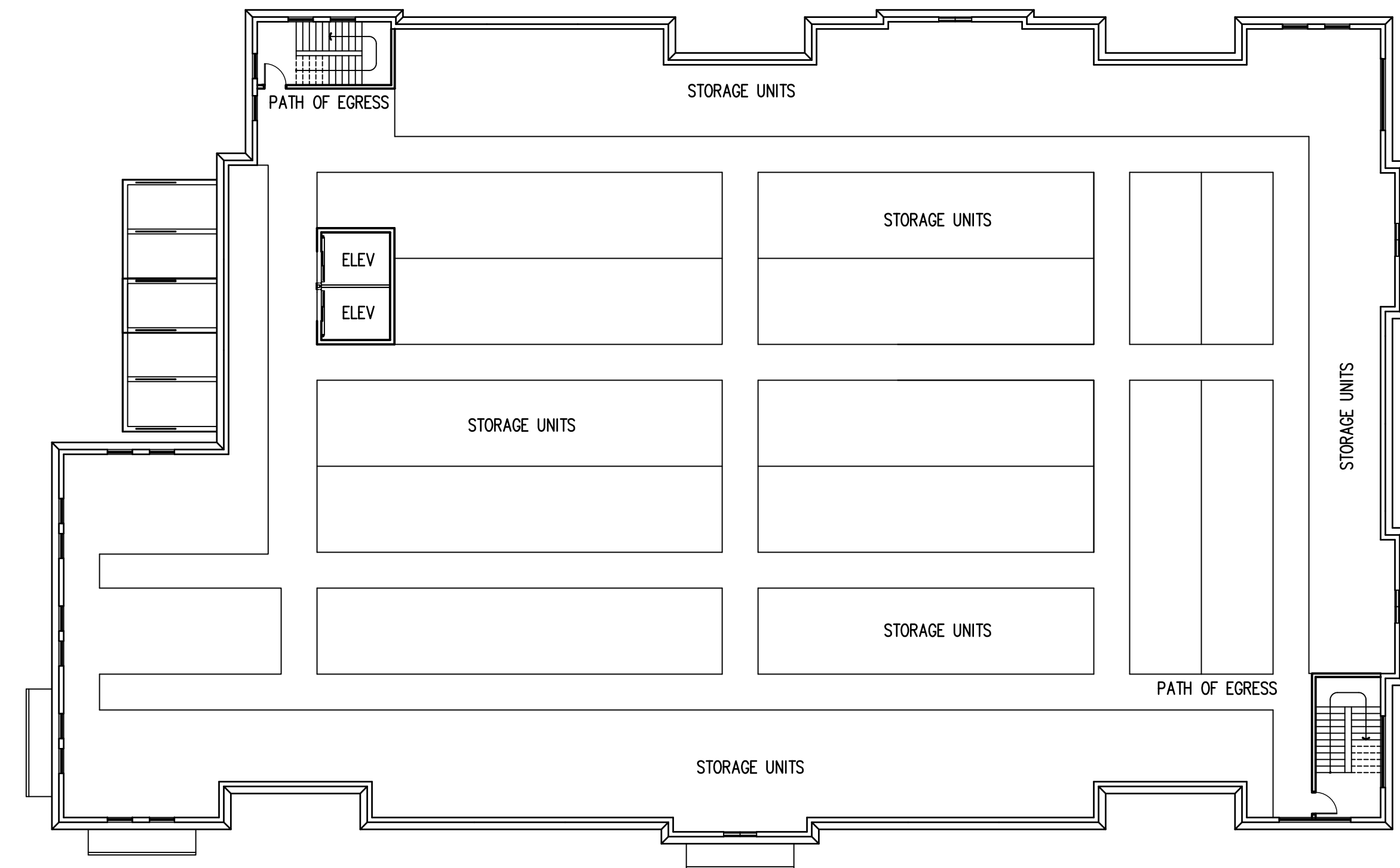
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|   |  |   |  |
|---|--|---|--|
| Revisions   |  |   |  |
| By  |  |   |  |
| Date  |  |   |  |
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|    |  |   |  |
| Seal <i>Siobhán J. Good</i>   |  |   |  |
| <br>28245 Highway 74<br>Main Street<br>Evergreen, CO 80439<br><br>321-271-0748<br>GoodEdward.com   |  |   |  |
| Sheet Title   |  | Project   |  |
| ROOF PLAN   |  | SAFE & SECURE SELF-STORAGE at OAKLAND PARK<br>OAKLAND PARK, FLORIDA |  |
| Scale   |  | Job No.   |  |
| 1/8" = 1'-0"  |  |   |  |
| Date  |  | Drawn By  |  |
| 8/4/19  |  |   |  |
| Sheet No.   |  |   |  |
| A8  |  |   |  |



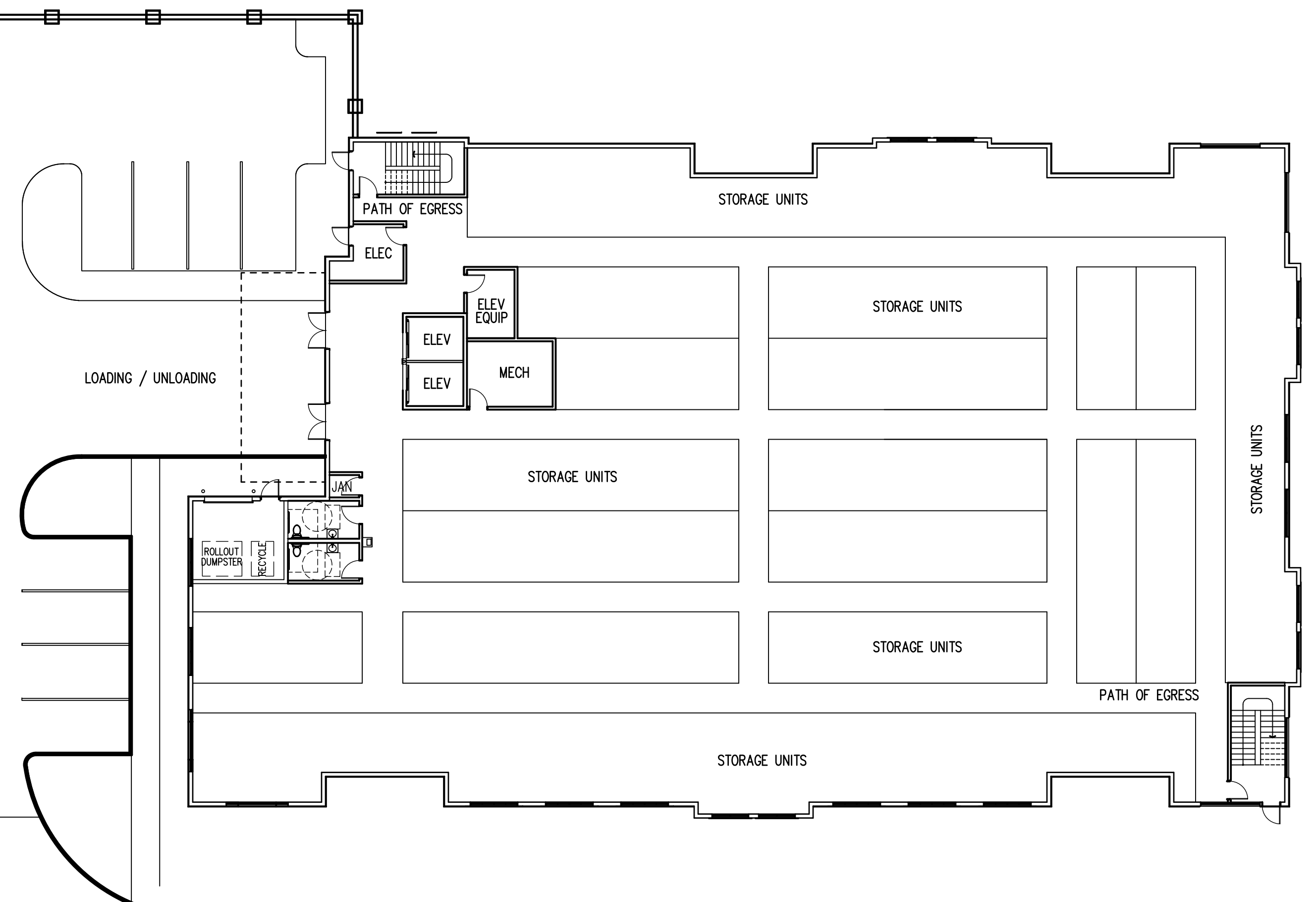
## LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'-0"

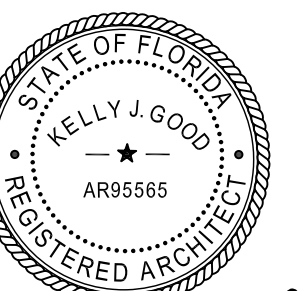


## GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0"

[illegible]

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Seal Key 7 Seal

**GOOD & EDWARD**  
DESIGN STUDIOS

28245 Highway 74  
Main Street  
Evergreen, CO 80439

321-271-0748  
GoodEdward.com

COMBINED PLANS  
GROUND FLOOR PLAN & LEVEL 2 PLAN

**SAFE & SECURE SELF-STORAGE at OAKLAND PARK**

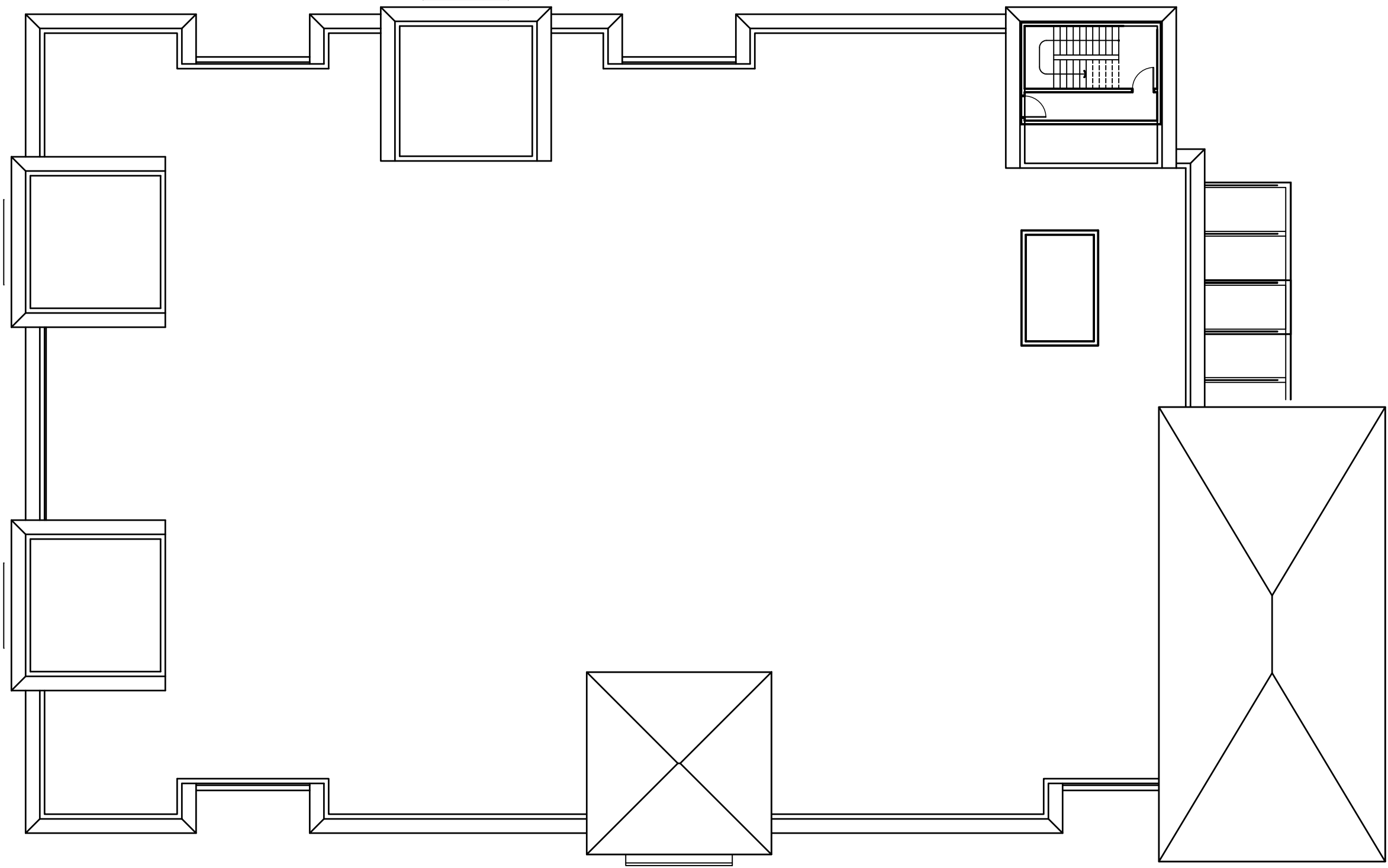
Sheet Title

|               |         |
|---------------|---------|
| Scale         | Job No. |
| 1/16" = 1'-0" |         |

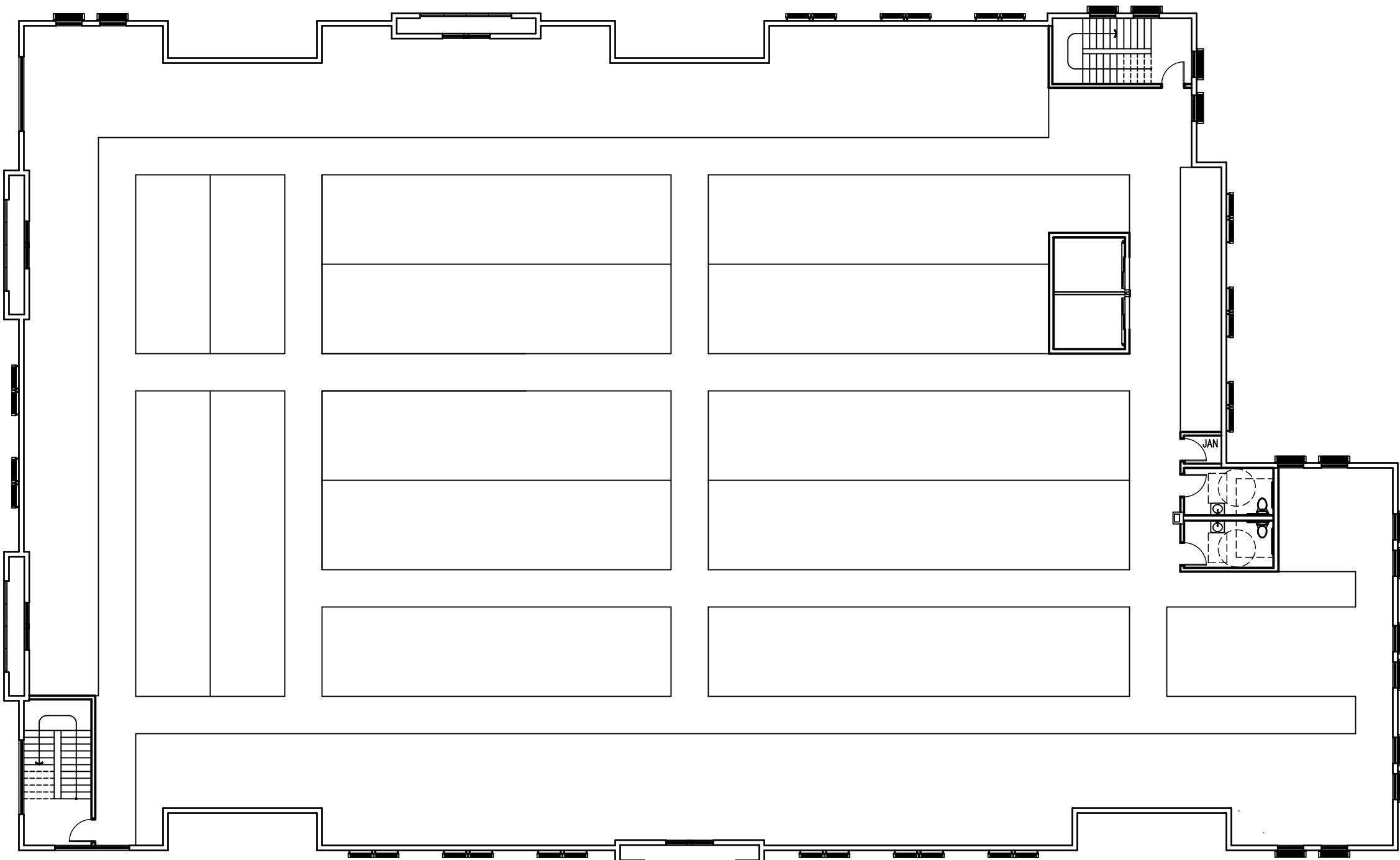
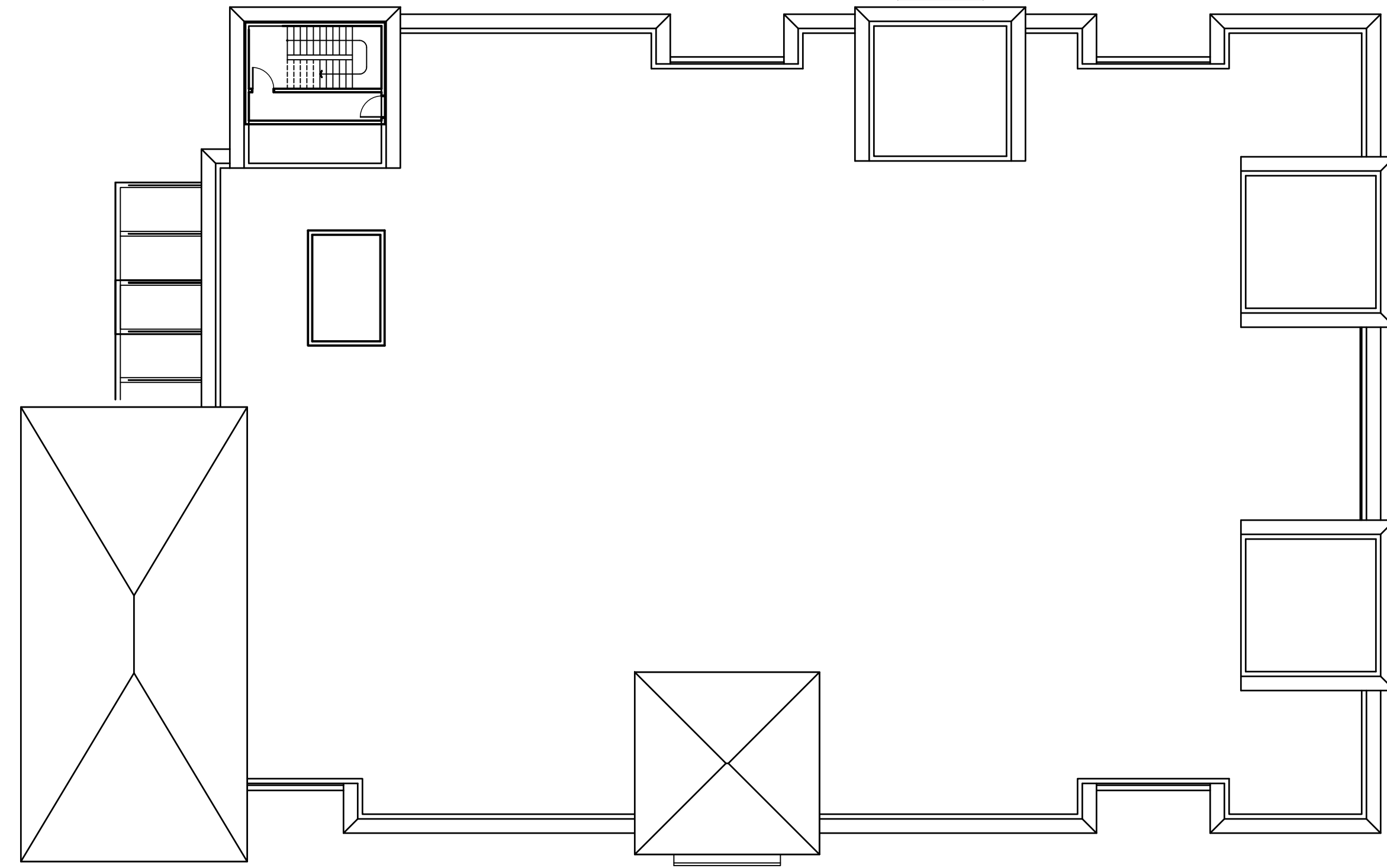
Sheet No.

# A9

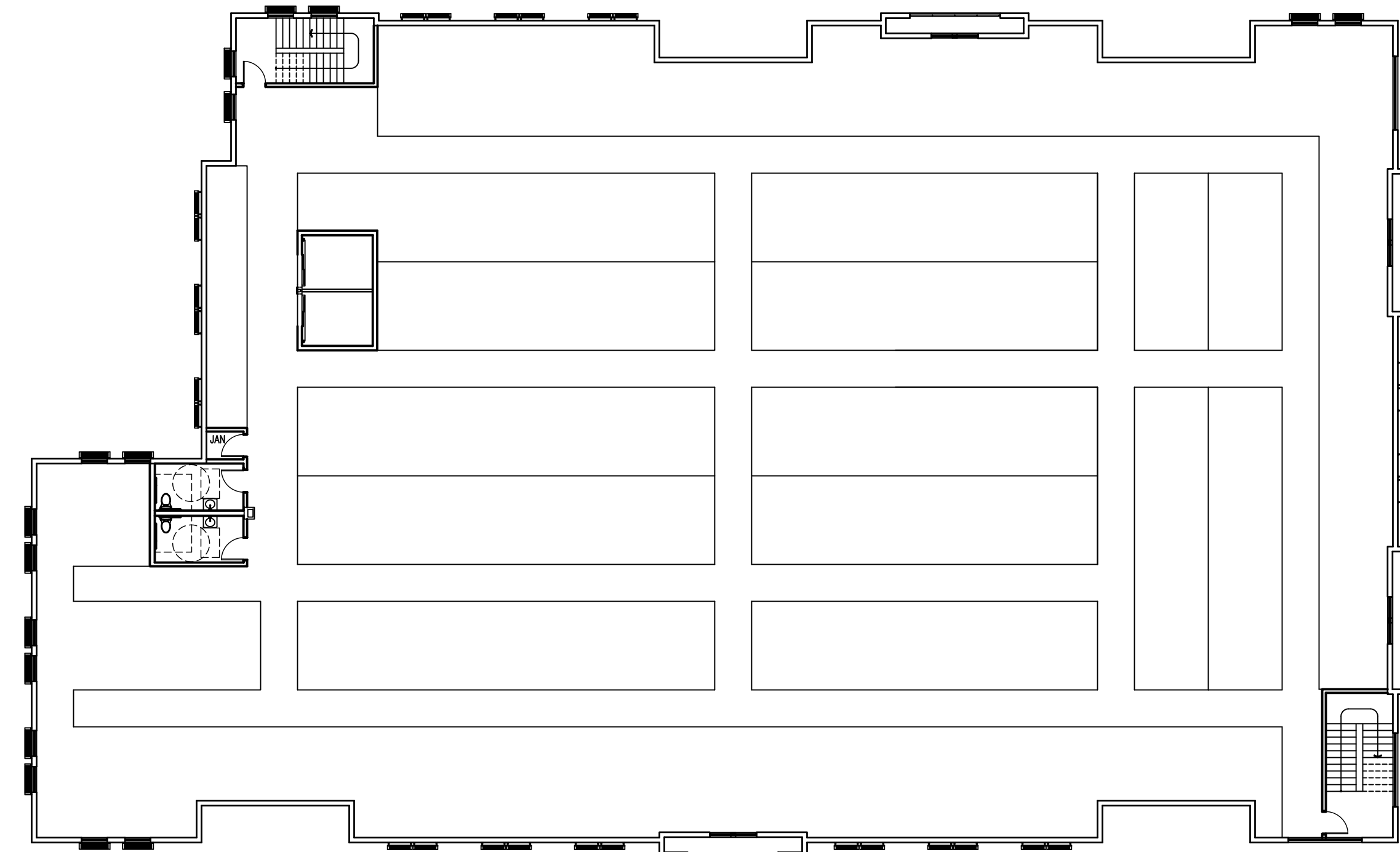
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**ROOF PLAN**  
SCALE: 1/16" = 1'-0

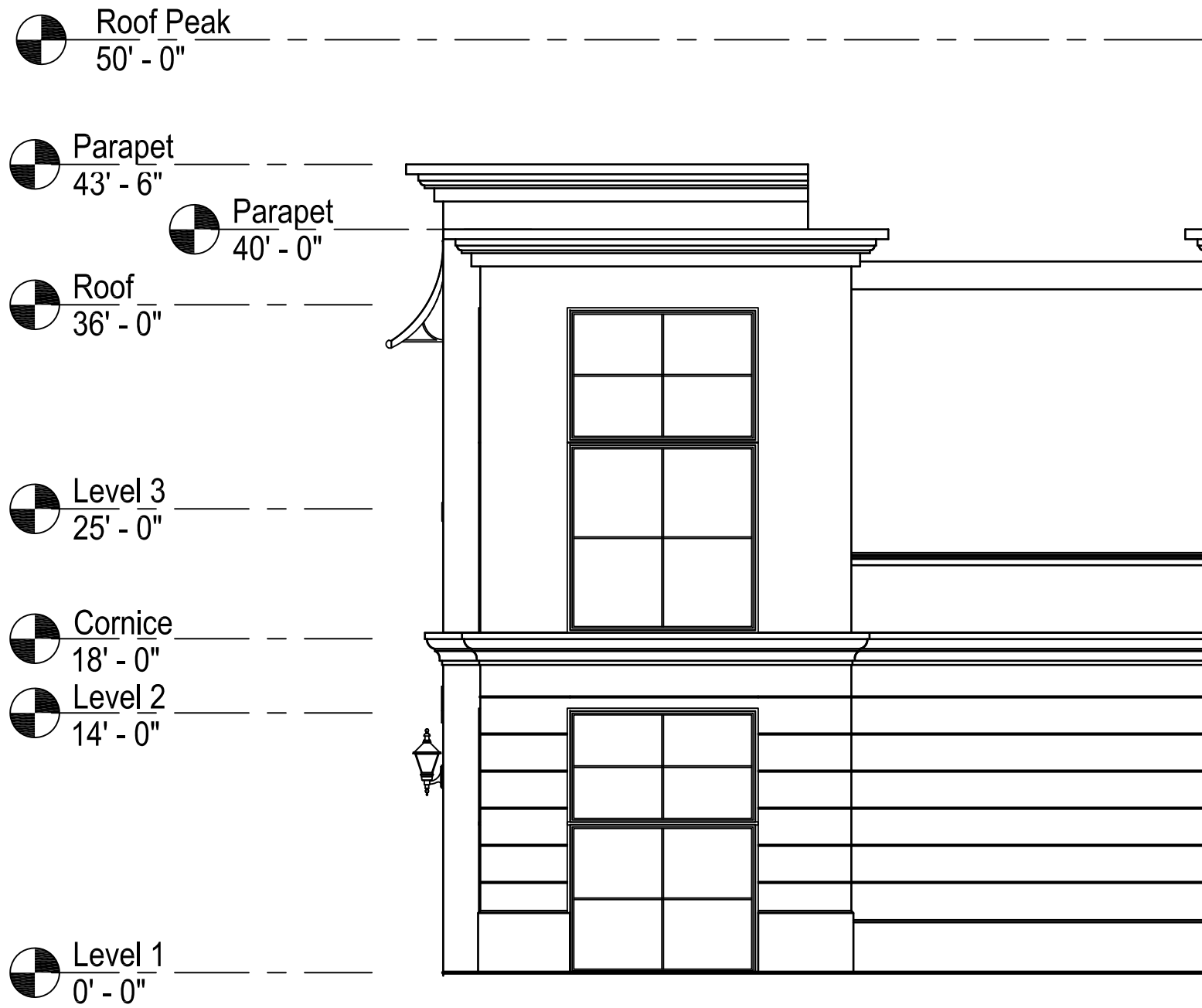


**LEVEL 3 FLOOR PLAN**  
SCALE: 1/16" = 1'-0



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| Seal <i>Siobhán J. Good</i>   |   |
| <b>GOOD &amp; EDWARD</b><br>DESIGN STUDIOS<br>28245 Highway 74<br>Main Street<br>Evergreen, CO 80439<br>321-271-0748<br>GoodEdward.com  |   |
| Sheet Title   | COMBINED PLANS<br>LEVEL 3 PLAN & ROOF PLAN                          |
| Project   | SAFE & SECURE SELF-STORAGE at OAKLAND PARK<br>OAKLAND PARK, FLORIDA |
| Scale   | 1/16" = 1'-0"   |
| Date  | 8/4/19  |
| Job No.   |   |
| Drawn By  |   |
| Sheet No.   | <b>A10</b>  |



FRONT (SOUTH) ELEVATION

SCALE: 1/8" = 1'-0 (Oakland Park Blvd)

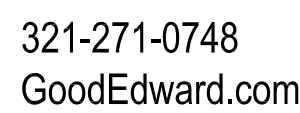


RIGHT (EAST) ELEVATION

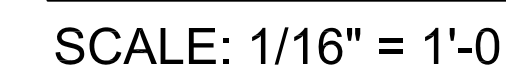
SCALE: 1/8" = 1'-0

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|  |  |                       |
|--|--|-----------------------|
| Revisions  |  |                       |
| By   |  |                       |
| Date   |  |                       |
| Symbol   |  |                       |
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|  |  |                       |
| Seal <i>Kelly J. Good</i>  |  |                       |
|  |  |                       |
| 28245 Highway 74<br>Main Street<br>Evergreen, CO 80439   |  |                       |
| 321-271-0748<br>GoodEdward.com   |  |                       |
| Sheet Title  | Project<br>SAFE & SECURE SELF-STORAGE at OAKLAND PARK<br>OAKLAND PARK, FLORIDA |                       |
|  |  | Scale<br>1/8" = 1'-0" |
|  |  | Date<br>8/4/19        |
|  |  | Job No.               |
| Sheet No.  |  |                       |
| A11  |  |                       |



# A12

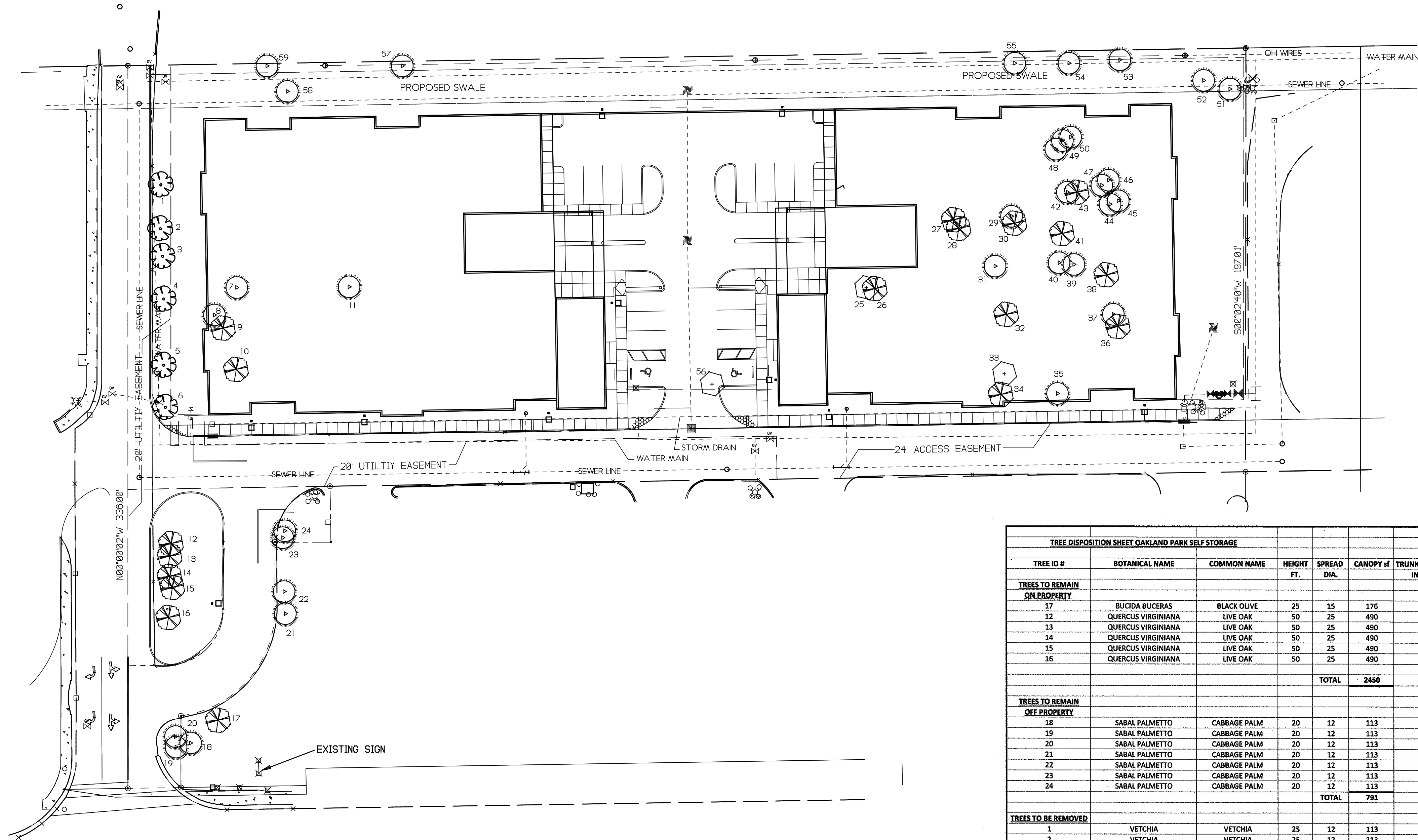


# A13

These architecture drawings are preliminary design concepts, herein called "Schematic" and are prepared for City of Oakland Park approvals. Once approvals are received, the architect and engineer will complete the architectural and engineering as required, but will maintain the Schematic design concept as presented herein. This design may be required to have modifications to meet: a.) local zoning ordinances, b.) any and all local, state and federal building requirements, and codes c.) local, state and federal ADA requirements, d.) local, state and federal structural requirements.

# A14





| TREE DISPOSITION SHEET OAKLAND PARK SELF STORAGE |                    |              |            |             |           |                       |           |             |                          |
|--|--------------------|--------------|------------|-------------|-----------|-----------------------|-----------|-------------|--------------------------|
| TREE ID #  | BOTANICAL NAME     | COMMON NAME  | HEIGHT FT. | SPREAD DIA. | CANOPY sf | TRUNK DIA. DBH INCHES | CONDITION | DISPOSITION | COMMENTS                 |
| TREES TO REMAIN ON PROPERTY                      |                    |              |            |             |           |                       |           |             |                          |
| 17   | BUCIDA BUCERAS     | BLACK OLIVE  | 25         | 15          | 176       | 14                    | GOOD      | REMAIN      | NEEDS PROPER PRUNING     |
| 12   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 20                    | GOOD      | REMAIN      | NEEDS PROPER PRUNING     |
| 13   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 24                    | GOOD      | REMAIN      | NEEDS PROPER PRUNING     |
| 14   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 30                    | GOOD      | REMAIN      | NEEDS PROPER PRUNING     |
| 15   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 22                    | GOOD      | REMAIN      | NEEDS PROPER PRUNING     |
| 16   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 24                    | GOOD      | REMAIN      | NEEDS PROPER PRUNING     |
| TOTAL  |                    |              |            |             | 2450      |                       |           |             |                          |
| TREES TO REMAIN OFF PROPERTY                     |                    |              |            |             |           |                       |           |             |                          |
| 18   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | FAIR      | RELOCATE    |                          |
| 19   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 15                    | FAIR      | RELOCATE    |                          |
| 20   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 14                    | FAIR      | RELOCATE    |                          |
| 21   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | FAIR      | REMAIN      | OFF PROPERTY             |
| 22   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | FAIR      | REMAIN      | OFF PROPERTY             |
| 23   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 10                    | FAIR      | REMAIN      | OFF PROPERTY             |
| 24   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 10                    | FAIR      | REMAIN      | OFF PROPERTY             |
| TOTAL  |                    |              |            |             | 791       |                       |           |             |                          |
| TREES TO BE REMOVED                              |                    |              |            |             |           |                       |           |             |                          |
| 1  | VETCHIA            | VETCHIA      | 25         | 12          | 113       | 8                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 2  | VETCHIA            | VETCHIA      | 25         | 12          | 113       | 4                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 3  | VETCHIA            | VETCHIA      | 25         | 12          | 113       | 8                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 4  | VETCHIA            | VETCHIA      | 25         | 12          | 113       | 8                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 5  | VETCHIA            | VETCHIA      | 25         | 12          | 113       | 8                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 6  | VETCHIA            | VETCHIA      | 25         | 12          | 113       | 8                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 7  | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 16                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 8  | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 16                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 9  | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 32                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 10   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 32                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 11   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 10                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 25   | FICUS              | FICUS VAR.   | 40         | 35          | 962       | 20                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 26   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 24                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 27   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 24                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 28   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 24                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 29   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 10                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 30   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 24                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 31   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 32   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 18                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 33   | FICUS              | FICUS VAR.   | 40         | 35          | 962       | 72                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 34   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 30                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 35   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 36   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 20                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 37   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 9                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 38   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 20                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 39   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 10                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 40   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 41   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 20                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 42   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 43   | QUERCUS VIRGINIANA | LIVE OAK     | 50         | 25          | 490       | 12                    | GOOD      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 44   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 9                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 45   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 46   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 47   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 48   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 9                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 49   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 9                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 50   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 51   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 8                     | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 52   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 12                    | POOR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 53   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 8                     | POOR      | REMOVE      | UNDER POWERLINES         |
| 54   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 8                     | POOR      | REMOVE      | UNDER POWERLINES         |
| 55   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 10                    | POOR      | REMOVE      | UNDER POWERLINES         |
| 56   | FICUS              | FICUS VAR.   | 40         | 35          | 962       | 18                    | FAIR      | REMOVE      | WITHIN CONSTRUCTION AREA |
| 57   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 10                    | POOR      | REMOVE      | UNDER POWERLINES         |
| 58   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 8                     | POOR      | REMOVE      | IN NEW SWALE             |
| 59   | SABAL PALMETTO     | CABBAGE PALM | 20         | 12          | 113       | 8                     | POOR      | REMOVE      | UNDER POWERLINES         |
| TOTAL  |                    |              |            |             | 12269     |                       |           |             |                          |

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TREE DISPOSITION PLAN FOR OAKLAND PARK SELF STORAGE  
WEST OAKLAND PARK BOULEVARD, OAKLAND PARK, FLORIDA

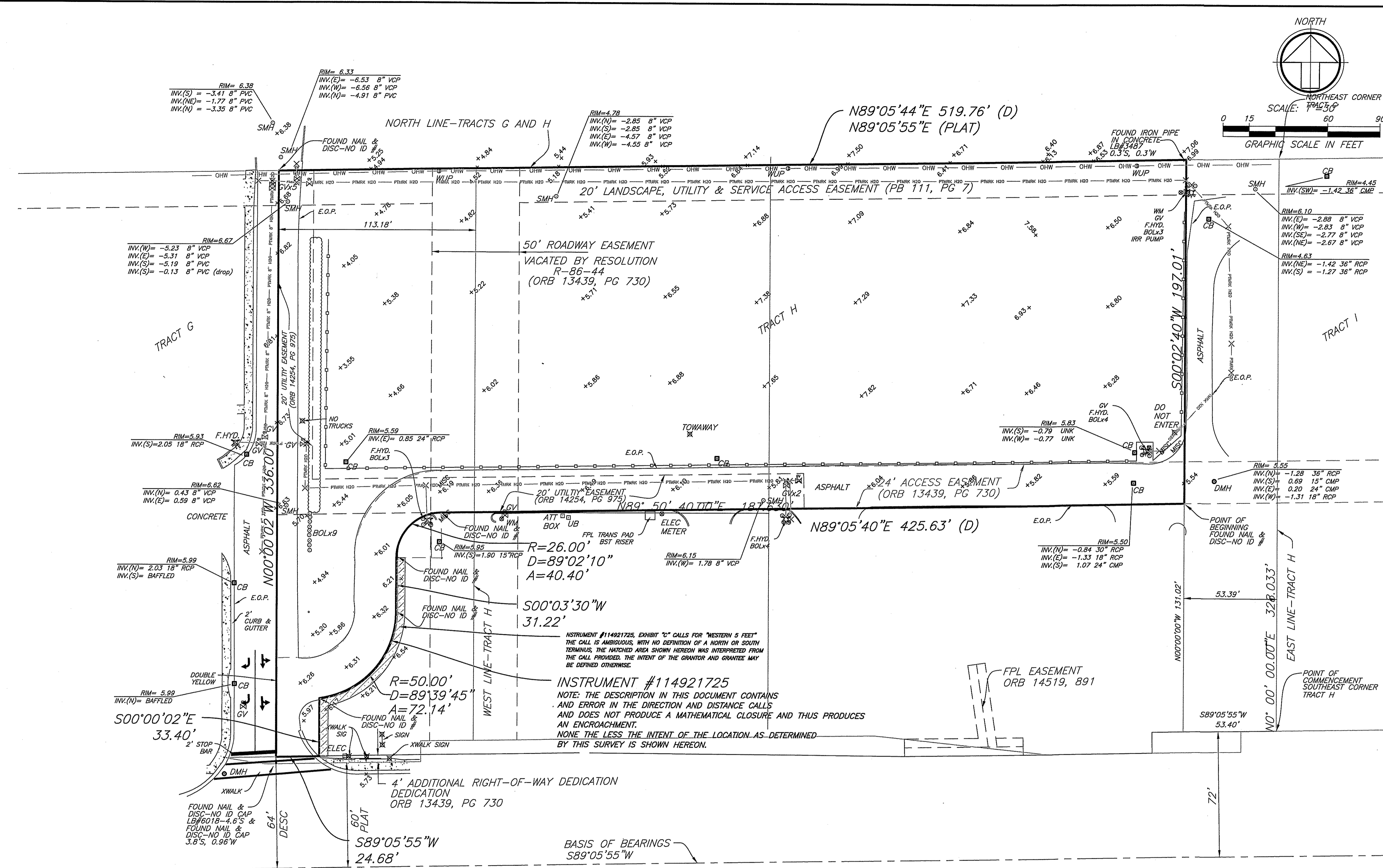
Michael J. Petrow  
and  
Associates, Inc.  
Landscape Architecture  
P.O. Box 8801, Coral Springs, FL 33075  
Phone: (954) 466-9659 FL Reg. 4362

SHEET NO: T-1  
OF: ONE

| NO | REVISIONS         |
|----|-------------------|
| 1  | FEBRUARY 20, 2019 |
| 2  |                   |
| 3  |                   |
| 4  |                   |
| 5  |                   |

|                         |
|-------------------------|
| SCALE: 1"=30'           |
| DATE: NOVEMBER 23, 2016 |
| DRAWN BY: M.J.P.        |

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**LAND DESCRIPTION:**  
A PORTION OF TRACTS G AND H, OAKLAND LAKES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 111, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID TRACT H; THENCE SOUTH 89°05'55" WEST, ALONG A LINE PARALLEL WITH AND 72.00 FEET NORTH OF AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER (SE1/4) OF SECTION 20, TOWNSHIP 49 SOUTH, RANGE 42 EAST, A DISTANCE OF 53.40 FEET; THENCE NORTH ALONG A LINE PARALLEL WITH AND 53.39 FEET WEST OF THE EAST LINE OF SAID TRACT H, A DISTANCE OF 131.02 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; SAID POINT ALSO BEING ON THE SOUTH LINE OF THAT CERTAIN INGRESS AND EGRESS EASEMENT DESCRIBED IN OFFICIAL RECORDS BOOK 13439, PAGES 730 THROUGH 787 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE SOUTH 89°05'40" WEST, A DISTANCE OF 425.63 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE LEFT; THENCE SOUTHWESTERLY AND SOUTHERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 26.00 FEET, A CENTRAL ANGLE OF 89°02'10" AND AN ARC DISTANCE OF 40.40 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 00°03'30" WEST, A DISTANCE OF 31.22 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT; THENCE SOUTHWESTERLY AND WESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 82°39'45" AND AN ARC DISTANCE OF 72.14 FEET, THE LAST FOUR COURSES BEING COINCIDENT WITH THE SOUTH LINE OF SAID CERTAIN INGRESS AND EGRESS EASEMENT DESCRIBED IN OFFICIAL RECORDS BOOK 13439, PAGE 730 THROUGH 787; THENCE SOUTH 00°00'02" EAST, A DISTANCE OF 33.34 FEET; THENCE SOUTH 89°05'55" WEST, ALONG A LINE PARALLEL WITH AND 64.00 FEET NORTH OF AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER (SE1/4) OF SECTION 20 A DISTANCE OF 24.68 FEET; THENCE NORTH 00°00'02" WEST, ALONG A LINE PARALLEL WITH AND 113.18 FEET WEST OF AS MEASURED AT RIGHT ANGLES TO THE WEST LINE OF SAID TRACT H, A DISTANCE OF 336.00 FEET; THENCE NORTH 89°05'44" EAST, ALONG THE NORTH LINE OF SAID TRACTS G AND H, A DISTANCE OF 519.76 FEET; THENCE SOUTH 00°02'40" WEST, ALONG A LINE PARALLEL WITH AND 53.29 FEET WEST OF AS MEASURED AT RIGHT ANGLES TO THE WEST LINE OF SAID TRACT H, A DISTANCE OF 197.01 FEET TO THE POINT OF BEGINNING.

**SURVEY NOTES:**  
LANDS SHOWN HEREON WERE NOT ABSTRACTED BY SHAH DROTOS & ASSOCIATES FOR EASEMENTS, RIGHT-OF-WAY, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD. TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY OF RECORD, THIS SURVEY IS BASED UPON AN EXAMINATION OF TITLE DATED APRIL 2, 2019 (ATTORNEYS' TITLE FUND SERVICES, LLC, FUND FILE NUMBER 709537) AND IS SUBJECT TO THE FOLLOWING ITEMS LISTED UNDER RESTRICTION/EASEMENTS THEREIN, WITH ALL RECORDING REFERENCES TO THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA:

1. NOT SURVEY RELATED.
2. LIABILITY FOR POSSIBLE CONTINUING VIOLATION ACCORDING TO CODE ENFORCEMENT LIEN RECORDED IN INSTRUMENT NO. 113370137. (NOT A SURVEY RELATED ITEM)
3. DEDICATIONS, RESERVATIONS, STREETS, EASEMENTS AND ALL OTHER MATTERS CONTAINED ON THE PLAT OF OAKLAND LAKES, AS RECORDED IN PLAT BOOK 111, PAGE 7, AFFECTED BY RESOLUTIONS RECORDED IN ORB 13436, PG 555; ORB 13436, PG 558 AND ORB 13439, PG 730. PLATTED EASEMENTS ARE PLOTTED ON THE SURVEY. DEDICATIONS/VACATIONS REFERENCED IN THE RESOLUTIONS ARE PLOTTED ON THE SURVEY.
4. PRIVATE EASEMENT AGREEMENTS RECORDED IN ORB 9746, PG 605; ORB 10087, PG 363 AND ORB 13623, PG 28. (24' ACCESS EASEMENT SHOWN ON SURVEY IN ITS CURRENT FORM AS RECORDED IN ORB 13439, PG 730)
5. UTILITY EASEMENT RECORDED IN ORB 14254, PG 975. PLOTTED ON THE SURVEY.
6. EASEMENT GRANTED TO FLORIDA POWER & LIGHT COMPANY RECORDED IN ORB 14519, PG 891. DOES NOT AFFECT SUBJECT PROPERTY.
7. STORM DRAINAGE EASEMENTS RECORDED IN ORB 18336, PG 239 AND ORB 18336, PG 242. DOES NOT AFFECT SUBJECT PROPERTY.
8. ROAD CONTRIBUTION AGREEMENT RECORDED IN ORB 9802, PG 686 (NOT PLOTTABLE), AFFECTED BY PARTIAL RELEASES OF ROAD CONSTRUCTION LIEN RECORDED IN ORB 14456, PG 832 (NOT PLOTTABLE) AND ORB 15168, PG 345 (NOT PLOTTABLE); ORB 22405, PG 924 (NOT PLOTTABLE).

9. ROAD CONTRIBUTION AGREEMENT RECORDED IN ORB 9802, PG 677 (NOT PLOTTABLE), AFFECTED BY PARTIAL RELEASE OF ROAD CONTRIBUTION LIEN RECORDED IN ORB 14456, PG 832 (NOT PLOTTABLE) AND ORB 15168, PG 345 (NOT PLOTTABLE).
10. AGREEMENT RECORDED IN ORB 9809, PG 661. (NOT PLOTTABLE)
11. RESOLUTION RELATING TO DISCLAIMING INTERESTS IN EASEMENTS RECORDED IN ORB 14012, PG 796. (NOT PLOTTABLE)
12. MATTERS CONTAINED IN QUIT CLAIM DEED RECORDED IN ORB 13987, PG 283.
13. MUTUAL AND RECIPROCAL EASEMENT AGREEMENT RECORDED IN ORB 13735, PG 488. (NOT PLOTTABLE)
14. RECIPROCAL EASEMENT AGREEMENT RECORDED IN ORB 18524, PG 905. (NOT PLOTTABLE)

**SURVEY NOTES:**

2. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
3. BEARINGS SHOWN HEREON ARE BASED ON THE PLAT OF OAKLAND LAKES RECORDED IN PLAT BOOK 111, PAGE 7 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA THE REFERENCE BEARING IS SOUTH 87°05'50" WEST FOR THE SOUTH LINE OF THE SOUTHWEST ONE-QUARTER (SW1/4) OF SECTION 21, TOWNSHIP 49 SOUTH, RANGE 42 EAST.
4. FLOOD ZONE INFORMATION:  
COMMUNITY NUMBER 120050  
PANEL NUMBER 0336H  
ZONE AH  
BASE ELEVATION 5'  
MAP DATE 08-18-14
5. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BENCHMARK INFORMATION: BROWARD COUNTY ENGINEERING DEPARTMENT BENCHMARK #2654-SOUTH END OF LAKE LOCATED BETWEEN NORTHWEST 24 AND NORTHWEST 26 AVENUES, SOUTH OF OAKLAND PARK BOULEVARD. TOP OF GRATE ON CATCH BASIN ON NORTH SIDE OF NORTHWEST 27 STREET OPPOSITE SOUTHWESTERLY CORNER OF LAKE. ELEVATION=6.52 (NGVD29), 4.94 (NAVD88).
6. THE SURVEY AND THE INFORMATION, DETAILS, COURSES AND DISTANCES SHOWN THEREON ARE TRUE, CORRECT AND ACCURATE.

**LEGEND**

|        |                              |      |                                |       |                                |
|--------|------------------------------|------|--------------------------------|-------|--------------------------------|
| C.L.P. | CONCRETE LIGHT POLE          | BST  | BELL SOUTH TELEPHONE           | N&D   | NAIL AND DISC                  |
| G.V.   | GATE VALVE                   | DDCV | DOUBLE DETECTOR CHECK VALVE    | HANDI | HANDICAP                       |
| F.HYD. | FIRE HYDRANT                 | ICV  | IRRIGATION CONTROL VALVE       | CUP   | CONCRETE UTILITY POLE          |
| L.P.   | LIGHT POLE                   | DMH  | DRAINAGE MANHOLE               | DMH   | DRAINAGE MANHOLE               |
| C.O.   | CLEAN-OUT                    | IPC  | IRON PIPE WITH ID CAP          | IPC   | IRON PIPE WITH ID CAP          |
| ELEC   | ELECTRIC METER BOX           | PRM  | CONCRETE MONUMENT WITH ID DISC | PRM   | CONCRETE MONUMENT WITH ID DISC |
| W.M.   | WATER METER BOX              | NOV  | NON-VEHICULAR ACCESS LINE      | CAB   | CABBAGE PALM                   |
| COL    | COLUMN                       | TOB  | TOP OF BANK                    | TOB   | TOP OF BANK                    |
| W.P.   | WOOD POWER POLE              | SET  | SET 5/8" IRC W/ID LB#6456      | SET   | SET 5/8" IRC W/ID LB#6456      |
| C.L.P. | CONCRETE LIGHT POLE          |      |                                |       |                                |
| M.H.   | MANHOLE                      |      |                                |       |                                |
| SMH    | SANITARY MANHOLE             |      |                                |       |                                |
| ORB    | OFFICIAL RECORDS BOOK        |      |                                |       |                                |
| PB     | PLAT BOOK                    |      |                                |       |                                |
| PG     | PAGE                         |      |                                |       |                                |
| TYP    | TYPICAL                      |      |                                |       |                                |
| FTE    | FINISHED FLOOR ELEVATION     |      |                                |       |                                |
| BOL    | BOLLARD                      |      |                                |       |                                |
| ATT    | AMERICAN TELEPHONE/TELEGRAPH |      |                                |       |                                |
| HH     | HANDHOLE                     |      |                                |       |                                |

CERTIFIED TO:  
OAKLAND LAKES BOULEVARD, LLC  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
DOUG MAREK, P.A.  
MICHAEL D. SARVER  
PROFESSIONAL SURVEYOR AND MAPPER #4174

LAST FIELDWORK DATE: MARCH 15, 2019  
MAP DATE: JUNE 18, 2019

REVISIONS

| DATE   | BY | DESCRIPTION                |
|--------|----|----------------------------|
| 2-9-17 |    | ADDED WATERMAIN PAINTMARKS |

ENGINEERING

SHAH DROTOS & ASSOCIATES

SURVEYING

PLANNING

CHECKED BY:

DESIGNED BY:

APPROVED BY:

SCALE: 1"=30'

A PORTION OF TRACTS G AND H

OAKLAND LAKES

PLAT BOOK 111, PAGE 7, BCR

OAKLAND PARK, BROWARD COUNTY, FLORIDA

ALTA/NSPS LAND TITLE SURVEY

FOR THE FIRM, BY:

MICHAEL D. SARVER

PROFESSIONAL SURVEYOR

AND MAPPER

FLORIDA REG NO. LS4174

DATE:

JUNE 2019

JOB NO.

1094A.00

SHEET

1 OF 1