

**CURRIE
SOWARDS
AGUILA**
architects
Architecture, Planning,
Interiors, &
Sustainable Design

AZ026001584
185 W. WILSON AVE., SUITE 101
DESBAY BEACH, FL 32083
T (904) 774-4951 F (904) 743-8894
E info@currie-sowards.com
www.currie-sowards.com

José Aguila
Digitally signed by José Aguila
Date: 2021.03.16 09:18:05 -04'

PROJECT TITLE
NORTH ANDREWS
GARDENS
COMMUNITY
CENTER

250 NE 56 COURT
OAKLAND PARK FL 33334

REVISIONS	
NUM.	DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED
PER ESTABLISHED INDUSTRY
STANDARDS AND REPRESENT THE
ARCHITECT AND ENGINEERS DESIGN
CONCEPT. THEY ARE NOT INTENDED
TO PROVIDE EVERY DETAIL OR
CONDITION REQUIRED TO
CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH
SUBMITTALS AND OTHER
COORDINATION EFFORTS IS FULLY
RESPONSIBLE FOR PROVIDING A
COMPLETE AND OPERATIONAL
BUILDING. WHETHER INDICATED ON
THE PLANS OR NOT.

COVER

DATE	DRAWN BY
01-28-21	YSD, JTF
JOB NUMBER	
200101	

A0.00



185 NE 4TH AVE., SUITE 101
DELRAY BEACH, FL 33483
T: (561) 276-4951
F: (561) 243-8184

Sheet Number	Sheet Name
A0.00	COVER
A1.01	SITE PLAN
A1.02	SITE DETAILS
A2.01	OVERALL FLOOR PLAN
A2.02	ROOF PLAN
A3.01	EXTERIOR ELEVATIONS

Shoot Name

SURVEY	
Sheet Number	Sheet Name
1/4	BOULEVARD TOBACCOGALLIEVIEW

Sheet Name

WORLD BANK INFORMATION SURVEY

0

Sheet Number	Sheet Name
C100	GENERAL NOTES
C101	GENERAL NOTES
C200	DEMOLITION PLAN
C300	EROSION SEDIMENT CONTROL PLAN
C400	HORIZONTAL CONTROL PLAN
C500	ENGINEERING PLAN

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Sheet Number	Sheet Name
L-100	TREE DISPOSITION PLAN
L-200	LANDSCAPE PLAN
L-201	LANDSCAPE PLAN
L-210	LANDSCAPE DETAILS
L-211	LANDSCAPE NOTES

KIMI EV-HORN

1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FL 33411
T: (561) 330-2345

PROJECT SUMMARY:
REPLACE THE EXISTING COMMUNITY CENTER COMPRISED OF TWO BUILDING STRUCTURES (~ 4,905 SF) WITH A NEW COMMUNITY CENTER AND AMENITIES (~ 6,992 SF). PROVIDE NEW OUTDOOR SEATING/LUNCH AREA, NEW PLAYGROUND EQUIPMENT, AND NEW BASKETBALL COURTS.
PRESERVE EXISTING PARKING AREA AND PROVIDE ADDITIONAL PARKING, IF POSSIBLE.

FLORIDA BUILDING CODE	2020, 7TH EDITION
FLORIDA MECHANICAL CODE	2020, 7TH EDITION
FLORIDA PLUMBING CODE	2020, 7TH EDITION
FLORIDA EXISTING BUILDING CODE	2020, 7TH EDITION
FLORIDA ELECTRICAL CODE	2020, 7TH EDITION
NATIONAL ELECTRICAL CODE, FL EDITION	2017
NFPA 701 LIFE SAFETY CODE, FL EDITION	2018
NFPA 11 FIRE SAFETY CODE, FL EDITION	2018



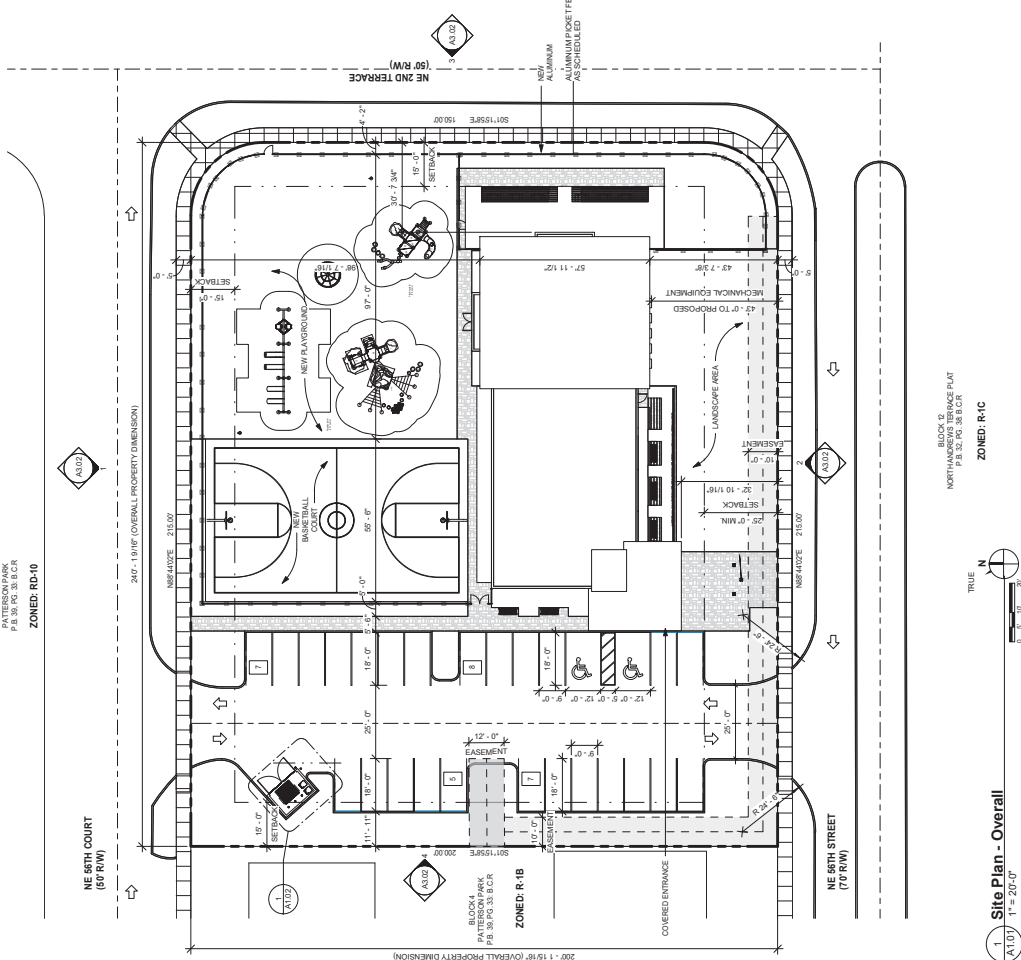
LOTS 1, 2, 3, 26, 27 AND 28 IN BLOCK 4 OF PATTERSON PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 39, AT PAGE 33, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PROPERTY BEING LOCATED IN BROWARD COUNTY, FLORIDA.

SAID LANDS LYING IN THE CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA AND CONTAINING 1.10 ACRES MORE OR LESS.

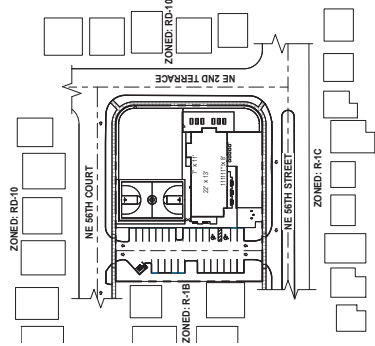
CPTED

THE FOLLOWING ITEMS WILL BE PROVIDED TO MEET THE CPTED REQUIREMENTS OF THE PROJECT:

1. THE ENTRANCE AND DOORWAY TO THE TRESPASSING AREA WILL BE POSTED IN THE MIDDLE OF THE DAY WITH A "NO TRESPASSING" SIGN.
2. AT ALL OUTPOSTS, EAST AND WEST SIDES OF THE PROPERTY, THERE WILL BE A "NO TRESPASSING" SIGN.
3. LANDSCAPE MAINTENANCE WILL BE MAINTAINED THOUGH AND TOPICALLY MAINTAINED TO PREVENT ANYONE FROM ENTERING THE PROPERTY.
4. THE PROPERTY WILL BE MAINTAINED AND MONITORED FOR ANY CRIMINAL ACTIVITY.
5. LIGHTING OF STAIRWAYS, TARMER AND MACAL ROAD LIGHTS WILL BE PROVIDED TO PREVENT ANYONE FROM ENTERING THE PROPERTY.
6. THE PROPERTY WILL BE MAINTAINED AND TOPICALLY MAINTAINED TO PREVENT ANYONE FROM ENTERING THE PROPERTY.
7. THE PROPERTY WILL BE MAINTAINED AND TOPICALLY MAINTAINED TO PREVENT ANYONE FROM ENTERING THE PROPERTY.
8. THE PROPERTY WILL BE MAINTAINED AND TOPICALLY MAINTAINED TO PREVENT ANYONE FROM ENTERING THE PROPERTY.
9. THE PROPERTY WILL BE MAINTAINED AND TOPICALLY MAINTAINED TO PREVENT ANYONE FROM ENTERING THE PROPERTY.
10. THE PROPERTY WILL BE MAINTAINED AND TOPICALLY MAINTAINED TO PREVENT ANYONE FROM ENTERING THE PROPERTY.
11. THE PROPERTY WILL BE MAINTAINED AND TOPICALLY MAINTAINED TO PREVENT ANYONE FROM ENTERING THE PROPERTY.



1
A1.01



2
A1.01

BUILDING DATA		TYPE V6 (SPRINKLERED)	
OCCUPANCY CLASSIFICATION: ASSEMBLY (A-3)		CODE MAX.	PROPOSED:
TYPE OF CONSTRUCTION:		70	2007 (A-NAD)
HEIGHT:			
BUILDING SQUARE FOOTAGE:		46,000 SF PER FLOOR PER	5,000 SF (A-3)
AREAS V6 (A-3)		FLOOR PER	
AREAS V6 (A-3)		FIBC TABLE 004.2	
BUILDING TOTAL SQ. FT.		3	5,000 SF
NUMBER OF STORIES:			#

SITE DATA

THE PROPERTY IS A 100' EXISTING NON-CORNERING STRUCTURE WITHIN THE C-4 DISTRICT AS ANNEKED INTO THE CITY OF OAKLAND PARK FROM UNINCORPORATED BROWARD COUNTY. CURRENTLY ZONED AS R2-10; DUPLEX AND ATTACHED SINGLE FAMILY DWELLING. A RE-ZONING HAS BEEN ADVISED BY THE CITY AND IS PROPOSED HEREIN.

LAND USE
ZONING CLASSIFICATIONS
TOTAL SITE AREA
FLOOD ONE-VENUE

05 COMMUNITY FACILITIES
05 COMMUNITY FACILITIES
47,797 SF (1.10 ACRES)

BASED ON COMMUNITY FACILITIES (REZONED)

	REQUIRED	NEW CONST. BUILDS
LOT AREA:	N/A	41,797 SF
LOT WIDTH:	N/A	~200 FT
IMPERVIOUS AREA:	N/A	21,013SF (45%)
PERVIOUS AREA:	30%	20,168SF (55%)
LOT COVERAGE:	N/A	5.926SF (12.5%)

FRONT YARD	25 FEET	32.47 FEET
STREET SIDE YARD SETBACK	15 FEET	15 FEET
REAR SIDE YARD SETBACK	5 FEET	75.52 FEET
HEIGHT MAXIMUM	50 FEET	20 FEET
PARKING:	1000 INTERCROSS SF 20 SPACES REQUIRED (COMPACTED CENTER)	16,500 SFT TOTAL 16,500 SFT COVERED 25 STANDARD 24 MINICAP
VEHICULAR USE AREA	9937 SF	20% OF SITE

SITE CALCULATIONS		
Name	Area	Comments
BASEBALL COURT	1,026 SF	PERVIOUS
BUILDING	580 SF	IMPERVIOUS
PARKING	1,027 SF	IMPERVIOUS
IMPERVIOUS	2,123 SF	
COVERED PICK-UP AREA	464 SF	PERVIOUS
LANDSCAPE	10,111 SF	PERVIOUS
PLAY AREA	10,042 SF	PERVIOUS
WALKWAY	808 SF	PERVIOUS
DRIVEWAY	4,779 SF	PERVIOUS
DRIVEWAY	4,779 SF	PERVIOUS

REVISIONS	
NUM.	DESCRIPTION DATE

osé Aguila

PROJECT TITLE
NORTH ANDREWS
GARDENS
COMMUNITY
CENTER

250 NE 56 COURT
OAKLAND PARK FL 33334



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SITE PLAN

DATE	DRAWN BY
01-28-21	YSD, JTF
JOB NUMBER	
200101	

A1.01

FIRE ALARM
FIRE PROTECTION, FIRE ALARM, AND SPRINKLER SYSTEMS DESIGN ARE ANTICIPATED AND WILL BE SUBMITTED TO THE BUILDING DEPARTMENT AS THE PROJECT ENTERS THE BUILDING DESIGN PHASES.

LEED
ALTHOUGH THIS PROJECT WILL NOT BE PURSUING LEED CERTIFICATION, ALL DESIGN DECISIONS WILL CHOOSE THE BEST LEED PRINCIPLES WHEREVER POSSIBLE.



**CURRIE
SOWARDS
AGUILAS**
Architects, Planning,
Sustainable Design
AA26001584
185 NE 47th AVENUE, SUITE 101
FORT LAUDERDALE, FL 33309
TEL: (954) 274-4901 FAX: (954) 242-8184
E-MAIL: office@csa-architects.com

ISSUED FOR:
DRC
SFA
BIDS
PERMIT
CONSTRUCTION
SEAL

José
Digitally signed by José Aguilas
DN: cn=José Aguilas, o=Currie Sowards Aguilas Architects, ou=Currie Sowards Aguilas Architects, email=jaguilas@csa-architects.com, c=US
2021.03.16 09:18:55 -0400

**NORTH ANDREWS
GARDENS
COMMUNITY
CENTER**

350 NE 56 COURT
OAKLAND PARK, FL 33334

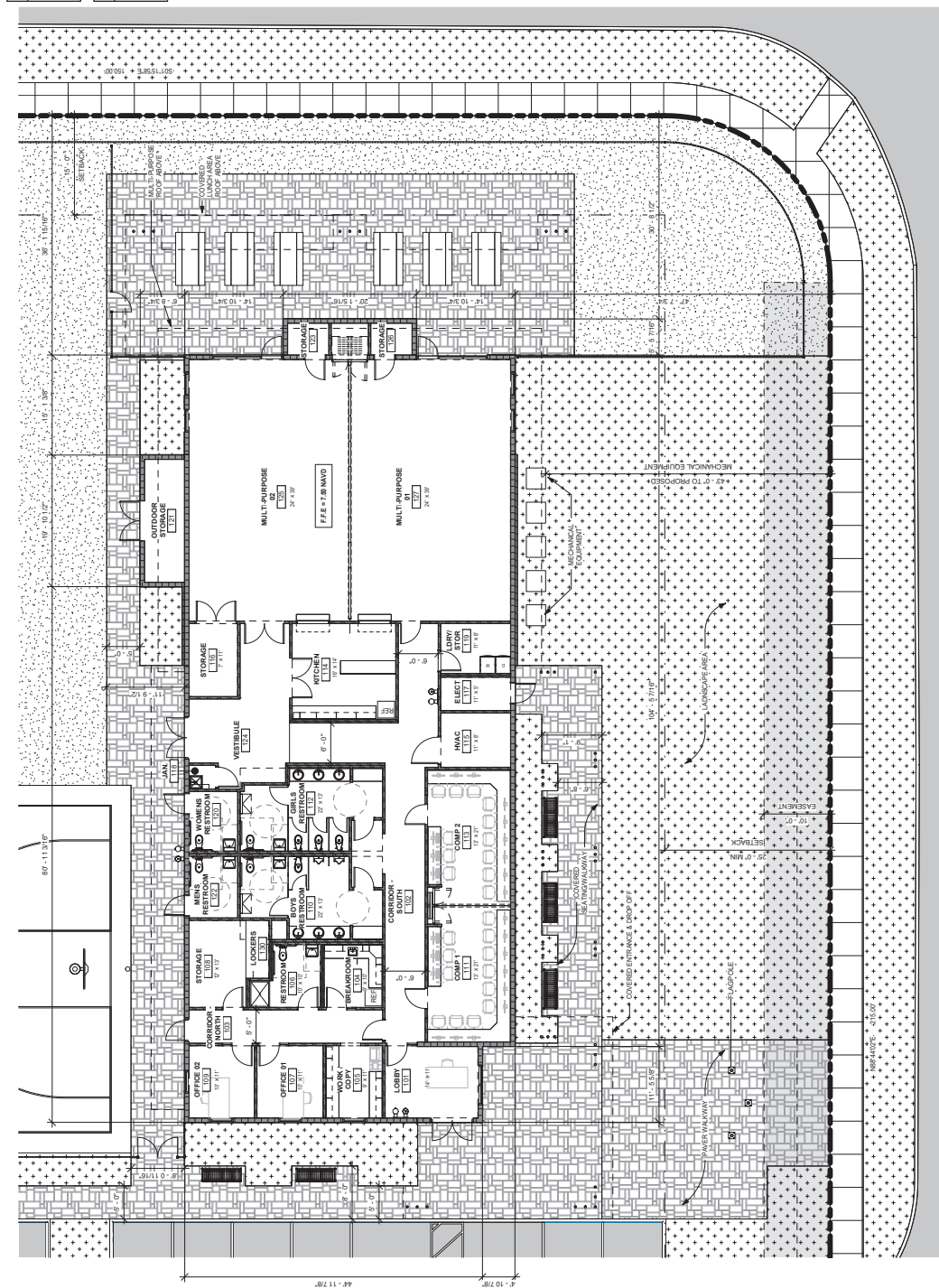
REVISIONS	DATE	DESCRIPTION
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THESE DRAWINGS ARE PREPARED BY CURRIE SOWARDS AGUILAS ARCHITECTS, INC. FOR THE ARCHITECT AND ENGINEER. THEY ARE NOT INTENDED TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S AND ENGINEER'S CONSENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING ALL UTILITIES.

**OVERALL FLOOR
PLAN**

SCALE: 1/8" = 1'-0"
01-28-21 YSD, JIF
200101
WORKING NUMBER

A2.01



Level 01 - Overall Plan
1/8" = 1'-0"
N
TRUE

[illegible]

_____ SUBS FOR :

RC	
A	
DS	
PERMIT	
CONSTRUCTION	
REAL	

Digitally signed
by José Aguila
Date: 2021.03.16
09:19:28 -04'00'

PROJECT TITLE
NORTH ANDREWS
GARDENS
COMMUNITY
CENTER

50 NE 56 COURT
OAKLAND PARK, FL 33334

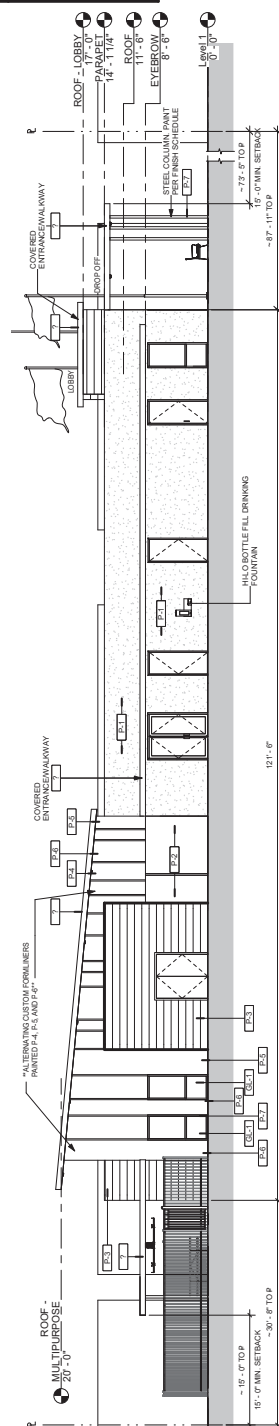
REVISIONS		DATE
NUM.	DESCRIPTION	

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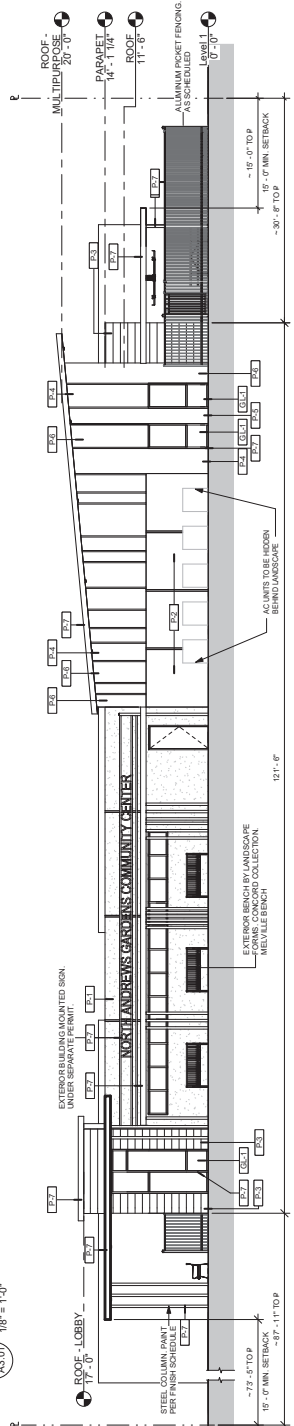
DRAWING TITLE
EXTERIOR
ELEVATIONS

DATE 1-28-21 DRAWN BY YSD, JTF
JOB NUMBER 000101
DRAWING NUMBER 0

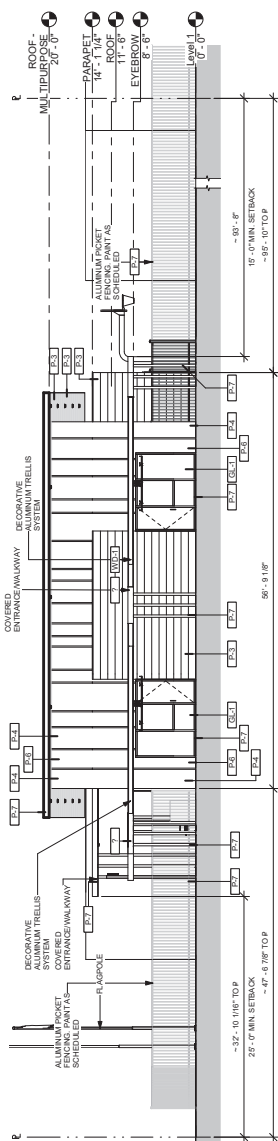
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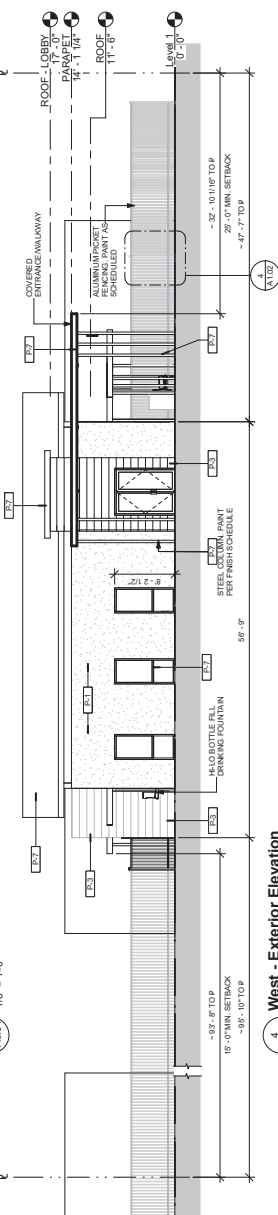
1 North - Exterior Elevation



2
A3.01



3
A3.01 East - Exterior Elevation $1/8" = 1'-0"$



4
A3.01
West - Exterior Elevation
1/8" = 1'-0"



01-28-21 DEVELOPMENT APPLICATION PACKAGE

DATE	01-28-21	DRAWN BY	YSD, JIF
TOTAL SHEETS	200101		
DRAWING NUMBER			

R1

RENDERINGS

DRAWING TITLE

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REVISIONS

250 NE 54 COURT
OAKLAND PARK, FL 33334

NORTH ANDREWS
GARDENS
COMMUNITY
CENTER

PROJECT FILE

Date: 2021.03.16
091959-04'00'

Digitally signed by José Aguilá

SEAL

CONSTRUCTION

PERMIT

BIDS

SFA

DRC

185 NE 47th AVENUE, SUITE 101
OAKLAND PARK, FL 33334
TEL: 954.274.4901 F: 954.243.8184
E-MAIL: office@csa-architects.com

AA35001584

Sustainable Design

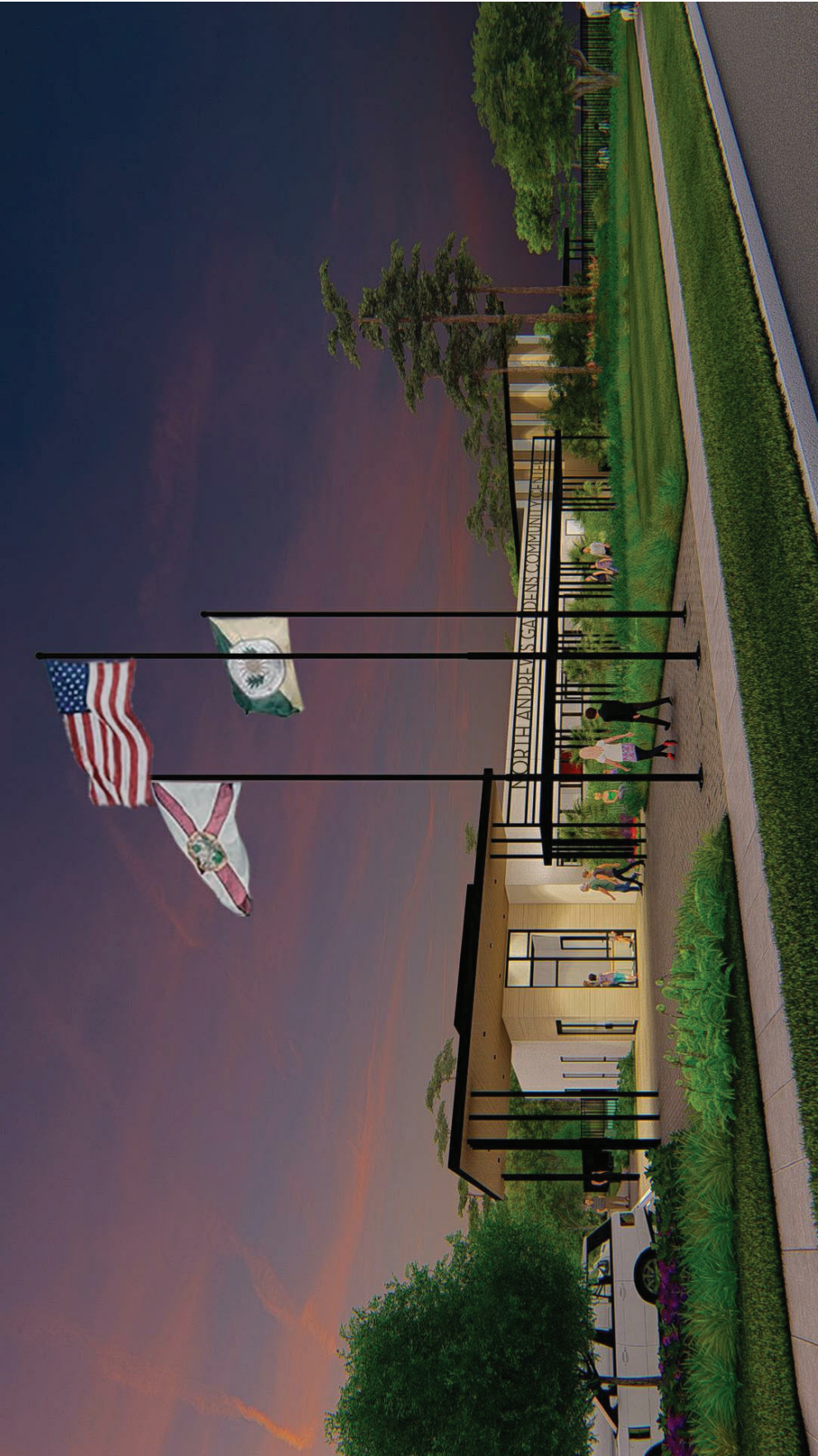
Architecture, Planning,

AGUILA

SOWARDS

CURRIE

ARCHITECTS



01-28-21 DEVELOPMENT APPLICATION PACKAGE

DRAWING TITLE		REVISIONS
RENDERINGS		
DATE	01-28-21	DESIGNED BY
DESIGNED BY	YSD, JIF	
DATE	200101	
REVISION NUMBER		

R3

THESE DRAWINGS ARE PREPARED FOR THE ARCHITECT AND ENGINEER'S USE ONLY. THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT AND ENGINEER'S FIRM DOES NOT ASSUME ANY LIABILITY FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE SITE. THE ARCHITECT AND ENGINEER'S FIRM DOES NOT ASSUME ANY LIABILITY FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE SITE.

250 NE 54 COURT
OAKLAND PARK, FL 33334

PROJECT TITLE
NORTH ANDREWS
GARDENS
COMMUNITY
CENTER

Digitally signed
by José Aguilá
Date: 2021.03.16
09:20:39 -04'00'

PROJECT TITLE

SEAL

CONSTRUCTION

PERMIT

BIDS

SFA

DRC

TRUSTED FOR

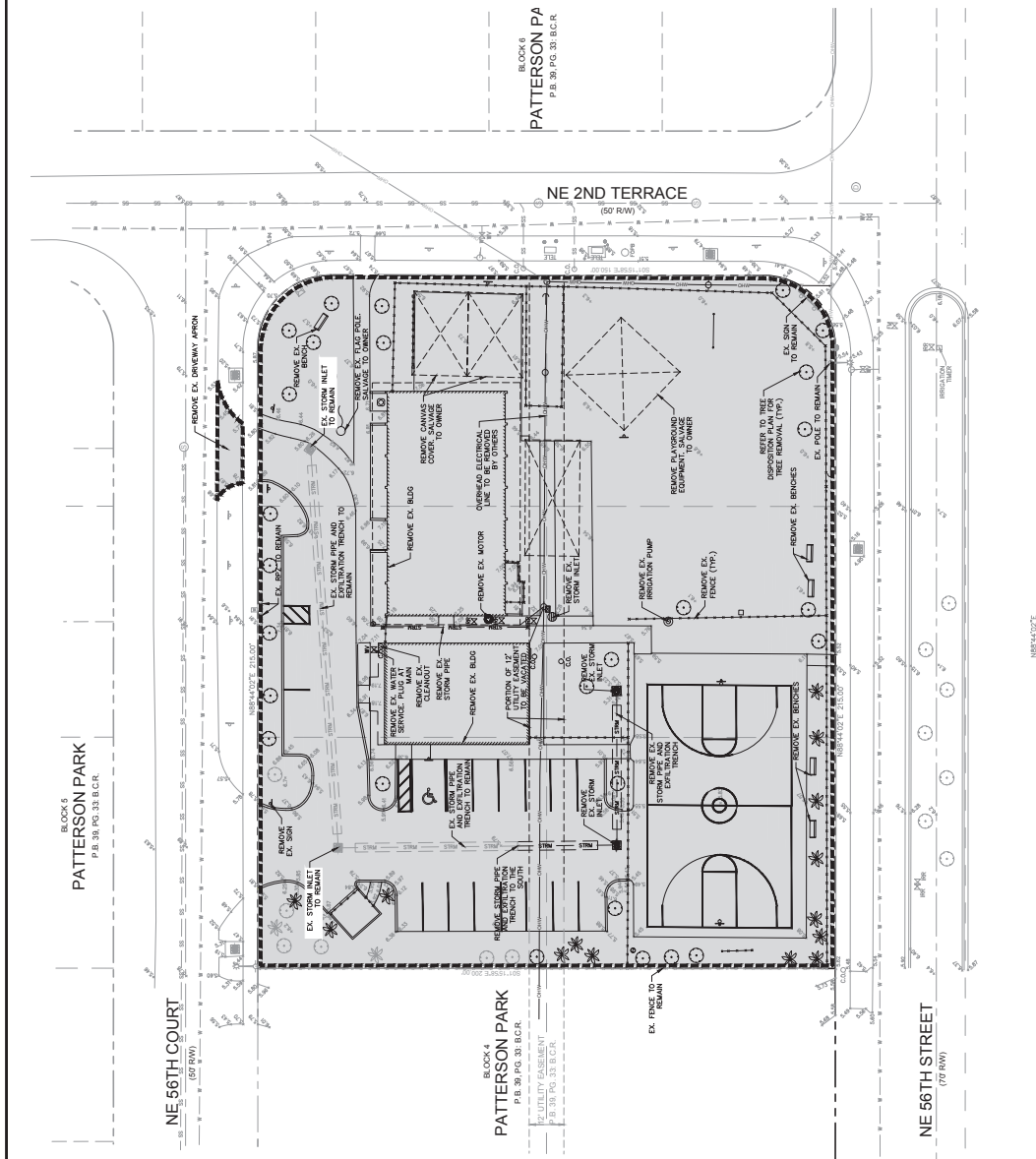
AA35001584

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TEL: (954) 274-4901 F: (954) 243-8184
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Currie Sowards Aguilá Architects
Architecture, Planning,
Interior Design
Sustainable Design

CURRIE
SOWARDS
AGUILA
architects





PLANS ARE IN NAVD 1988 DATUM
CONVERSION EQUATION IS BELOW:
(NAVD 1988) + 1.45' = (NGVD 1929)

PRESENCE OF GROUNDWATER SHOULD BE
CIPATED. CONTRACTOR'S BID SHALL
UDE CONSIDERATION FOR ADDRESSING THIS
E AND OBTAINING ALL NECESSARY PERMITS.

Sunshine 811.com

SHEET NUMBER
C-200

H ANDREWS CC
PREPARED FOR
F OAKLAND PARK
FL

DEMOLITION PLAN

DATE	144467007
ER	DATE JAN. 2021
	SCALE AS SHOWN
	DESIGNED BY LM
	DRAWN BY LM
	CHECKED BY ESC



Kimley»Horn

[illegible]

LEGEND

- [illegible]

DEMOLITION NOTES

- [illegible]

BLOCK 6
PATTERSON PA
P.B. 39, PG. 33; B.C.R.

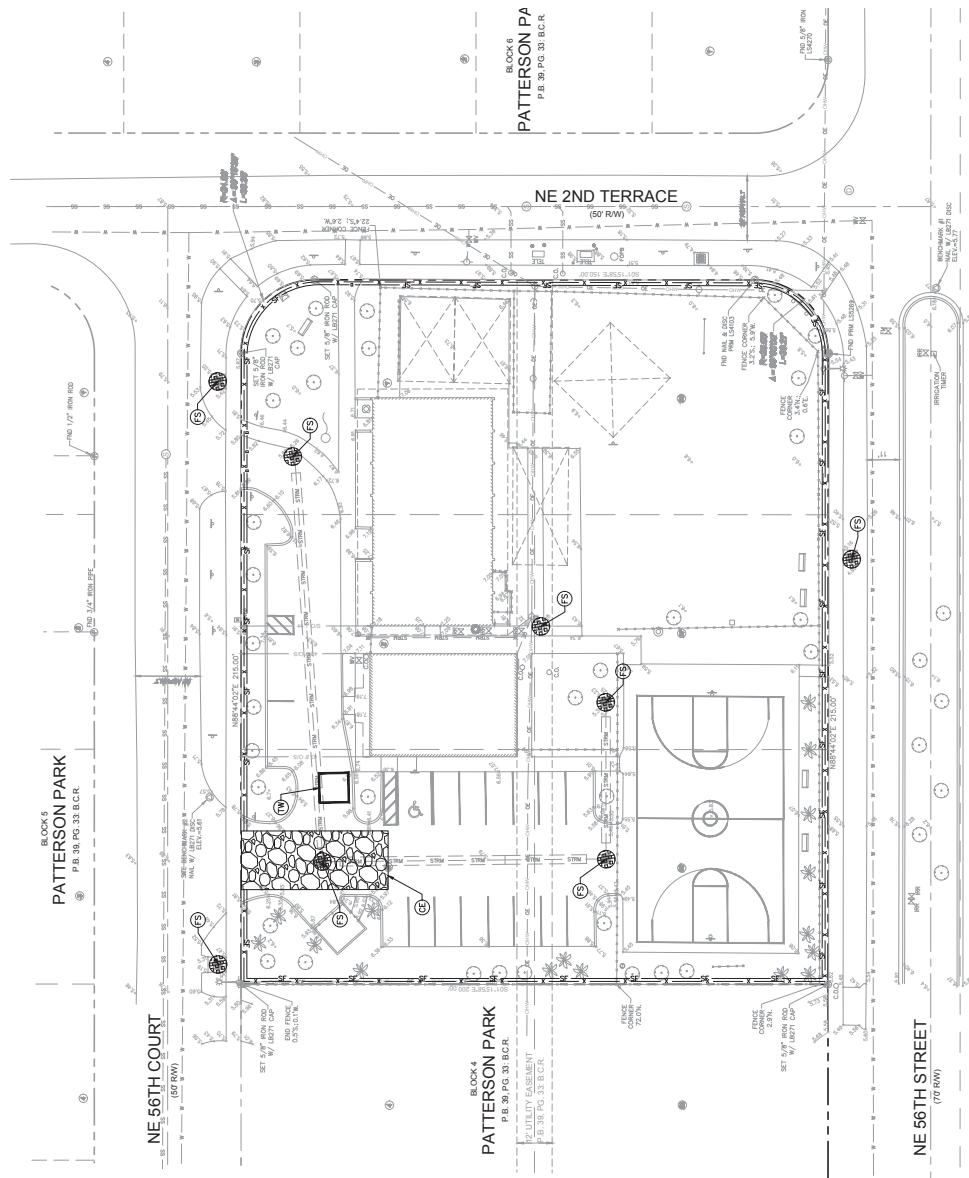
NE 2ND TERRACE
(50' R/W)

PATTERSON PARK
BLOCK 5
P.B. 39, PG. 32, B.C.R.

NE 56TH COURT
(50' RW)

BLOCK 4
PATTERSON PARK
P.B. 39, PG. 33; B.C.R.

NE 56TH STREET
(7th RAY)



EROSION CONTROL NOTES

- [illegible]

PHASING NOTES

1. CONTRACTOR SHALL ADJUST AND PHASE EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH SITE CONSTRUCTION PHASING.
2. CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION AREA IS SEPARATED FROM THE AREA NOT UNDER CONSTRUCTION WITH A TEMPORARY CHAIN LINK FENCE AND ENSURE THE SAFETY OF THE PUBLIC.

MAINTENANCE (ALL PHASES)

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED TO FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES WHETHER TEMPORARY OR PERMANENT, SHALL BE MAINTAINED TO FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED WORK OR FINAL STABILIZATION OF THE SITE. ALL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/PRIMA PERMITEE. THESE MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON WITH A MINIMUM OF 5 YEARS EXPERIENCE WITH EROSION CONTROL MEASURES ON THE APPLICABLE PERMIT, WHOEVER IS MORE EXPERIENCED AND PREPARED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR ALL SIDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED. CONCRETE IF DAMAGED, SEDIMENT SHALL BE REMOVED FROM THE SALT FLAT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION. THE CONSTRUCTION SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACING OR FLOW OF MUD ONTO PUBLIC ROADS—OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND. THE TEMPORARY PAVING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PAVING AND STORAGE).

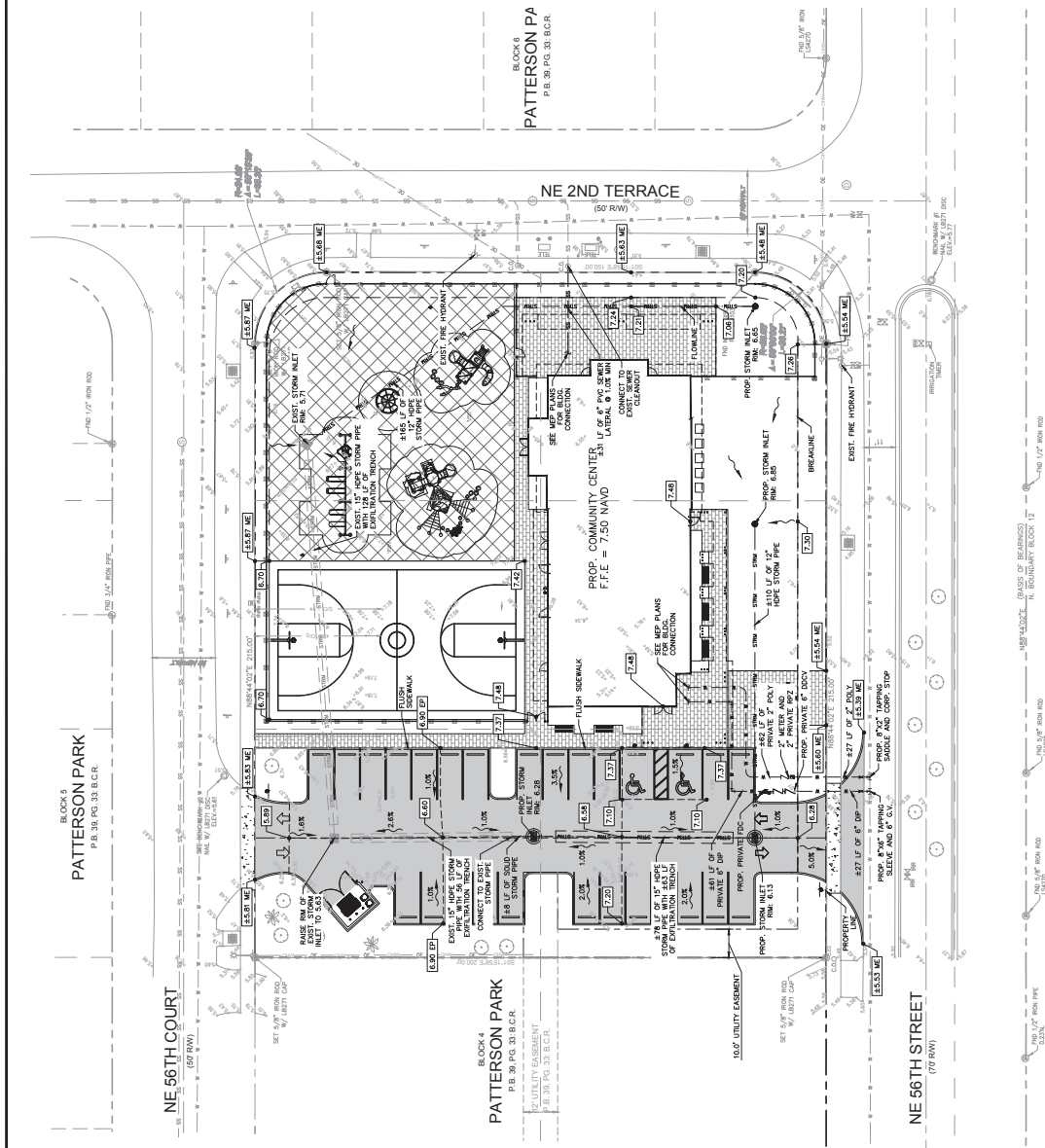
NOTES

1. CONTRACTOR TO CONSIDER POTENTIAL DEWATERING ACTIVITIES WHEN PREPARING BID DOCUMENTS FOR THIS PROJECT.
2. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
3. CONTRACTOR TO USE B.U.P.'S TO ENSURE COMPLIANCE WITH WIPES AND WATER MANAGEMENT DISTRICT REGULATIONS CONCERNING DRAINAGE CONTROL ACTIVITIES. CONTRACTOR SHALL PREPARE AND SUBMIT A DRAINAGE ESCAPEMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

PLANS ARE IN NAVD 1988 DATUM
CONVERSION EQUATION IS BELOW:
(NAVD 1988) + 1.45' = (NGVD 1929)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS

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PAVING, GRADING AND DRAINAGE NOTES

- [illegible]

LEGEND

-
- PROPERTY LINE
PROPOSED STORM AREA INLET
EXISTING STORM AREA INLET
EXISTING STORM PIPE
PROPOSED STORM AREA INLET
EXISTING STORM PIPE
SANITARY FORCE MAIN PIPE
WATER PIPE
FRESH WATER PIPE
FIRE HYDRANT
ELECTRICAL LINE
GAS LINE
UNITS
EXISTING GRADE BREAKLINE
PROPOSED GRADE BREAKLINE
PROPOSED SLOPE
EXISTING SLOPE
EXISTING ELEVATION
EXISTING ELEVATION
FLOW ARROW
PROPOSED PAINTS, SEE ARCHITECT PLANS
PROPOSED PLASTERED AREA
EXISTING PLASTERED AREA
EXISTING CONCRETE, SLOPE
EXISTING CONCRETE, SLOPE



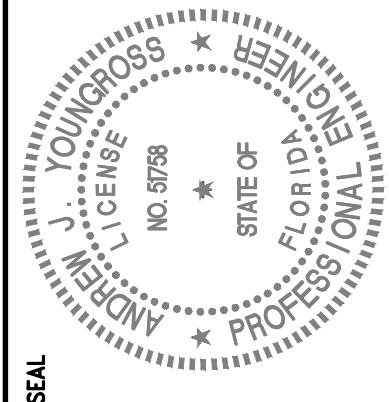
ISSUED FOR :

BIDS

PERM

CONSTRUCTION

SEAL



PROJECT TITLE
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250 NE 56 COURT
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NUM.	DESCRIPTION	DATE

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DRAWING TITLE

SITE PLAN PHOTOMETRIC

DRAWN BY	TYEC
DATE	12/18/20
JOB NUMBER	200101/20066
DRAWING NUMBER	

ES1.1

01-28-2021 DEVELOPMENT PERMIT APPLICATION



THOMPSON & YOUNGROSS ENGINEERING CONSULTANTS, LLC

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY
WITH THE MINIMUM APPLICABLE BUILDING CODE.

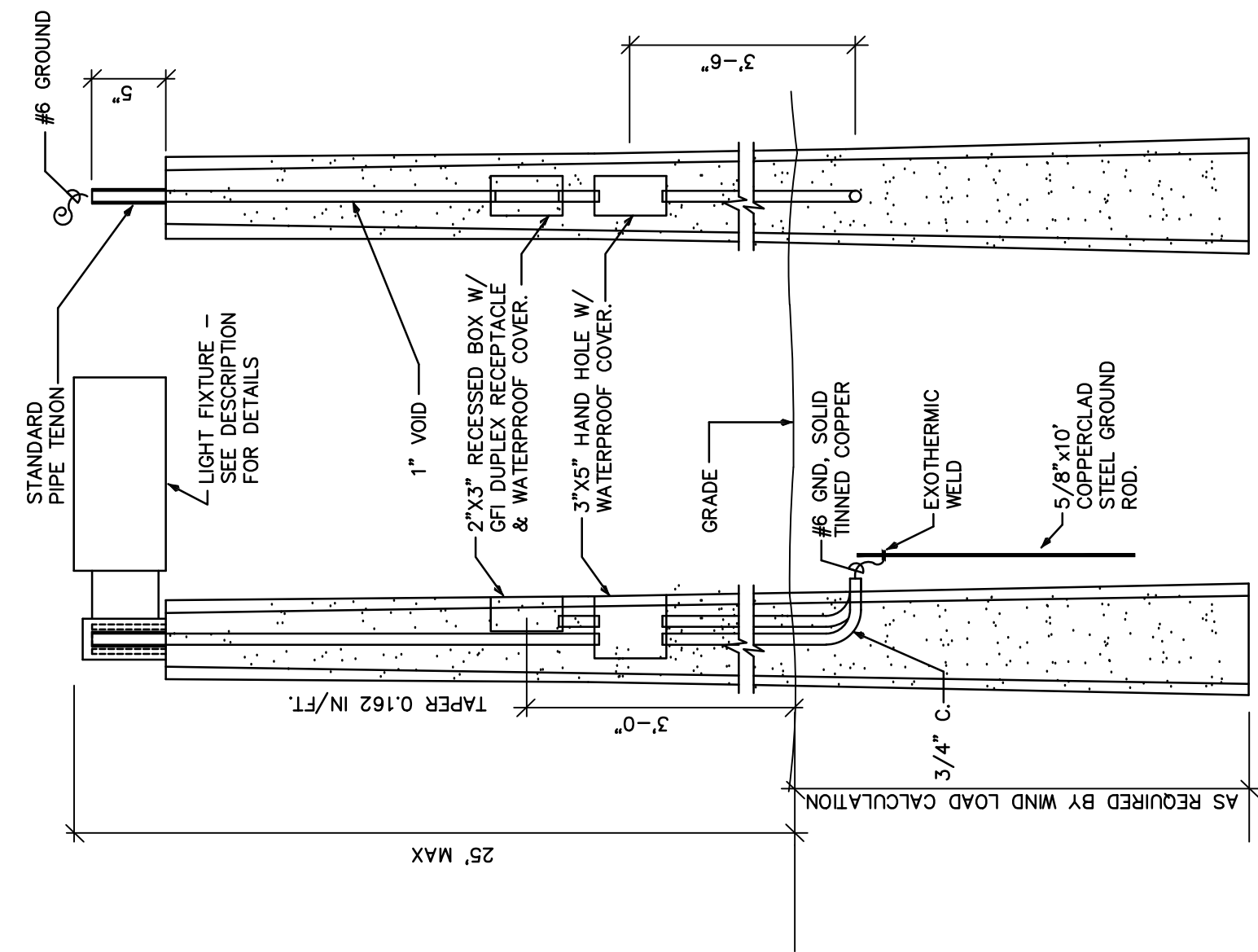
CERTIFICATE OF AUTHORIZATION NO. 255986

902 Clint Moore Road, Suite 142
Boca Raton, Florida 33487
TEL 561-274-0200
FAX 561-274-0222
WAX 561-274-0244

**HVAC
PLUMBING
ELECTRICAL**

PHOTOMETRIC NOTE:

THE PHOTOMETRICS SHOWN ARE BASED ON LIGHT FIXTURES INDICATED ON LUMINAIRE SCHEDULE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIXTURES INDICATED. IF THE CONTRACTOR SUBSTITUTES FIXTURES, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POINT-BY-POINT CALCULATIONS FOR FIXTURES BEING SUBMITTED FOR APPROVAL.



NOTES:¹
SITE LIGHTING TO BE PER THE LIGHTING FIXTURE SCHEDULE. LED MULTIPLE DISTRIBUTION SHAPES WILL BE ALLOWED TO MEET FOOTCANDLE REQUIREMENTS USING SEGMENTED OPTICS. (APPROVED EQUIVALENTS TO BE ACCEPTED)

THE POLE SUPPLIER SHALL CERTIFY THAT POLE WITH FIXTURE AS SPECIFIED WILL MEET
CURRENT WIND LOAD CRITERIA. PROVIDE SIGNED & SEALED CALCULATIONS BY A
REGISTERED FLORIDA ENGINEER

TYPE 1 CONCRETE DIRECT BURIAL

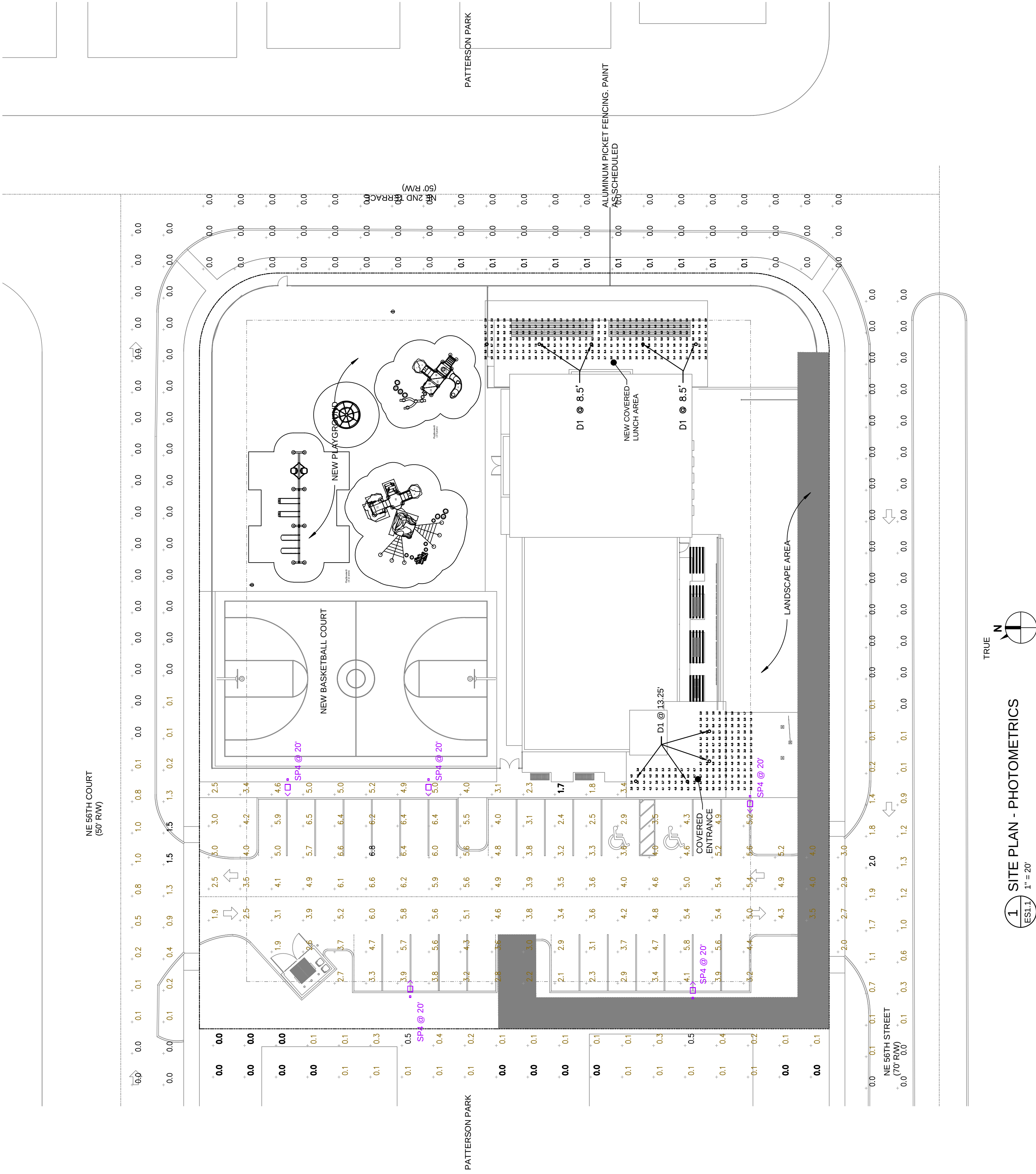
POLE DETAIL

NOT TO SCALE

Statistics		Symbol	Avg	Max	Min	Max/Min	Avg/Min
Covered Seating	+	4.7	6.5	2.0	4.8:1	2.4:1	
East Aisle	+	0.0	0.1	0.0	0.0	N/A	N/A
Front Area	+	4.5	7.1	1.3	5.5:1	3.5:1	
NORTH PROP LINE	+	0.2	1.5	0.0	N/A	N/A	N/A
PARKING	+	4.2	6.8	1.7	4.0:1	2.5:1	
SOUTH PROP LINE	+	0.3	1.2	0.0	N/A	N/A	N/A
West Property Line	+	0.1	0.5	0.0	0.0	N/A	N/A

Luminaire Locations										Aim		
Location												
No	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z		
1	D1	132.09	138.39	13.25	13.25	0.00	0.00	132.09	138.39	0.00		
2	D1	132.58	122.99	13.25	13.25	0.00	0.00	132.58	122.99	0.00		
3	D1	132.58	122.99	13.25	13.25	0.00	0.00	132.58	122.99	0.00		
4	D1	139.05	138.39	13.25	13.25	0.00	0.00	139.05	138.39	0.00		
5	D1	139.05	138.39	13.25	13.25	0.00	0.00	139.05	138.39	0.00		
20	D1	271.54	138.28	8.50	8.50	0.00	0.00	271.54	138.28	0.00		
21	D1	271.54	138.28	8.50	8.50	0.00	0.00	271.54	138.28	0.00		
22	D1	271.54	138.28	8.50	8.50	0.00	0.00	271.54	138.28	0.00		
23	D1	271.54	138.28	8.50	8.50	0.00	0.00	271.54	138.28	0.00		
24	D1	271.54	138.28	8.50	8.50	0.00	0.00	271.54	138.28	0.00		
25	D1	271.54	138.28	8.50	8.50	0.00	0.00	271.54	138.28	0.00		
1	S94	63.80	121.17	8.50	8.50	0.00	0.00	65.01	121.17	0.00		
2	S94	133.93	265.27	20.00	20.00	270.00	0.00	133.99	265.27	0.00		
3	S94	127.95	103.07	20.00	20.00	270.00	0.00	126.74	103.07	0.00		
4	S94	133.93	265.03	20.00	20.00	270.00	0.00	133.99	265.03	0.00		
5	S94	64.26	211.10	20.00	20.00	270.00	0.00	65.46	211.10	0.00		

Schedule									
Symbole	Lampid	QTY	Manufacturer	Catalog Number	Lamp	Fluorence	Lumens per Lamp	Life Waiteage	Description
D1	9	Kenall	MPC3E1-PP-MW-20L4K+ DCC-DV	MPC3E1-PP-MW-20L4K+ DCC-DV	LED QTY: 72	72	30	23.56	M813FD
SP4	5	Lincome Lighting		DSX4 LED 60C 1000 40K 12M INCL TIS WA	LED	1	140LG	208.96	DSX4 LED WITH 30° BROAD BEAM TYPE 1000MA WITH HOUSE TAN OPTIC .400K @ 12M INCL TIS WA ARM MOUNTING



NOTE:

THE PROPOSED LIGHTING SHOWN ON THE PLAN SHALL BE INSTALLED SO AS TO REFLECT THE LIGHT AWAY AND PREVENT GLARE OR EXCESSIVE LIGHT ON ANY ADJACENT PROPERTY.

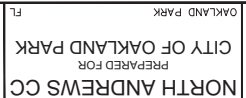
1 SITE PLAN - PHOTOMETRICS
ES1.1 1" = 20'

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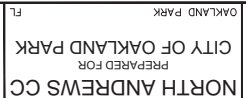
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SURVEYOR'S NOTES:

- THE SURVEY MAPS AND RECORDS PREPARED FOR THE EXCLUSIVE USE OF THE CITY OF CHICAGO ARE FOR THE EXPRESS PURPOSES STATED HEREIN AND CONTAINED IN THE CONTRACT WITH THE AGGREGATED RECORDS COMPANY, INC. ("ARCO") AND THE CITY OF CHICAGO ("CITY"). THE CITY OF CHICAGO HEREBY AGREES THAT ANY INFORMATION, INCLUDING BUT NOT LIMITED TO, THE CITY OF CHICAGO'S RECORDS, WHICH IT HAS INTENDED, WHICH IT HAS OBTAINED, OR WHICH IT HAS RECEIVED FROM ANY SOURCE, AND WITHOUT REGARD TO THE SOURCE, SHALL BE CONFIDENTIAL TO THE CITY OF CHICAGO AND SHALL NOT BE DISCLOSED TO ANYONE OTHER THAN THOSE INDIVIDUALLY IDENTIFIED.
- THE INTENT OF THIS SURVEY IS TO SHOW THE PROPERTY AND RIGHT OF ANY OWNERSHIP WITHIN AND OUTSIDE THE CITY OF CHICAGO. THE CITY OF CHICAGO HEREBY AGREES TO MAINTAIN THE INFORMATION RECORDED IN THIS SURVEY MAPS AND RECORDS FOR THE CITY OF CHICAGO'S USE AND FOR THE SUPERVISION OF THE PATTERSON PARK, LOT 300, P. 33, BROWARD COUNTY RECORD.
- THE HORIZONTAL BENCHMARKS SHOWN ARE POTTED TO WITHIN 1/100" OF THE MAY SCALE. HORIZONTAL BENCHMARKS SHOWN ARE POTTED TO WITHIN 1/100" OF THE MAY SCALE. HORIZONTAL BENCHMARKS SHOWN ARE POTTED TO WITHIN 1/100" OF THE MAY SCALE. HORIZONTAL BENCHMARKS SHOWN ARE POTTED TO WITHIN 1/100" OF THE MAY SCALE.
- THIS SURVEY MAPS AND RECORDS VERTICAL AND HORIZONTAL SCALING REQUIREMENTS AS SET FORTH IN CHAPTER 16-17.1 (A.C.).
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH, THEREFORE NOT TO PURSUE THE EASMENTS, EASEMENTS, RIGHTS OF WAY, AND OTHER INTERESTS NOT RECORDED TO THIS SURVEY. THE SURVEY IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED. THE SURVEY IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED TRUE NORTH AND REFERENCED TO THE NORTH ARROW SHOWN HEREON. THE SURVEY MAPS AND RECORDS VERTICAL AND HORIZONTAL SCALING REQUIREMENTS AS SET FORTH IN CHAPTER 16-17.1 (A.C.).
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH ARROW SHOWN HEREON. THE SURVEY MAPS AND RECORDS VERTICAL AND HORIZONTAL SCALING REQUIREMENTS AS SET FORTH IN CHAPTER 16-17.1 (A.C.).
- REFERENCED TO CITY OF CHICAGO BENCHMARKS "B1711", "B1712", "B1713", "B1714", "B1715", "B1716", "B1717", "B1718", "B1719", "B1720", "B1721", "B1722", "B1723", "B1724", "B1725", "B1726", "B1727", "B1728", "B1729", "B1730", "B1731", "B1732", "B1733", "B1734", "B1735", "B1736", "B1737", "B1738", "B1739", "B1740", "B1741", "B1742", "B1743", "B1744", "B1745", "B1746", "B1747", "B1748", "B1749", "B1750", "B1751", "B1752", "B1753", "B1754", "B1755", "B1756", "B1757", "B1758", "B1759", "B1760", "B1761", "B1762", "B1763", "B1764", "B1765", "B1766", "B1767", "B1768", "B1769", "B1770", "B1771", "B1772", "B1773", "B1774", "B1775", "B1776", "B1777", "B1778", "B1779", "B1780", "B1781", "B1782", "B1783", "B1784", "B1785", "B1786", "B1787", "B1788", "B1789", "B1790", "B1791", "B1792", "B1793", "B1794", "B1795", "B1796", "B1797", "B1798", "B1799", "B1800", "B1801", "B1802", "B1803", "B1804", "B1805", "B1806", "B1807", "B1808", "B1809", "B1810", "B1811", "B1812", "B1813", "B1814", "B1815", "B1816", "B1817", "B1818", "B1819", "B1820", "B1821", "B1822", "B1823", "B1824", "B1825", "B1826", "B1827", "B1828", "B1829", "B1830", "B1831", "B1832", "B1833", "B1834", "B1835", "B1836", "B1837", "B1838", "B1839", "B1840", "B1841", "B1842", "B1843", "B1844", "B1845", "B1846", "B1847", "B1848", "B1849", "B1850", "B1851", "B1852", "B1853", "B1854", "B1855", "B1856", "B1857", "B1858", "B1859", "B1860", "B1861", "B1862", "B1863", "B1864", "B1865", "B1866", "B1867", "B1868", "B1869", "B1870", "B1871", "B1872", "B1873", "B1874", "B1875", "B1876", "B1877", "B1878", "B1879", "B1880", "B1881", "B1882", "B1883", "B1884", "B1885", "B1886", "B1887", "B1888", "B1889", "B1890", "B1891", "B1892", "B1893", "B1894", "B1895", "B1896", "B1897", "B1898", "B1899", "B1900", "B1901", "B1902", "B1903", "B1904", "B1905", "B1906", "B1907", "B1908", "B1909", "B1910", "B1911", "B1912", "B1913", "B1914", "B1915", "B1916", "B1917", "B1918", "B1919", "B1920", "B1921", "B1922", "B1923", "B1924", "B1925", "B1926", "B1927", "B1928", "B1929", "B1930", "B1931", "B1932", "B1933", "B1934", "B1935", "B1936", "B1937", "B1938", "B1939", "B1940", "B1941", "B1942", "B1943", "B1944", "B1945", "B1946", "B1947", "B1948", "B1949", "B1950", "B1951", "B1952", "B1953", "B1954", "B1955", "B1956", "B1957", "B1958", "B1959", "B1960", "B1961", "B1962", "B1963", "B1964", "B1965", "B1966", "B1967", "B1968", "B1969", "B1970", "B1971", "B1972", "B1973", "B1974", "B1975", "B1976", "B1977", "B1978", "B1979", "B1980", "B1981", "B1982", "B1983", "B1984", "B1985", "B1986", "B1987", "B1988", "B1989", "B1990", "B1991", "B1992", "B1993", "B1994", "B1995", "B1996", "B1997", "B1998", "B1999", "B2000", "B2001", "B2002", "B2003", "B2004", "B2005", "B2006", "B2007", "B2008", "B2009", "B2010", "B2011", "B2012", "B2013", "B2014", "B2015", "B2016", "B2017", "B2018", "B2019", "B2020", "B2021", "B2022", "B2023", "B2024", "B2025", "B2026", "B2027", "B2028", "B2029", "B2030", "B2031", "B2032", "B2033", "B2034", "B2035", "B2036", "B2037", "B2038", "B2039", "B2040", "B2041", "B2042", "B2043", "B2044", "B2045", "B2046", "B2047", "B2048", "B2049", "B2050", "B2051", "B2052", "B2053", "B2054", "B2055", "B2056", "B2057", "B2058", "B2059", "B2060", "B2061", "B2062", "B2063", "B2064", "B2065", "B2066", "B2067", "B2068", "B2069", "B2070", "B2071", "B2072", "B2073", "B2074", "B2075", "B2076", "B2077", "B2078", "B2079", "B2080", "B2081", "B2082", "B2083", "B2084", "B2085", "B2086", "B2087", "B2088", "B2089", "B2090", "B2091", "B2092", "B2093", "B2094", "B2095", "B2096", "B2097", "B2098", "B2099", "B2100", "B2101", "B2102", "B2103", "B2104", "B2105", "B2106", "B2107", "B2108", "B2109", "B2110", "B2111", "B2112", "B2113", "B2114", "B2115", "B2116", "B2117", "B2118", "B2119", "B2120", "B2121", "B2122", "B2123", "B2124", "B2125", "B2126", "B2127", "B2128", "B2129", "B2130", "B2131", "B2132", "B2133", "B2134", "B2135", "B2136", "B2137", "B2138", "B2139", "B2140", "B2141", "B2142", "B2143", "B2144", "B2145", "B2146", "B2147", "B2148", "B2149", "B2150", "B2151", "B2152", "B2153", "B2154", "B2155", "B2156", "B2157", "B2158", "B2159", "B2160", "B2161", "B2162", "B2163", "B2164", "B2165", "B2166", "B2167", "B2168", "B2169", "B2170", "B2171", "B2172", "B2173", "B2174", "B2175", "B2176", "B2177", "B2178", "B2179", "B2180", "B2181", "B2182", "B2183", "B2184", "B2185", "B2186", "B2187", "B2188", "B2189", "B2190", "B2191", "B2192", "B2193", "B2194", "B2195", "B2196", "B2197", "B2198", "B2199", "

NOTED.

TIN	SPECIES	DIAM	BUD HEIGHT			
			09m15P	09m12P	09m12S	09m12L
578	SARPA PALM	12"				
579	SARPA PALM	12"				
580	SARPA PALM	12"				
581	SARPA PALM	12"				
582	SARPA PALM	12"				
583	SARPA PALM	12"				
584	165579 PALM	4"				
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NORTH ANDREWS GARDENS COMMUNITY CENTER
250 N.E. 56th COURT
OAKLAND PARK, FLORIDA
PREPARED FOR:
City of Oakland Park
BOUNDARY & TOPOGRAPHIC SURVEY

SEAL
PROJECT NO.
19-0059-001-01

V-1
SHEET 1 OF 1

Digitally signed by
Raymond Young
Date: 2020.06.01



BRADEN THOMPSON & ASSOCIATES, INC.
LICENSED BUSINESS NUMBER #271

RAYMOND YOUNG - FOR THE FIRM

THE SKETCH OF SURVEY AND REPORT FOR THE COPIES THEREOF ARE NOT VALID WITHOUT THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

SURVEYOR'S CERTIFICATE:

NORTH ANDREWS
TERRACE PLAT

P.B. 32, P.G. 38; B.C.R.

WAS MADE ON THE GROUND, CONFORMS TO THE STANDARDS OF CHAPTER 5J-17, (FLORIDA ADMINISTRATIVE CODE) AS ADOPTED BY PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 1981, AS SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE DATE OF LAST FIELD WORK DECEMBER 18, 2019.