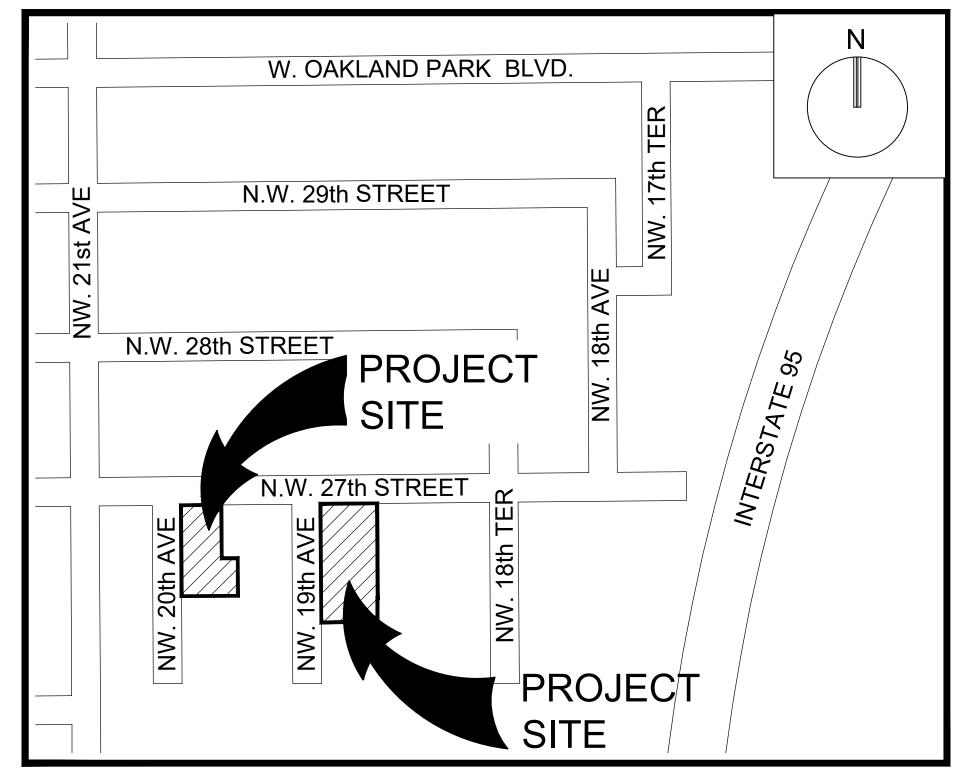


BCHA OAKLAND PARK 1900 AND 2000 BLOCK OF NW 27TH STREET

CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA



LOCATION MAP SECTION 28, TOWNSHIP 49 S, RANGE 42 E FOLIO #494228010150, 494228230010, 494228230050

PREPARED FOR: BARRANCO GONZALEZ ARCHITECTURE 1915 SOUTHEAST 4TH AVENUE, FORT LAUDERDALE, FL 33316

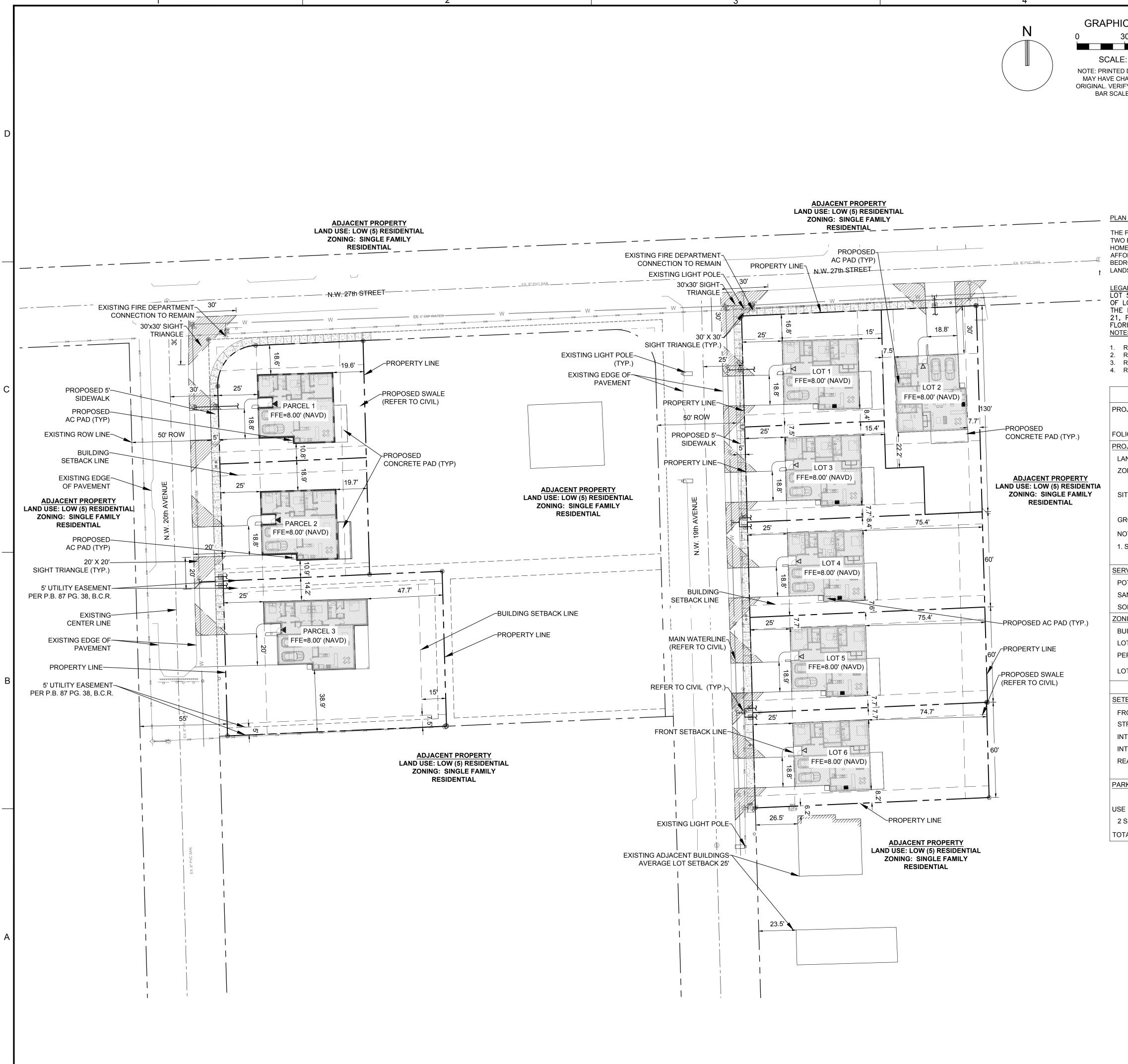
INDE	EX OF SHEETS
Sheet Identification	Sheet Title
GI-000	COVER
	SURVEY
	PLATS
	SITE PLANS
SP-101	SITE PLAN
SP-102	SITE PLAN DATA TABLE
	CIVIL PLANS
GI-002	LEGEND AND ABBREVIATIONS
GI-003	GENERAL CONSTRUCTION NOTES
GI-004	CONSTRUCTION SPECIFICATIONS
CG-101 TO CG-102	EROSION CONTROL PLAN
CD-101 TO CD-102	DEMOLITION PLAN
CP-101 TO CP-102	PAVING, GRADING & DRAINAGE PLAN
CP-301 TO CP-302	PAVING, GRADING & DRAINAGE SECTIONS
CP-501 TO CP-502	PAVING, GRADING & DRAINAGE DETAILS
CU-101 TO CU-102	WATER AND SEWER PLAN
CU-501 TO CU-503	WATER AND SEWER DETAILS
	LANDSCAPE PLANS
LD-001	TREE DISPOSITION DETAILS
LD-101	TREE DISPOSITION PLAN
LP-001	LANDSCAPE NOTES
LP-101-102	LANDSCAPE PLANS
LP-501	LANDSCAPE DETAILS
	ARCHITECTURE PLANS
A-101	FLOOR PLANS
A-201 - A-204	ELEVATIONS

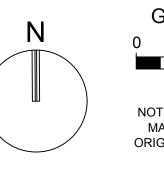
FLOOD INFORMA	FLOOD INFORMATION						
2014 FEMA 100 Year Flood Map	6.00' (NAVD)						
Preliminary 2021 FEMA 100 Year Flood Map	7.00' (NAVD)						
BC 100 Year 2060 Future Flood Elevation	7.00' (NAVD)						
Highest Crown of Road for West Parcels	5.35' (NAVD)						
Highest Crown of Road for East Parcels	4.86' (NAVD)						
Finished Floor Elevation	8.00' (NAVD)						



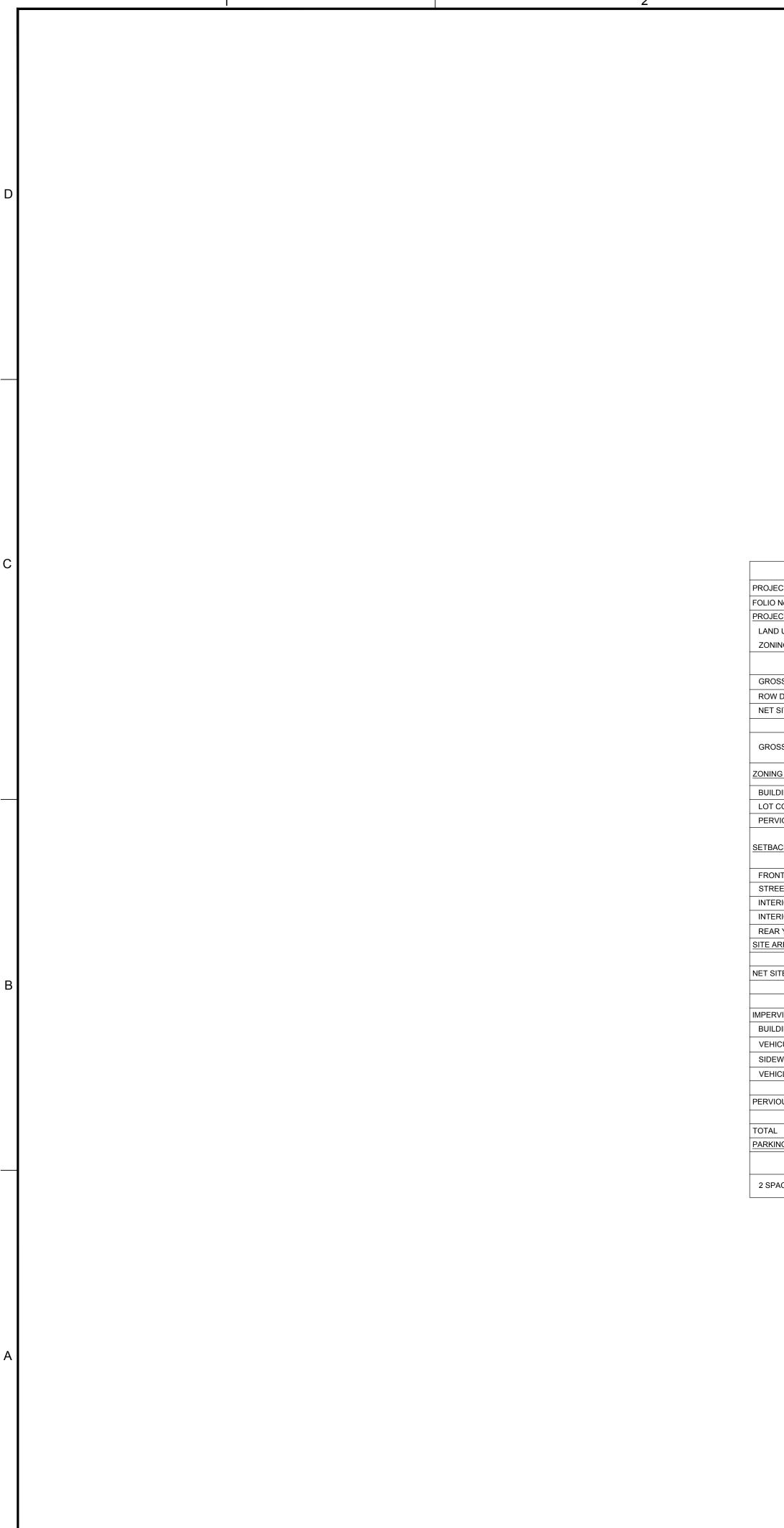
THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM)

PROJECT No. 10659.01 DATE: 04-08-2021





C SCALE	W. OAKLAND PARI N.W. 29th STREET N.W. 28th STREET	8th AVE NW. 17th TER	58	301 East Atlan Beach PH: (954 Florida Certificate	tic Blvd. Pompano FL 33060 4) 788-3400 of Authorization: 7928 hess Number: 6860	otember 23 2020 9-40-08 AM
	N.W. 27th STREET		YON	REV NO. DESCRIP	ISIONS TION DATE	otted hv: irinaldi On Wednesdav Sei
I PURPOSE: PROPOSED PROJECT INCLUDES THE I EXISTING PARCELS FOR A TOTAL OF E LOTS. THE HOMES WILL BE CONSTR ORDABLE HOUSING MARKET, AND WILL ROOMS, UNIFIED CIVIL DESIGN AND UF OSCAPING TO ENHANCE THE CITY OF C	9 SINGLE FAMILY RUCTED FOR THE L FEATURE 3-4 PGRADED	N SKET(<u>2H</u>			
AL DESCRIPTION: 5 AND THE NORTH 60 FEET OF OT 7, BLOCK 2, GEDEON SUBDIVI MAP OR PLAT THEREOF AS RECO PAGE 24, PUBLIC RECORDS OF B NDA. ES:	SION, ACCORDING TO RDED IN PLAT BOOK			NOT FOR CO	NARY PLAN DNSTRUCTION	_
REFER TO SURVEY FOR FULL LEGAL D REFER TO ARCHITECTURE SET FOR BU REFER TO CIVIL SET FOR DRAINAGE C REFER TO LANDSCAPE SET FOR LAND	UILDING DESIGN ALCS AND GRADING DESIGN			AND ARE SUBJEC DURING THE PE RESPONSIBILITY F PLANS PRIOR TO OE	NOT FULLY PERMITTED T TO REVISIONS MADE RMITTING PROCESS. OR THE USE OF THESE TAINING PERMITS FROM ING JURISDICTION OVER	м
OVEF DJECT ADDRESS: NW 19TH AVE - NW	YALL SITE DATA TA			THE PROJECT WILL	FALL SOLELY UPON TH ISER. 04/08/2	E
IO No. 494228010150, 494228230010,	494228230050			DESIGNED BY:	R	
JECT INFORMATION:				DRAWN BY: CHECKED BY:	BB, S(
ND USE DESIGNATION: NING DESIGNATION:	LOW (5) RESIDENTIAL SINGLE FAMILY RESIDEI	NTIAL		BID-CONTRACT:		
TE AREA (PER SURVEY)	<u>SQ. FT.</u> 72,774	ACREAGE 1.67		This item has been digitally signed and sealed by Thomas	SF. DONA	
ROSS BUILDING AREA (SF)	VARIES	SEE SH	EET SP-102 FOR	digitally signed and sealed by Thomas F. Donahue, P.E. on the date below using a Digital Signature.	No. 60529 07/23/2021	Site Plar
DTES:		CAL	DUAL LOT DATA CULATIONS	Printed copies	*	SP.1XX
SEE ARCHITECTURAL PLANS FOR IN	ITERIOR BUILDING AREA ANI	D BUILDING ELE	VATIONS	of this document are not considered signed and sealed and the signature must be verified on any	STATE OF	10 659 01 -
VICE PROVIDERS:				must be verified on any electronic copies.	MONAL ENT	addV1
		OF OAKLAND PA				cino/C
NITARY SEWER DLID WASTE		OF OAKLAND PA			DONAHUE, P.E. EG. NO. 60529	ringel
ING DISTRICT REQUIREMENTS:	REQUIRED	PROVIDED			THE FIRM)	Iro\En
IILDING HEIGHT	27' MAX	15'-0"	SEE SHEET SP-102	CLIENT		hitactı
T COVERAGE	40% MAX	VARIES	FOR INDIVIDUAL LOT DATA			G ∆rr
RVIOUS AREA	30% MIN 60' MIN LOT WIDTH	VARIES	CALCULATIONS			
IT SIZE	6,000 SF MIN LOT AREA					k Honei
BACK REQUIREMENTS: SEC.24-52(c)) <u>REQUIRED (MIN)</u> 25'-0"	<u>F</u> VARIES	ROVIDED	BR	OWARD y • housing authority	Jakland Par
REET SIDE YARD (CORNER LOTS)	15'-0"	VARIES	SEE SHEET SP-102			CHA
TERIOR SIDE YARD	7'-6"	VARIES	FOR INDIVIDUAL LOT DATA			2
TERIOR SIDE YARD	7'-6" 15'-0"	VARIES VARIES	CALCULATIONS	PROJECT		10659 (
KING CALCULATIONS: PER LOT						N-110
	REQUIRED	PROVIDED		В	СНА	wind nan
SPACE PER DWELLING (SF VARIES)	2	2	STD. SPACES (9X18)	OAKLA	ND PARK	5
AL PARKING		2			ND LOTS	
				SHEET TITLE		
				SITE	E PLAN	
					SP-101	
				PROJECT NUMBER	10659.01	



2

LEGAL DESCRIPTION: LOT 5 AND THE NORTH 60 FEET OF THE WEST ONE—HALF OF LOT 7, BLOCK 2, GEDEON SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 21, PAGE 24, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PLAN PURPOSE:

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF TWO EXISTING PARCELS FOR A TOTAL OF 9 SINGLE FAMILY HOME LOTS. THE HOMES WILL BE CONSTRUCTED FOR THE AFFORDABLE HOUSING MARKET, AND WILL FEATURE 3-4 BEDROOMS, UNIFIED CIVIL DESIGN AND UPGRADED LANDSCAPING TO ENHANCE THE CITY OF OAKLAND PARK.

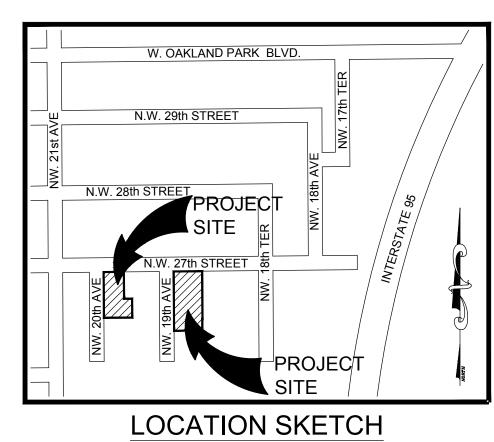
NOTES:

- 1. REFER TO SURVEY FOR FULL LEGAL DESCRIPTION 2. REFER TO ARCHITECTURE SET FOR BUILDING DESIGN
- REFER TO CIVIL SET FOR DRAINAGE CALCS AND GRADING DESIGN
 REFER TO LANDSCAPE SET FOR LANDSCAPE DESIGN

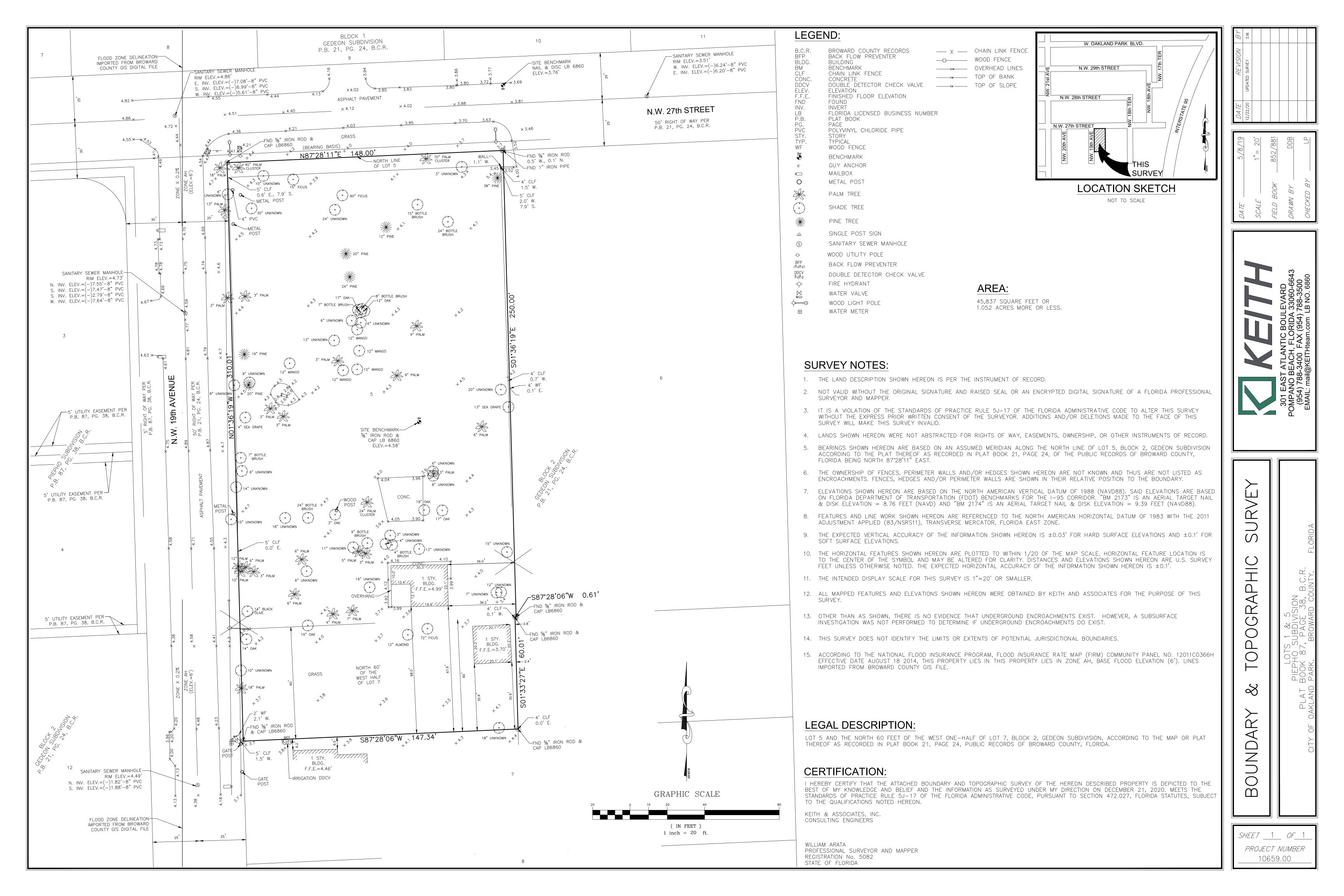
						LOTS 1	- 9 SITE	DATA T	ABLE									
OJECT ADDRESS: NW 20TH AVE & NW 27 S	T Oakland Park FL 333	11																
LIO No. 494228010150, 494228230010, 494228	8230050																	
OJECT INFORMATION:																		
AND USE DESIGNATION:	LOW (5) RESIDEN	ITIAL																
ONING DESIGNATION:	SINGLE FAMILY F	RESIDENTIAL																
	SQ. FT.	ACREAGE	SQ. FT.	ACREAGE	SQ. FT.	ACREAGE	SQ. FT.	ACREAGE	SQ. FT.	ACREAGE	SQ. FT.	ACREAGE	SQ. FT.	ACREAGE	SQ. FT.	ACREAGE	SQ. FT.	ACREAGE
	PARCEL A	PARCEL A	PARCEL B	PARCEL B	PARCEL C	PARCEL C	LOT 1	<u>LOT 1</u>	LOT 2	LOT 2	LOT 3	LOT 3	LOT 4	LOT 4	LOT 5	LOT 5	LOT 6	<u>LOT 6</u>
BROSS SITE AREA (PER SURVEY)	72,774	1.67	72,774	1.67	72,774	1.67	72,774	1.67	72,774	1.67	72,774	1.67	72,774	1.67	72,774	1.67	72,774	1.67
OW DEDICATION	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
IET SITE AREA (SF)	6549	0.15	6920	0.16	13468	0.31	6158	0.14	7080	0.16	6000	0.14	8879	0.20	8879	0.20	8841	0.20
						1							1				1	
GROSS BUILDING AREA (SF)	1,951		1,951		1,951		2295		1,980		1,980		1,980		1,980		1,980	
NING DISTRICT REQUIREMENTS:	REQUIRED	PROVIDED		PROVIDED		PROVIDED		PROVIDED		PROVIDED		PROVIDED		PROVIDED		PROVIDED		PROVIDE
		PARCEL 1		PARCEL 2		PARCEL 3		<u>LOT 1</u>		<u>LOT 2</u>		LOT 3		<u>LOT 4</u>		<u>LOT 5</u>		<u>LOT 6</u>
	27'-0"	15'-0"		15'-0"		15'-0"		15'-0"		15'-0"		15'-0"		15'-0"		15'-0"		15'-0"
OT COVERAGE	40% MAX	29.8%		28.2%		17.0%		32.2%		28.0%		33.0%		22.3%		22.3%		22.4%
ERVIOUS AREA	30% MIN	58.3%		60.7%		77.5%		55.8%		61.6%		53.3%		68.4%		68.4%		68.2%
TBACK REQUIREMENTS:	REQUIRED (MIN)	PROVIDED PARCEL A	PROVIDED PARCEL B		PROVIDED PARCEL C		PROVIDED		PROVIDED LOT 2		PROVIDED LOT 3		PROVIDED LOT 4		PROVIDED LOT 5		PROVIDED LOT 6	
RONT YARD	25'-0"	25.00'	25.00'		25.00'		25.00'		30.00'		25.00'		25.00'		25.00'		25.00'	
TREET SIDE YARD (CORNER LOTS)	15'-0"	18.60'	N/A		N/A		16.80'		N/A		N/A		N/A		N/A		N/A	
NTERIOR SIDE YARD (North)	7'-6"	N/A	18.90'		14.20'		N/A		7.50'		7.50'		8.40'		7.70'		7.70'	
NTERIOR SIDE YARD (South)	7'-6"	10.80'	10.90'		38.90'		8.40'		7.70'		7.70'		7.60'		7.70'		8.20'	
EAR YARD	15'-0"	19.60'	19.70'		47.70'		15.00'		22.20'		15.40'		75.40'		75.40'		74.70'	
E AREA CALCULATIONS:	1		11			I						I	I				1	
	SQ. FT.	<u>%</u>	SQ. FT.	<u>%</u>	SQ. FT.	<u>%</u>	SQ. FT.	%	SQ. FT.	<u>%</u>	SQ. FT.	%	SQ. FT.	<u>%</u>	SQ. FT.	<u>%</u>	SQ. FT.	<u>%</u>
T SITE AREA:	6,549	100%	6,920	100%	13,468	100%	6,158	100%	7,080	100%	6,000	100%	8,879	100%	8,879	100%	8,841	100%
		1			I	1			1	I	1	I	1				1	I
	<u>SQ. FT.</u>	<u>%</u>	<u>SQ. FT.</u>	<u>%</u>	<u>SQ. FT.</u>	<u>%</u>	<u>SQ. FT.</u>	<u>%</u>	<u>SQ. FT.</u>	<u>%</u>	<u>SQ. FT.</u>	<u>%</u>	<u>SQ. FT.</u>	<u>%</u>	<u>SQ. FT.</u>	<u>%</u>	<u>SQ. FT.</u>	<u>%</u>
PERVIOUS AREA																		
UILDING FOOTPRINT (INCL. OVERHANG)	1,951	29.8%	1,951	28.2%	2,295	17.0%	1,980	32.2%	1,980	28.0%	1,980	33.0%	1,980	22.3%	1,980	22.3%	1,980	22.4%
'EHICULAR USE AREA/PAVEMENT	584	8.9%	576	8.3%	543	4.0%	546	8.9%	546	7.7%	628	10.5%	626	7.1%	626	7.1%	632	7.1%
IDEWALKS/CONCRETE	196	3.0%	196	2.8%	196	1.5%	196	3.2%	196	2.8%	196	3.3%	196	2.2%	196	2.2%	196	2.2%
'EHICLE OVERHANG	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%
	1	1	11		I					1		I	1				1	1
RVIOUS AREA (30% MINIMUM)	3,818	58.3%	4,197	60.7%	10,434	77.5%	3,436	55.8%	4,358	61.6%	3,196	53.3%	6,077	68.4%	6,077	68.4%	6,033	68.2%
TAL	6,549	100%	6,920	100%	13,468	100%	6,158	100%	7,080	100%	6,000	100%	8,879	100%	8,879	100%	8,841	100%
RKING CALCULATIONS:																		
	REQUIRED	PROVIDED PARCEL A			PROVIDED PARCEL C		PROVIDED LOT 1		PROVIDED LOT 2		PROVIDED LOT 3		PROVIDED LOT 4		PROVIDED LOT 5		PROVIDED LOT 6	
SPACE PER DWELLING (SF VARIES)	2	2	2		2		2		2		2		2		2		2	

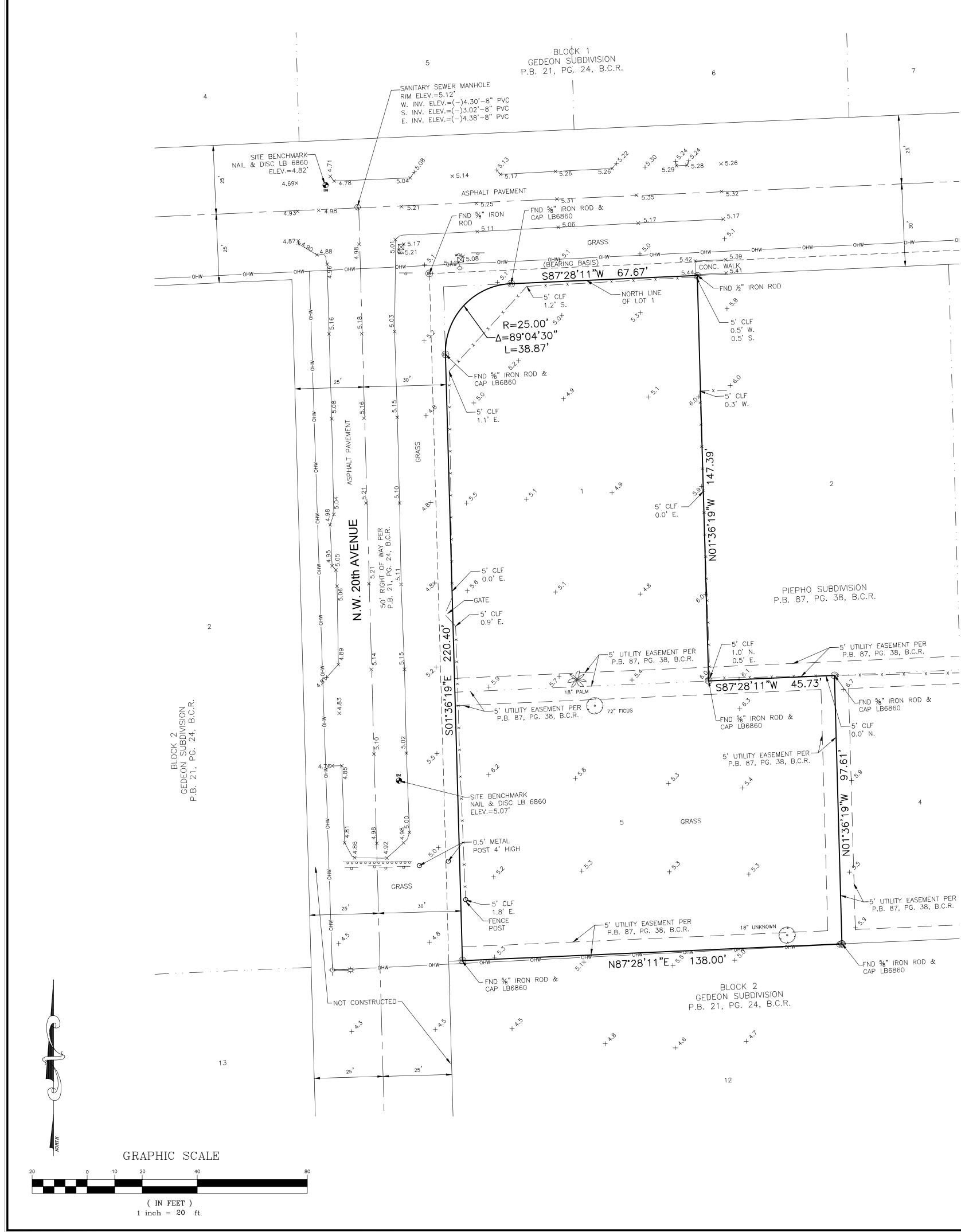
3

KEITH	MA 90
301 East Atlantic Blvd. Pompano Beach, FL 33060	Diattod hvr. izinaldi On Wodnacdav. Sontombor 23. 2020 0-10-08 AM
PH: (954) 788-3400 Florida Certificate of Authorization: 7928 Licensed Business Number: 6860	
REVISIONS NO. DESCRIPTION DATE	
	Modbos d
PRELIMINARY PLAN NOT FOR CONSTRUCTION THESE PLANS ARE NOT FULLY PERMITTE AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FRO	D E DM
ALL AGENCIES HAVING JURISDICTION OVE THE PROJECT WILL FALL SOLELY UPON TI USER.	
ISSUE DATE: 04/08/2 DESIGNED BY: R	21 G
DRAWN BY: BB, S CHECKED BY: T	D D
BID-CONTRACT: This item has been	
digitally signed and sealed by Thomas F. Donahue, P.E. on the date below using a Digital Signature. Printed conjes	
of this document are not considered signed and sealed and the signature must be verified on any electronic copies.	
THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM)	
CLIENT	Architoctu
BROWARD county · housing authority	
PROJECT	N-140140659.0
BCHA	
OAKLAND PARK LAND AND LOTS	
SHEET TITLE	-
SITE PLAN DATA TABLE	
sheet SP-102	
PROJECT 10659.01	



NOT TO SCALE





LEGEND:

B.C.R. BM CLF CONC. ELEV. FND INV. LB	BROWARD COUNTY RECORDS BENCHMARK CHAIN LINK FENCE CONCRETE ELEVATION FOUND INVERT FLORIDA LICENSED BUSINESS NUMBER
O.R.B. R/W P.B. PG. PVC TYP. R Δ L	OFFICIAL RECORDS BOOK RIGHT OF WAY PLAT BOOK PAGE POLYVINYL CHLORIDE PIPE TYPICAL RADIUS CENTRAL ANGLE ARC LENGTH
BM	BENCHMARK
X	PALM TREE
	SHADE TREE
Q Q	SINGLE POST SIGN
	FIRE HYDRANT
\mathbb{W}	WATER VALVE
-\$\$;	WOOD LIGHT POLE
S	SANITARY SEWER MANHOLE
-O-	WOOD UTILITY POLE
— X —	CHAIN LINK FENCE
00000	GUARD RAIL
OHW	OVERHEAD LINES

SURVEY NOTES:

- 1. THE LAND DESCRIPTION SHOWN HEREON IS PER THE INSTRUMENT OF RECORD.
- SURVEYOR AND MAPPER.
- SURVEY WILL MAKE THIS SURVEY INVALID.
- SOUTH 87°28'11" WEST.

- ADJUSTMENT APPLIED (83/NSRS11), TRANSVERSE MERCATOR, FLORIDA EAST ZONE.
- SOFT SURFACE ELEVATIONS.
- 11. THE INTENDED DISPLAY SCALE FOR THIS SURVEY IS 1"=20' OR SMALLER.
- SURVEY.

- BASE FLOOD ELEVATION (NONE). LINES IMPORTED FROM BROWARD COUNTY GIS FILE.

LEGAL DESCRIPTION:

RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFICATION:

TO THE QUALIFICATIONS NOTED HEREON.

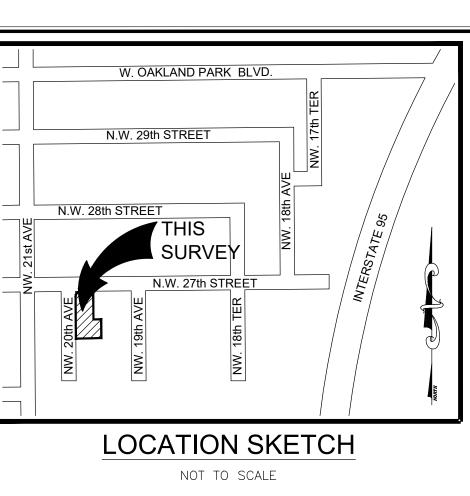
KEITH & ASSOCIATES, INC. CONSULTING ENGINEERS

WILLIAM ARATA PROFESSIONAL SURVEYOR AND MAPPER REGISTRATION No. 5082 STATE OF FLORIDA



AREA: 0.618 ACRES MORE OR LESS

26,937 SQUARE FEET OR



PROJECT NUMBER 10659.00

A REPLAT OF LOT 5 AND THE NORTH 60' OF LOT 7, GEDEON SUBDIVISION, AS SHOWN IN PLAT BOOK 21, PAGE 24, B.C.R. LYING IN A PORTION OF SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST, CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

DESCRIPTION:

LOT 5 AND THE NORTH 60' OF THE WEST HALF OF LOT 7, GEDEON SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 24, BROWARD COUNTY RECORDS.

DEDICATION:

STATE OF _____ }SS KNOW ALL MEN BY THESE PRESENTS THAT ANNA JAIME, VICE PRESIDENT OF REAL ESTATE COUNTY OF MANAGEMENT OF, BROWARD COUNTY HOUSING AUTHORITY, A MUNICIPAL COPRORATION, AS OWNER OF THE LANDS, AS SHOWN HEREON, BEING IN SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, SHOWN HEREON AS BCHA OAKLAND PARK, DO HEREBY DEDICATE THE FOLLOWING:

NONE

IN WITNESS WHEREOF: WE HERETO SET OUR HANDS AND AFFIX OUR CORPORATE SEALS THIS_____DAY OF_____, 201_.

BY:

WITNESS: PRINT NAME: BROWARD COUNTY HOUSING AUTHORITY,

WITNESS: PRINT NAME

ANNA JAIME VICE PRESIDENT REAL ESTATE MANAGEMENT

ACKNOWLEDGEMENT:

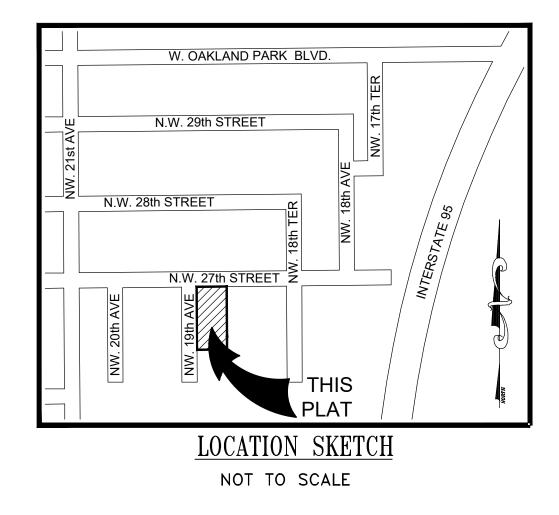
STATE OF___ - SS BEFORE ME PERSONALLY APPEARED COUNTY OF_____ \$~ ANNA JAIME, WHO IS PERSONALLY KNOWN TO ME, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS THE VICE PRESIDENT OF BROWARD COUNTY HOUSING AUTHORITY, A MUNICIPAL CORPORATION, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS SUCH REGISTERED AGENT OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT IT IS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION. WITNESS MY HAND AND OFFICIAL SEAL THIS_____DAY OF_____201__.

MY COMMISSION EXPIRES:

NOTARY PUBLIC:

PRINT NAME:

BCHA OAKLAND PARK



PLAT BOOK _____ PAGE _____

SHEET 1 OF 2

CITY OF OAKLAND PARK APPROVALS:

CITY COMMISSION:

STATE OF FLORIDA SS

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN ACCEPTED AND APPROVED FOR RECORDING BY THE CITY COMMISSION OF THE CITY OF OAKLAND PARK, FLORIDA, IN AND BY RESOLUTION NO._____ADOPTED BY SAID CITY COMMISSION THIS _____ DAY OF_____, A.D., 201_.

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

BY:_ MAYOR. TIM LONERGAN

BY: ____ CITY CLERK, RENEE M. SHROUT

CITY ENGINEERING:

THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS _____DAY OF_____ A.D., 201_.

ALBERT CARBON. CITY ENGINEER FLORIDA P.E. REGISTRATION NO. 62662

CITY PLANNING AND ZONING BOARD:

THIS IS TO CERTIFY THAT THE CITY PLANNING AND ZONING BOARD OF OAKLAND PARK, FLORIDA, HAS HEREBY APPROVED AND ACCEPTED THIS PLAT THIS_____DAY_OF______A.D., 201_.

BY: _____ CHAIRPERSON

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THE SURVEY DATA SHOWN CONFORMS TO THE APPLICABLE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND WITH THE APPLICABLE SECTIONS OF CHAPTER 5J-17. FLORIDA ADMINISTRATIVE CODE. THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) WERE SET ON _____, 202___.

KEITH & ASSOCIATES, INC. FLORIDA DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION CERTIFICATE OF AUTHORIZATION NUMBER LB 6860.

CITY ENGINEER

CITY COMMISSION

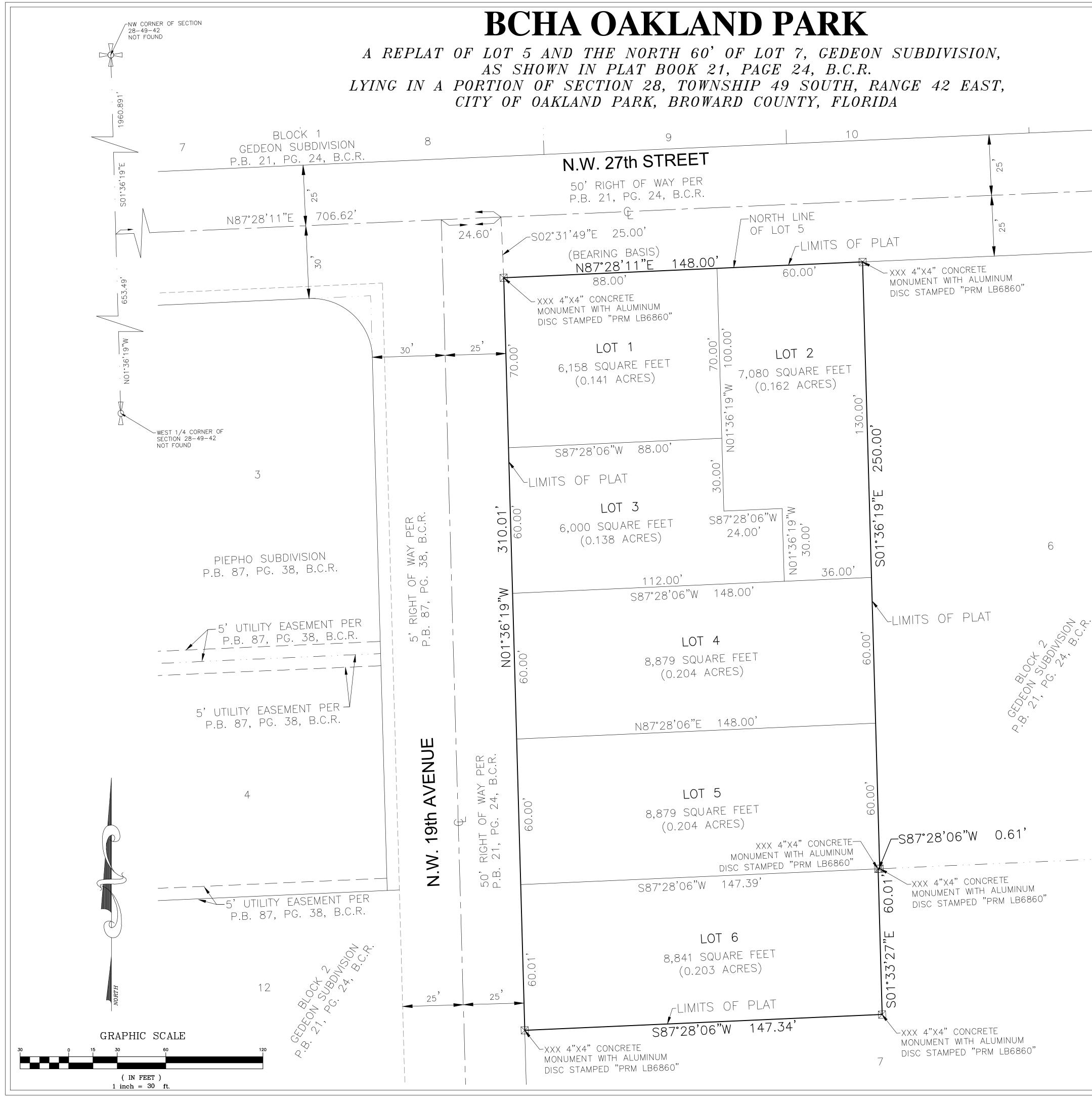
DATE: FOR THE FIRM BY:

SURVEYOR

WILLIAM ARATA PROFESSIONAL SURVEYOR AND MAPPER REGISTRATION NO. 5082 STATE OF FLORIDA PREPARED BY:



POMPANO BEACH, FLORIDA 33060-6643 (954) 788-3400 FAX (954) 788-3500 EMAIL: mail@KEITHteam.com LB NO. 6860



PLAT BOOK _____ PAGE ____

SHEET 2 OF 2

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

PLAT NOTES:

☑ INDICATES SET PERMANENT REFERENCE MONUMENT (P.R.M.) 4"X4"X24" CONCRETE MONUMENT WITH BRASS DISC NO. LB6860 (UNLESS NOTED OTHERWISE).

BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN ALONG THE NORTH LINE OF LOT 5, BLOCK 2, GEDEON SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21, PAGE 24, OF THE PUBLIC RECORDS OF BROWARD COUNTY. FLORIDA BEING NORTH 87°28'11" EAST.

AREA TABULATION TABLE: <u>SQUARE FOOTAGE</u> PARCEL NAME <u>ACREAGE</u> $1 \cap T = 1$ 6 1 5 8 0 1/1

TOTAL	45,837	1.052
LOT 6	8,841	0.203
LOT 5	8,879	0.204
LOT 4	8,879	0.204
LOT 3	6,000	0.138
LOT 2	7,080	0.162
	0,150	0.141

LEGEND:

B.C.R. ID.	BROWARD COUNTY RECORDS IDENTIFICATION
L.B.	FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER
	SERVICES CERTIFICATE OF
	AUTHORIZATION LICENSED BUSINESS
	DESIGNATION
0.R.B.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
PG.	PAGE
PRM	PERMANENT REFERENCE
	MONUMENT
R/W	RIGHT OF WAY
Æ	CENTERLINE
	SECTION CORNER



301 EAST ATLANTIC BOULEVARD POMPANO BEACH, FLORIDA 33060-6643 (954) 788-3400 FAX (954) 788-3500 EMAIL: mail@KEITHteam.com LB NO. 6860

A REPLAT OF LOTS 1 & 5, PIEPHO SUBDIVISION, AS SHOWN IN PLAT BOOK 87, PAGE 38, B.C.R. LYING IN A PORTION OF SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST, CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

DESCRIPTION:

LOTS 1 AND 5, PIEPHO SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 87, PAGE 38, BROWARD COUNTY RECORDS.

DEDICATION:

STATE OF _____ \$ss know all men by these presents that anna jaime, vice president of real estate COUNTY OF _____ MANAGEMENT OF, BROWARD COUNTY HOUSING AUTHORITY, A MUNICIPAL COPRORATION, AS OWNER OF THE LANDS, AS SHOWN HEREON, BEING IN SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA. SHOWN HEREON AS BCHA OAKLAND PARK. DO HEREBY DEDICATE THE FOLLOWING:

NONE

IN WITNESS WHEREOF: WE HERETO SET OUR HANDS AND AFFIX OUR CORPORATE SEALS THIS_____DAY OF_____, 201_.

BY:

WITNESS: PRINT NAME:

BROWARD	COUNTY	HOUSING
А	UTHORITY	, ,

WITNESS: PRINT NAME

ANNA JAIME VICE PRESIDENT REAL ESTATE MANAGEMENT

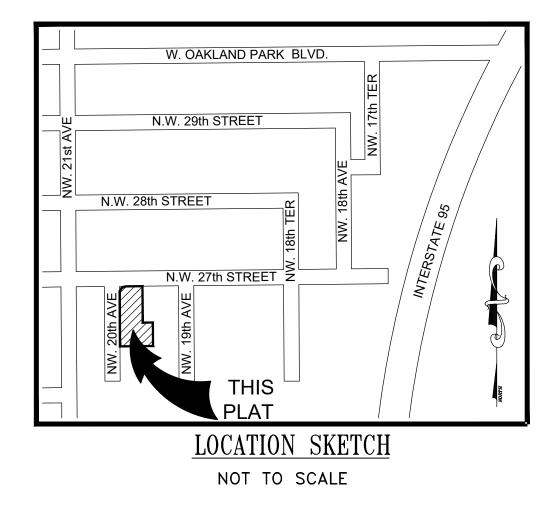
ACKNOWLEDGEMENT:

STATE OF___ - SS BEFORE ME PERSONALLY APPEARED COUNTY OF______ > ANNA JAIME, WHO IS PERSONALLY KNOWN TO ME, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS THE VICE PRESIDENT OF BROWARD COUNTY HOUSING AUTHORITY, A MUNICIPAL CORPORATION, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS SUCH REGISTERED AGENT OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT IT IS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION. WITNESS MY HAND AND OFFICIAL SEAL THIS DAY OF_____201___. MY COMMISSION EXPIRES:

NOTARY PUBLIC:

PRINT NAME:

BCHA OAKLAND PARK



PLAT BOOK _____ PAGE _____

SHEET 1 OF 2

CITY OF OAKLAND PARK APPROVALS:

CITY COMMISSION:

STATE OF FLORIDA SS

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN ACCEPTED AND APPROVED FOR RECORDING BY THE CITY COMMISSION OF THE CITY OF OAKLAND PARK, FLORIDA, IN AND BY RESOLUTION NO. _____ ADOPTED BY SAID CITY COMMISSION THIS _____ DAY OF_____, A.D., 201_.

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

BY:_ MAYOR, TIM LONERGAN

BY: ____ CITY CLERK, RENEE M. SHROUT

CITY ENGINEERING:

THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF_____ A.D., 201_.

ALBERT CARBON. CITY ENGINEER FLORIDA P.E. REGISTRATION NO. 62662

CITY PLANNING AND ZONING BOARD:

THIS IS TO CERTIFY THAT THE CITY PLANNING AND ZONING BOARD OF OAKLAND PARK, FLORIDA, HAS HEREBY APPROVED AND ACCEPTED THIS PLAT THIS______ DAY_OF_______ A.D., 201 .

BY: _____ CHAIRPERSON

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THE SURVEY DATA SHOWN CONFORMS TO THE APPLICABLE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND WITH THE APPLICABLE SECTIONS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) WERE SET ON _____, 20____,

KEITH & ASSOCIATES, INC. FLORIDA DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION CERTIFICATE OF AUTHORIZATION NUMBER LB 6860.

CITY ENGINEER

DATE: FOR THE FIRM BY:

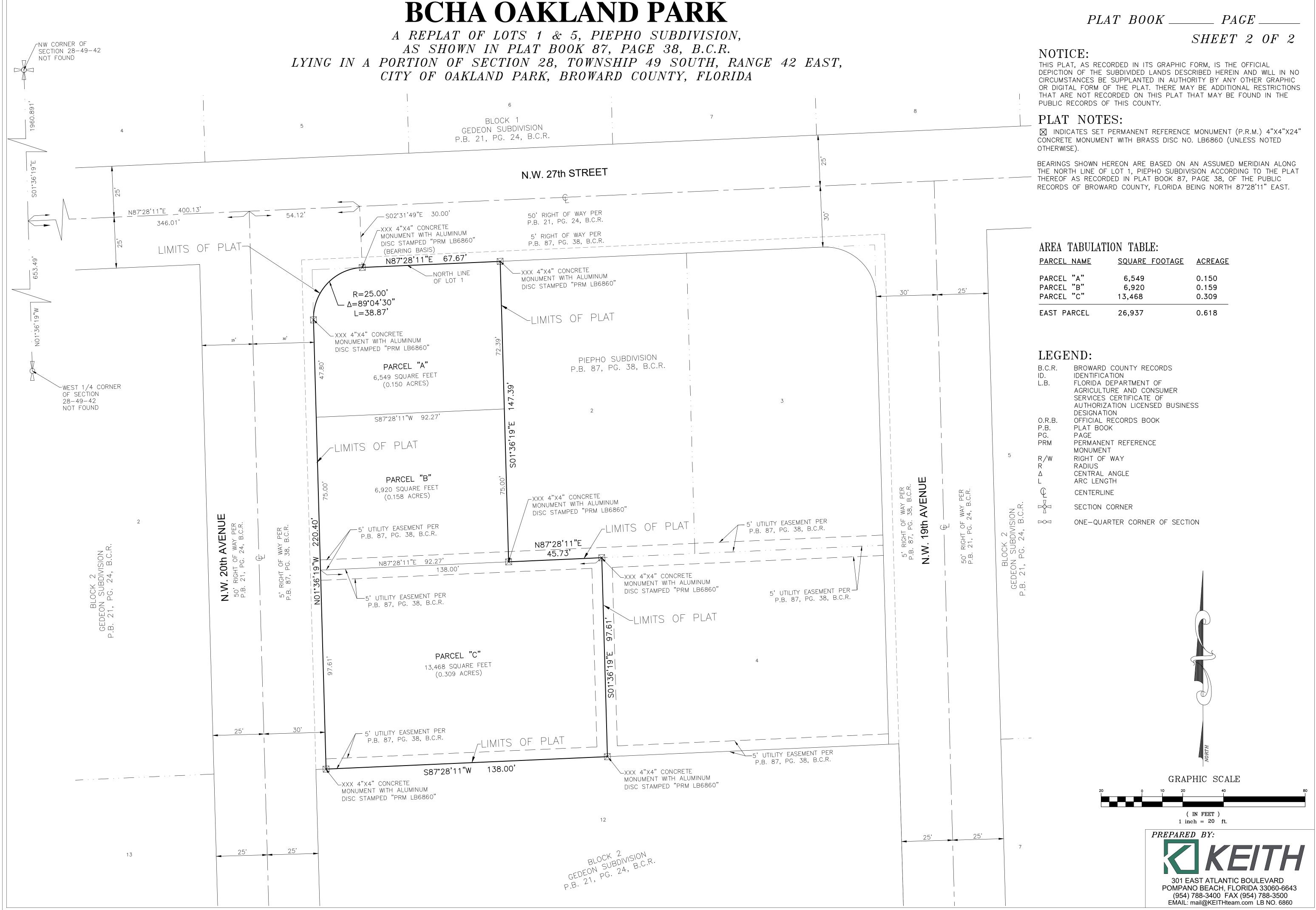
SURVEYOR

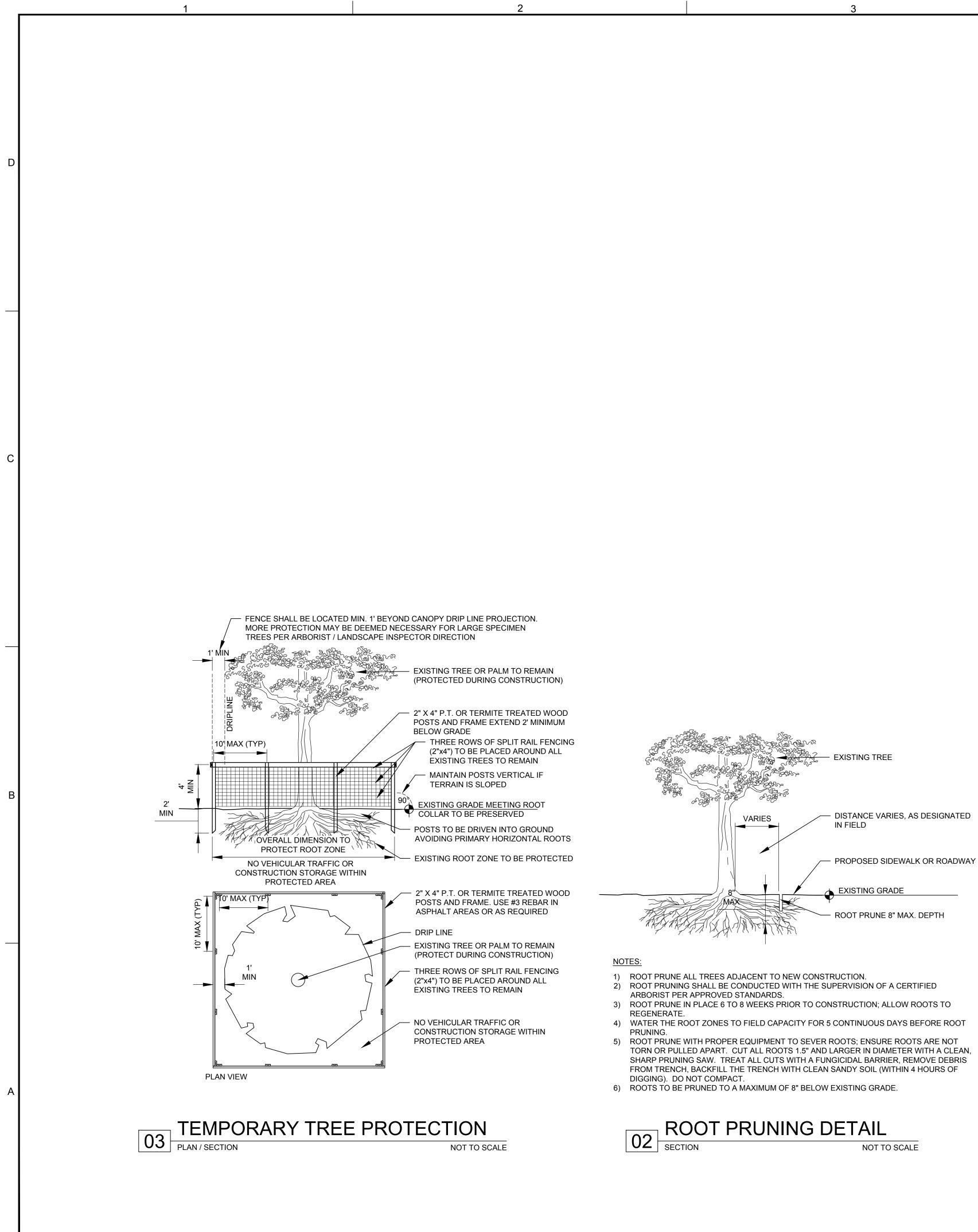
MICHAEL M. MOSSEY PROFESSIONAL SURVEYOR AND MAPPER REGISTRATION NO. 5660 STATE OF FLORIDA PREPARED BY:



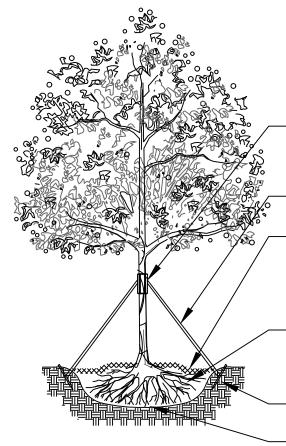
301 EAST ATLANTIC BOULEVARD POMPANO BEACH, FLORIDA 33060-6643 (954) 788-3400 FAX (954) 788-3500 EMAIL: mail@KEITHteam.com LB NO. 6860

CITY COMMISSION





1



FOR TREES LARGER THAN 6" DIAMETER; DEGREES APART. WOOD BATTENS TO BE NAIL INTO TREE. MIN 3 LAYERS OF BURLAP. EVENLY ABOUT THE TRUNK APPROVED MULCH. PULL MULCH 2" APPROVED PLANTING SOIL AND 50% BELOW GROUND LEVEL.

- 2" X 4" WOOD BATTENS (3 MIN) 120 SECURED W/ STEEL BANDING. DO NOT 2" X 4" WOOD BRACES (3) SPACED PLANT TOP OF ROOTBALL EVEN WITH FINISHED GRADE, AND ADD 3" OF BACK FROM TRUNK, FORM 4" HT. BERM AROUND PLANTING HOLE. OF THE ROOTBALL. BACKFILL WITH NATIVE SOIL. WOODEN STAKES (TYP.) BURIED

- PLANTING PIT TO BE TWICE THE DIAMETER - PLACE ROOTBALL AT THE BOTTOM OF THE UNDISTURBED SUBGRADE.

TREE RELOCATION PROCESS / NOTES: 1) ROOT PRUNE IN PLACE 6 TO 8 WEEKS BEFORE RELOCATION; ALLOW ROOTS TO

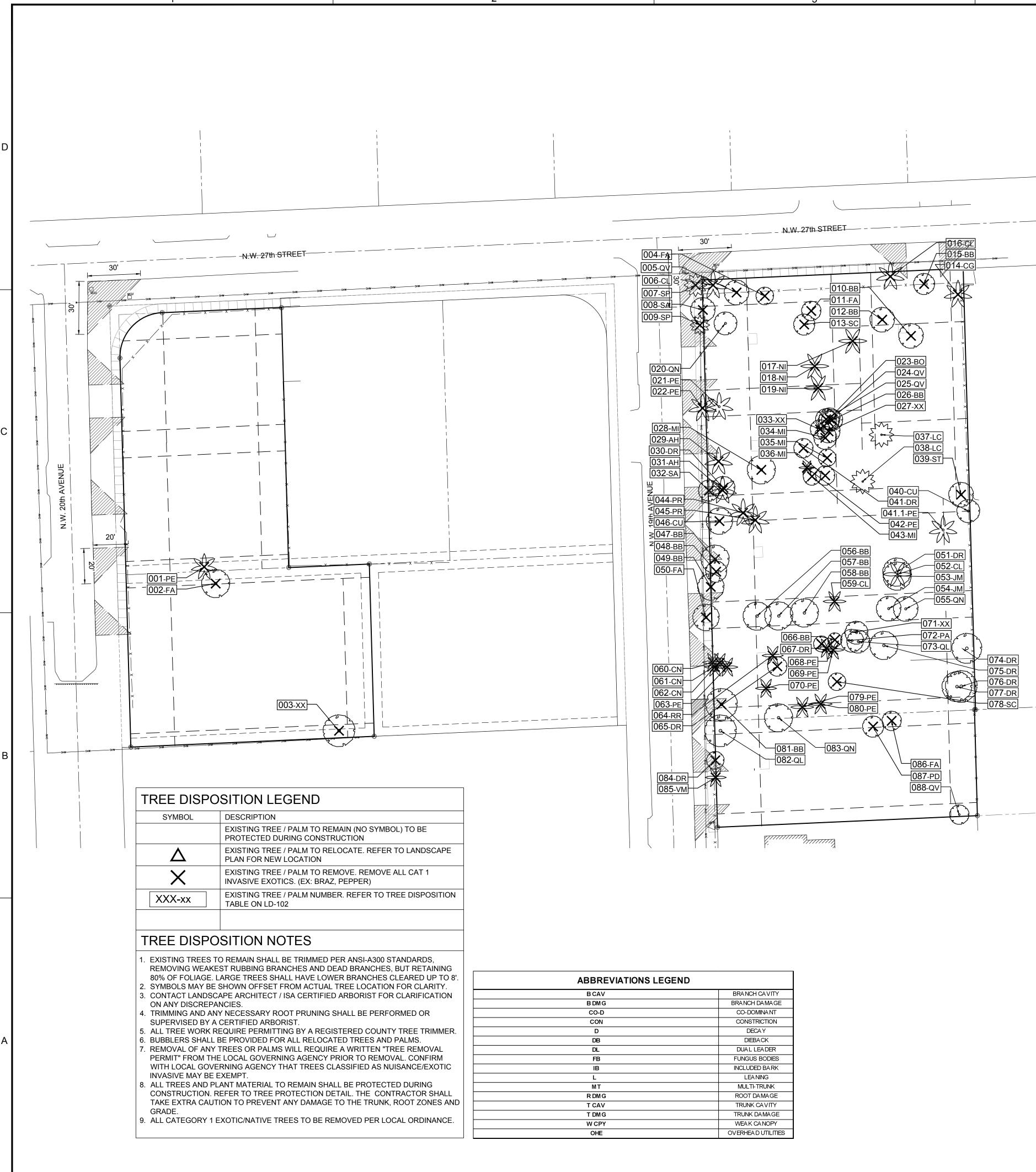
- REGENERATE. 2) WATER THE ROOT ZONES TO FIELD CAPACITY FOR 5 CONTINUOUS DAYS BEFORE ROOT
- PRUNING. 3) ROOT PRUNE WITH PROPER EQUIPMENT TO SEVER ROOTS; ENSURE ROOTS ARE NOT TORN OR PULLED APART. WITH HAND TOOLS, DIG A 2'-0" WIDE BY 3'-0" DEEP TRENCH AT THE OUTER EDGE OF THE ROOTBALL (SIZE DETERMINED BELOW) OR AS DETERMINED BY THE ARBORIST ON SITE. CUT ALL ROOTS 1.5" AND LARGER IN DIAMETER WITH A CLEAN, SHARP PRUNING SAW. TREAT ALL CUTS WITH A FUNGICIDAL BARRIER, REMOVE DEBRIS FROM TRENCH, BACKFILL THE TRENCH WITH CLEAN SOIL COMBINED WITH FIBROUS MATERIAL
- SUCH AS LEAVES (WITHIN 4 HOURS OF DIGGING). DO NOT COMPACT. 4) FORM A ROOTBALL OF THE FOLLOWING MINIMUM SIZES: -- 24" X 12" DEPTH FOR TREES LESS THAN 5" CALIPER
- -- 36" X 18" DEPTH FOR TREES FROM 5" 18" CALIPER
- -- 48" X 24" DEPTH FOR TREES OVER 18" CALIPER 5) TRANSPLANT OPERATIONS TO BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.
- 6) WHERE REQUIRED, ASSEMBLE SLINGS, PADDING, GUIDING ROPES AND CABLES FOR ATTACHMENT TO THE CRANE OR BACKHOE AT THE DIRECTION OF A PROFESSIONAL RIGGER. THE PROFESSIONAL RIGGER SHALL DETERMINE THE SIZE OF MACHINERY NECESSARY TO EXECUTE THE LIFTING AND MOVING OPERATION.
- 7) TRANSPLANTING HOLE TO BE AT LEAST 2' LARGER THAN THE ROOTBALL 8) ADD AGRIFORM FERTILIZATION TABLETS OR SIMILAR PER MANUFACTURER RECOMMENDATIONS ACCORDING TO TREE SIZE.
- 9) SET THE TREE NO DEEPER THAN ITS ORIGINAL CONDITION.
- 10) WATER TO ELIMINATE AIR POCKETS WITH WATER HOSE APPLICATION OF FLOOD WATERING. 11) POST TRANSPLANT WATERING TO BE DAILY FOR THE FIRST TWO WEEKS AND THEN CONTINUE AS SUFFICIENT TO AVOID ROOT DESICCATION AND SUPPORT NEW GROWTH.



3

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	lantic Blvd. ach, FL 330((954) 788-34	60	
Florida Certifi	cate of Authoriz	zation: 7928	۔ ا
	Business Numb	er: 6860	
		DATE	
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NOT FOR THESE PLANS A AND ARE SUB	ARE NOT FULL JECT TO REVI PERMITTING TY FOR THE U O OBTAINING I HAVING JURIS	RUCTION Y PERMITTED SIONS MADE PROCESS. SE OF THESE PERMITS FROM DICTION OVER	
ISSUE DATE:		04/08/21	ł
DESIGNED BY	′ :	JR, MP	
DRAWN BY:		JR	
CHECKED BY		MP	
FLORIDA F	. J. PHILLIP REG. NO. L DR THE FIRI	A0001540	
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PROJECT			
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PROJECT	1065	0.04	Ŀ



BREVIATIONS LEGEND					
BCAV	BRANCH CAVITY				
B DM G	BRANCH DAMAGE				
CO-D	CO-DOMINA NT				
CON	CONSTRICTION				
D	DECA Y				
DB	DIEBACK				
DL	DUAL LEADER				
FB	FUNGUS BODIES				
IB	INCLUDED BARK				
L	LEA NING				
MT	MULTI-TRUNK				
R DM G	ROOT DAMAGE				
T CAV	TRUNK CA VITY				
TDMG	TRUNK DAMAGE				

TREE DISPOSITION TABLE

rru.	IECT #: 10659.01	PROJECT NAME: BCHA
0	COMMON NAME	SCIENTIFIC NAME
1	ALEXANDER PALM	"Ptychosperma elegans"
2	FICUS	"Ficus spp."
3	UNK	#N/A
4	FICUS	"Ficus spp."
5		"Quercus virginiana"
6 7		"Chrysalidocarpus lutescens" "Sabal palmetto"
	CABBAGE PALM UMBRELLA TREE	"Schefflera actinophylla"
9		"Sabal palmetto"
10	BOTTLE BRUSH	"Callistemon viminallis"
11	FICUS	"Ficus spp."
12	BOTTLE BRUSH	"Callistemon viminallis"
13	JAMBOLAN TREE	"Syzygium cumini"
14	AUSTRALIAN PINE	"Casuarina glauca"
15		"Bucida buceras"
16 17	ARECA PALM	"Chrysalidocarpus lutescens" "Araucaria heterophylla"
17	NORFOLK ISLAND PINE	"Araucaria heterophylla"
19	NORFOLK ISLAND PINE	"Araucaria heterophylla"
20	WATER OAK	"Quercus nigra"
20	ALEXANDER PALM	"Ptychosperma elegans"
22	ALEXANDER PALM	"Ptychosperma elegans"
23	BLACK OLIVE	"Bucida buceras"
24	LIVE OAK	"Quercus virginiana"
25	LIVE OAK	"Quercus virginiana"
26	BLACK OLIVE	"Bucida buceras"
27	UNK	#N/A
28	MANGO	"Mangifera indica"
29	NORFOLK ISLAND PINE	"Araucaria heterophylla"
30	ROYAL POINCIANA	"Delonix regia"
31	NORFOLK ISLAND PINE	"Araucaria heterophylla"
32	UMBRELLA TREE	"Schefflera actinophylla"
33	UNK	#N/A
34	MANGO	"Mangifera indica"
35	MANGO	"Mangifera indica"
36		"Mangifera indica"
37	CHINESE FAN PALM	"Livistona chinensis"
38		"Livistona chinensis" "Schinus terebinthifolius"
39 40	BRAZILIAN PEPPER SEAGRAPE	"Coccoloba uvifera"
40	ROYAL POINCIANA	"Delonix regia"
41.1	ALEXANDER PALM	"Ptychosperma elegans"
42	ALEXANDER PALM	"Ptychosperma elegans"
43	MANGO	"Mangifera indica"
44	ROBELLINI PALM	"Phoenix roebelinii"
45	ROBELLINI PALM	"Phoenix roebelinii"
46	SEAGRAPE	"Coccoloba uvifera"
47	BLACK OLIVE	"Bucida buceras"
48	BLACK OLIVE	"Bucida buceras"
49	BLACK OLIVE	"Bucida buceras"
50	FICUS ROYAL POINCIANA	"Ficus spp."
51 52	ARECA PALM	"Delonix regia" "Chrysalidocarpus lutescens"
52	JACARANDA TREE	"Jacaranda mimosifolia"
54	JACARANDA TREE	"Jacaranda mimosifolia"
55	WATER OAK	"Quercus nigra"
56	BLACK OLIVE	"Bucida buceras"
57	BLACK OLIVE	"Bucida buceras"
58	BLACK OLIVE	"Bucida buceras"
59	ARECA PALM	"Chrysalidocarpus lutescens"
60	COCONUT PALM	"Cocos nucifera"
61	COCONUT PALM	"Cocos nucifera"
62	COCONUT PALM	"Cocos nucifera"
63		"Ptychosperma elegans"
64	ROYAL PALM	"Roystonia elata"
65		"Delonix regia"
66 67	BLACK OLIVE ROYAL POINCIANA	"Bucida buceras" "Delonix regia"
67		"Ptychosperma elegans"
69		"Ptychosperma elegans"
70	ALEXANDER PALM	"Ptychosperma elegans"
71	UNK	#N/A
72	AVOCADO	"Persea americana"
73	LAUREL OAK	"Quercus laurifolia"
74	ROYAL POINCIANA	"Delonix regia"
75	ROYAL POINCIANA	"Delonix regia"
76	ROYAL POINCIANA	"Delonix regia"
77	ROYAL POINCIANA	"Delonix regia"
78	UMBRELLA TREE	"Schefflera actinophylla"
79	ALEXANDER PALM	"Ptychosperma elegans"
80	ALEXANDER PALM	"Ptychosperma elegans"
81	BLACK OLIVE	"Bucida buceras"
82		"Quercus laurifolia"
83		"Quercus nigra"
84		"Delonix regia"
	MONTGOMERY PALM	"Veitchia montgomeryana"
85		" " : "
85 86 87	FICUS ALMOND TREE	"Ficus spp." "Prunus dulcis"

NC) PARK	HOUS	SING LO [.]	TS		NO.	DESCRIPT	ION	DATE
	HT. FT.	CNPY. FT.	TREE % CONDITION	TREE DISPOSITION	COMMENTS				
				REMOVE REMOVE					
				REMOVE	HEDGE				
				REMOVE	POOR CONDITON				
	10'			REMOVE REMOVE	CLUSTER				
+	8' 9'			REMOVE REMOVE					
+	50'	50'		REMOVE REMOVE					
	50'	50'		REMOVE REMOVE					
_	25'	25'	70%	REMOVE REMOVE	•				
	50'			REMOVE REMOVE	CLUSTER				
	50' 60'			REMOVE	DBL				
	25' 10'	25'		REMOVE	OHE, B DMG, MULTI TRUNK, UTILITY PRUNING	NC	PRELIMIN T FOR CC		
	12'			REMOVE		THE	SE PLANS ARE I	NOT FULL	Y PERMITTED
\pm				REMOVE REMOVE		1	DURING THE PER	MITTING F	PROCESS.
				REMOVE REMOVE		PLAN	SPONSIBILITY FO		ERMITS FROM
+	25'	20'		REMOVE REMOVE	POOR CONDITON		AGENCIES HAVII PROJECT WILL F	ALL SOLE	
+	60' 20'			REMOVE REMOVE	POOR CONDITON			SER.	
	55' 12'			REMOVE REMOVE			JE DATE: IGNED BY:		04/08/2 ² JR, MF
				REMOVE REMOVE			WN BY:		JF
				REMOVE REMOVE			CKED BY:		MF
+	12' 12'			REMAIN		BID-	CONTRACT:		
+	12			REMOVE					
				REMOVE					
				REMAIN REMOVE					
	5'			REMOVE REMOVE					
	5' 10'			REMOVE REMOVE					
				REMOVE REMOVE					
	40'	20'		REMOVE REMOVE					
				REMAIN REMAIN			MICHAEL J. F	. NO. LA	0001540
				REMAIN REMAIN				HE FIRM	1)
+				REMAIN REMAIN		CLII	ENI		
	50'	60'		REMAIN REMAIN					
╀	20'			REMOVE REMOVE	CLUSTER		\sim		
	4' 8'			REMOVE REMOVE		1	RR	\mathbf{M}	ARD
+				REMOVE			county	· housin	g authority
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╞			70%	REMAIN REMAIN					
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+	30'	25'		REMAIN REMAIN					
╞	20' 25'	18'		REMOVE REMOVE					
Ŧ				REMOVE REMOVE	POOR CONDITON	SHE	ET TITLE		
1				REMAIN					
							TREE DIS		TION
							PL	_AN	
				Ν	GRAPHIC SCALE				
			/						
					SCALE= 1" = 30'	SHE	ET -		
			\backslash	,	NOTE: PRINTED DRAWING SIZE MAY HAVE			_D-1	U1
				\setminus /	CHANGED FROM ORIGINAL. VERIFY	-			

- SCOPE
- 1. The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner. 2. Contractor understands that an important element of the design of this project is meeting landscape ordinances
- with a design flare that includes symmetry, alignment, focal points and / or smooth curvilinear forms where applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans, Contractor shall immediately consult with Architect and/or Owner.
- Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish and install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details provided. Furnish and install soil, gravel, boulders, sod and mulch as specified in plans and notes below. 4. Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, seed, and mulch.

- BIDDING
- Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as Worker's Compensation
- 2. Contractors and Subs must ensure they are doing take offs from Bldg Dept.. Revised sets and / or Bid Set documents. Verify with this Office that you are bidding from latest available plans.
- 3. Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding.
- 4. When submitting an RFI reference sheet number, detail number and/or note category and number. 5. Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting their bid. Plant list pricing (if shown) is for permitting / mitigation comparison purposes only, any prices shown are to be disregarded by Landscape Contractor.
- 6. All Plant Material shall meet or exceed height and spread requirement. Heights are local code requirement and / or design intent related and always governs over container size. Container size given for reference only and must be sized-up to meet height requirements of plant list. Plant material available with excessive height beyond specifications must be consulted with Landscape Architect for design intent.
- All landscape material was confirmed to be available at time of design. Landscape contractor understands that some material may not be available locally, however is available in Tri-County Region. Plant material supply is the responsibility of the Landscape Contractor that is awarded the contract and he/she shall take steps to ensure availability at the time of installation. Bring to the attention of Landscape Architect if specific material is no longer available at the time of bidding and / or prior to actual construction. Substitutions must be approved prior to construction.
- 8. Pre-inspections of site required prior to bidding.
- 9. The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan and the quantities on the plant list shall be brought to the attention of the Landscape Architect for clarification. 10. All labor and material for soil amendments and fertilizer that is required to ensure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material from plant beds, in addition to fine grading and mulching all plant beds and individual trees shall be included in the contractor's bid to perform the work represented in this plan set.
- 11. Bid shall be itemized for possible value engineering. 12. Sod and Rocks (if specified) shall be estimated by scaling plans. Include price per square foot for sod. Rocks (include price per ton). Small rocks and gravel beds shall have landscape fabric material and minimum 4" depth. Boulders to be bid by unit.
- 13. All S.F. if noted is approximate and shall not be considered all inclusive; it is the contractor's responsibility to do his or her take off, submit price per S.F. and in the end, sod all areas that are not covered either by plants, mulch and/or rocks. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.
- 14. Final payment to the Contractor shall be for actual plants installed on the project. 15. Contractor shall be responsible for obtaining and paying for costs of all permits described in bid whether permit costs are reimbursable by owner or included in bid. Research permit status and research all permits and additional documentation and certifications required such as separate tree removal permit for example, and
- consider prior to bidding. 16. General / Landscape Contractor shall leave a 5% unforeseen conditions allowance such as for additional root barriers determined to be needed on site and as job progresses.
- 17. Refer to Section T, Watering, for supplemental watering requirement. 18. Landscape contractor is responsible for verifying all plant quantities prior to bidding and within 7 calendar days of receipt of these plans shall notify the landscape architect in writing of any and all discrepancies. In case of discrepancies, planting plans shall take precedence over plant list. No substitutions are to be made without prior consent of the Landscape Architect.
- GENERAL LANDSCAPE NOTES
- Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as reauired.
- 2. All landscaping shall be installed according to sound nursery practices. Contractor shall comply with federal, state and local laws and regulations pertaining to the inspection for plant disease and insect infestation.
- 3. All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive
- property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended. 4. The Landscape Contractor shall exercise caution to protect any existing sod, electrical and irrigation. Any
- damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner. 5. Tree, palm, accent shrubs and bed lines are to be located in the field and approved by the Landscape Architect /
- owner prior to planting. Landscape Contractor acknowledges that material planted without approval of location may be subject to relocation by Landscape Architect to maintain design intent if not followed properly. 6. All trees must be pruned as per Landscape Architect's direction.
- 7. In areas where asphalt is removed in order to receive landscape material, the lime rock sub-base material must also be removed and replaced with approved planting soil mix. 8. Landscape contractor is responsible for sending photographs to the landscape architect to pre-approve all trees,
- palms, and shrubs prior to delivery to project site. 2. Landscape contractor shall coordinate his or her work with that of the irrigation, landscape lighting, and hardscape contractor if different.
- 10. The landscape contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape contractor shall wait 7 days after pre-emergence treatment prior to planting.

PERMITS & REGULATIONS

- Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the governing authority prior to the issuance of the first building permit for the project.
- 2. Landscape contractor to call the local Landscape Inspector to schedule a pre-construction meeting prior to installation if required.
- 3. All mandatory requirements by local Landscape Departments and their inspectors shall govern and landscape contractor commits by accepting contract to comply promptly for builder/owner to obtain C.O.

TREE REMOVAL

- Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality.
- 2. Landscape Contractor is responsible to remove ALL invasive nuisance trees such as Brazilian Pepper, Melaleuca, Australian Pine and all invasive trees as categorized by the governing agencies, whether listed on plans or not.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the tree/palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, ground covers, sod and weeds within landscape areas.

EXISTING TREES

- Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs designated to remain that are scarred or destroyed will be replaced at the contractor's expense, per the appraised value.
- 2. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees and plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the
- root ball protected from direct sunlight, maintained and irrigated until new location is determined. 3. Prune trees to remove damaged branches and improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader.
- 4. Prune existing shrubs to remove damaged branches and improve natural shape. 5. Existing trees to remain shall be trimmed per Ansi-A300 standards. Supervision of the trimming shall be
- performed by an ISA Certified Arborist to ensure quality work. 6. All existing trees shall be "lifted and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian
- walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas. 7. Selective canopy and root pruning of existing trees can be conducted (only as necessary and in no event more than 35%) to accommodate for new approved construction. Pruning shall be conducted / supervised by an ISA Arborist.
- 8. If plans call for relocation of trees, palms or plants. High level of care should be exercised to assure that they are not damaged in the process and that they are promptly replanted upon being dug up. 9. All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must

- traverse the protection area, they shall be tunneled or bored under the tree. 10. Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to
- prevent siltation and/or erosion within the tree protection zone.
- narrow trencher with sharp blades, or other approved root pruning equipment.
- TREE RELOCATION (These notes for relocation trees only and if applicable) Tree Relocation process must be performed or supervised by ISA Certified Arborist.
- 4'-0" depth within a 6' radius.
- fronds above the bud and tie them loosely with jute twine to avoid damage. 4. Brace root pruned trees awaiting relocation. 5. Root prune $\frac{1}{3}$ rd of the root system, irrigate daily for 2 weeks then root prune another
- increase survival.
- or other fine organic material. Do not compact.
- 9. Maintain the soil moisture at field capacity throughout the six weeks. 10. Allow the plant to regenerate roots over a period of six weeks. 11. At the end of six weeks, prepare the planting pit at the new location. Overdig the hole diameter a minimum of 2'
- transplanting 12. With the consulting arborist present, undercut the entire root ball of the plants to be transplanted at a depth
- heavy equipment.
- lifting and moving operation.
- or Developer with approval of municipal / Landscape Inspector. 15. Experienced Tree Spade operator shall move tree or experienced tree mover shall choose best means and
- methods to strap and rig tree for transporting safely without damage to new location. period. Replace trees that do not meet this requirement with the same species, size, and quality or per mitigation
- requirements specific to the governing authority with jurisdiction. 17. Fertilize the plant as directed by the consulting arborist.
- 19. Cover the root ball area with 3" depth of organic mulch.
- times each inch of trunk diameter at breast height.
- fronds cut without damaging the bud.
- and the canopy kept moist.
- existing location. 26. The landscape Contractor is to verify that all new holes have appropriate percolation.
- 27. Padding the sling may be necessary so that the trunk or "boots" are not damaged. information.
- are not vertical when caused by winds less than 74 mph. month - three times per week, Third and Fourth months - two times per week, Last eight months - one time per week.
- months to six months three times per week, last six months one time per week.

H. SITE PREPARATION & GRADING

- project to provide for proper soil aeration for plant establishment.
- replaced with native soil having a ph range of 6.5 7.5, as approved by Landscape Architect.
- shall be de-compacted so that drainage is not impeded.
- and rubbish.
- to the native soils.
- extra caution to prevent any damage to the trunk, root zones and grade.
- to swales, if applicable.

IRRIGATION

- all individual trees in turf areas and all planting beds.
- landscaped areas and furnish and install a rain sensor. 4. Irrigation Contractor to adapt design to onsite conditions adjusting heads and changing nozzles as required to
- avoid overspray onto buildings or paved areas.
- district with jurisdiction shall be strictly adhered to.
- irrigation water that will not clog or stain property or components.
- J. HARDSCAPE & OTHER MATERIALS
- surfaces, unless otherwise indicated on the plans. Refer to details. K. UTILITIES / CLEARANCES
- irrigation lines.
- Landscape Architect and Owner.
- authority / Landscape Architect and Owner.

11. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw,

Flag all trees and palms to be transplanted with differentiating color than those to be saved or removed.

3. Water the root zones to field capacity for 5 continuous days before root pruning. At a minimum soak the soil to a Root prune a minimum of six weeks before relocation. Prune away all dead or damaged limbs or fronds. For

trees, prune out 1/3 of the existing canopy by selectively trimming small internal branches. For palms, gather

 $\frac{1}{3}$ rd, irrigate daily and prune last $\frac{1}{3}$ rd on actual relocation date, no less than two weeks (six weeks total minimum root pruning by stages). ISA Arborist on staff shall observe for intense shock. Canopy pruning may be deemed necessary by Arborist on staff to balance for intense root ball loss, canopy shall be trimmed only as necessary to

Root prune with proper clean equipment to sever roots. Ensure roots are not torn or pulled apart. With hand tools, dig a 2'-0" wide by 3'-0" deep trench at a minimum distance as determined by the consulting arborist to expose roots. Cut all roots 1.5" and larger in diameter with a clean, sharp pruning saw. Treat all cuts with a fungicidal barrier. Backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and sawdust

8. Form a rootball size in compliance with Florida grades and Florida standards number 1 or better.

beyond the root ball, with the recipient hole to be at least 1/3 larger than the area that was trenched for

specified by the arborist. The undercutting method may be a choker cable drawn through the root ball with

13. At the direction of a professional rigger, assemble slings, padding, guiding ropes and cables for attachment to the crane or backhoe. The professional rigger shall determine the size of machinery necessary to execute the

14. Install trees within 24 hours of removal from their original location to locations provided by Landscape Architect

16. Maintain trees in a healthy and vigorous condition during installation and throughout the plant establishment

18. When the plant is placed in the new location, backfill the planting pit with topsoil and water thoroughly to eliminate air pockets and compact the soil. Set the tree no deeper than its original condition.

20. Provide fungicide and fertility applications at the direction of the consulting arborist.

21. Post transplant watering to provide moisture and reduce any excessive stress due to root desiccation. Watering to be adjusted according to conditions and at the supervision and direction of the ISA certified arborist. 22. The diameter of the root--pruning or transplanting circle shall be at a distance away from the trunk equal to 12

23. For all palms except Sabal palmetto, the lower fronds shall be pruned leaving 9-11 fronds that can be tied without an extensive amount of weight that may damage the heart of the palm. The Sabal palmetto shall have all

24. Transplanting must occur within 24 hours after being dug for relocation. Trees/palms should be kept in shade

25. Digging and preparation of the new hole for the transplant shall be done prior to removing the tree from the

28. A 6" saucer shall be created around the edge of the plant pit to help hold water, see planting detail for additional

29. Over the guarantee period the Landscape contractor shall be responsible for resetting any trees or palms that 30. After transplanting trees and palms, the landscape contractor shall be responsible for obtaining water and watering to maintain soil moisture during the guarantee period at a minimum of: First month- daily, Second

31. For trees over 4" in caliper at the time of planting, the schedule should be: First six weeks, daily, one and a half

1. Landscape contractor shall loosen and till compacted soils that are overly compacted in all planting areas of the

2. Planted areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement. The planting areas should be clean to a depth equal to the root ball of the trees/palms proposed for the area. Planting area soils shall be tested for ph before planting. Soils showing high (alkaline) ph (over 7.5) shall be amended or

3. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment

4. Landscape Contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting. 5. Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material, debris,

6. General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading shall be provided by the Landscape Contractor. All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds and weed seeds. All lime rock shall be removed/cleaned down

7. The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials. 8. All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as "Tenax" orange safety fencing or similar, to be installed before the beginning of the project. Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take

9. Final grade within planting areas to be 4" below adjacent paved areas or top of curb. Sod areas to be 2" below. 10. All planting beds shall be shaped and sloped to provide proper drainage away from building and structures and

Any Irrigation Notes and specifications included in Irrigation Sheets govern over the following Irrigation Notes. 2. The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions for

3. Irrigation / Landscape contractor to guarantee 100% coverage and 50% overlap (head to head coverage) to all

5. The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting being finalized. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his or her expense. Water for plant establishment should be included in the cost of the plant.

6. All guidelines as outlined by the South Florida Water Management District (SFWMD) or water management 7. Irrigation water whether pumped from a lake or a well shall be treated for algae, rust, etc. to provide clean treated

8. Any existing irrigation system shall be retrofitted to comply with the specifications as outlined above.

1. Face of trees and palms to be located a minimum of 2' setback from all fences, walkways, walls, and paved

1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. The owner or Landscape Architect shall not be responsible for damage to utility or

2. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by

3. All canopy trees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing

4. Landscape contractor shall contact the county, governing authority and/or utility companies to locate all

underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities, and/or construction caused by utility damage, at no cost to the owner. 5. All plant material symbols shown on landscape plan shall be considered diagrammatic and should be adjusted in

- the field by contractor to avoid all utilities, and all other obstructions. 6. If/ When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, inc. Notification Center. In addition, call the Governing Agency's Utilities/Public Works Department. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start
- of work operations. 7. Above and below ground utilities shall be verified and located in the field by the contractor prior to commencing work in the project area. The contractor shall examine available utility plans and confirm conflicts between indicated or located utilities and landscape work. The contractor shall then notify the Project Engineer of said conflicts and the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations will
- be adjusted as necessary when in conflict with existing utilities. 8. The final plant locations may be adjusted, as approved / directed by the Landscape Architect in writing, to accommodate utilities compliance. Excavations within 5' of known utilities should be done by hand.
- 9. Contractor shall familiarize himself with the location of and avoid and protect utility lines, buried cables, and all other utilities, noted or not, on plans.
- 10. Leave clearance and access to all above ground or at grade meters and equipment. 11. Landscape planting shall be in conformance with FPL guidelines for setbacks from overhead utility lines.
- 12. Landscaping shall not interfere with light poles, fire hydrants, electrical/mechanical equipment access, signs, drainage structures, etc. Bring to the attention of Landscape Architect any conflicts.

ROOT BARRIERS

- Root barriers will be installed to protect building foundations, curbing, walkways, paved areas, roadway base material and utilities from existing large trees or proposed new trees that are within 5' of existing or new approved construction or as may be deemed necessary as job progresses.
- 2. Mechanical Root barriers will be used for large existing Canopy Trees and chemical type barriers will be used for new trees. 3. Mechanical Root barriers will be "DeepRoot" and Chemical Root barriers will be "Biobarrier". Substitutions must
- be of approved equal or better quality. Root barriers will be installed per manufacturer specifications.
- 5. Root barrier depths will be determined by the manufacturer recommended depth chart and as required by on-site conditions in a case by case basis as deemed necessary by Landscape Architect Architect / ISA Arborist and Landscape Inspector.

LANDSCAPE BACKFILL & SOIL AMENDMENT Μ.

- 1. All building construction material and foreign material shall be removed from the planting areas and replaced with 70/30 mix (70% sand / 30% organic compost) or amend existing soils per section H.2. 2. Planting soil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and shrubs, the top 6" of all shrubs and ground cover beds and top 2" of all grassed areas.
- This soil shall be tilled into the existing soil after the existing soil has been cleaned of all undesirable foreign materials. Recycled compost is encouraged as a soil amendment alternative. Planting soil to be weed free.
- 3. Planting backfill for palms shall be clean coarse native sand unless specified elsewhere. 4. Do not allow air pockets to form when backfilling. All trees shall be watered-in utilizing water probe or a tree bar.
- N. PLANT SIZE & QUALITY
- 1. All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size if both specifications given cannot be met. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance.
- 2. Material specified as Balled and Burlapped (B&B) can be accepted in container if not available as B&B at the discretion of Landscape Architect; if so, root bound and/or circling roots shall be removed and root ball must be proportionate to Tree / Palm.
- 3. U.O.N, All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
- 4. Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nursery Plants".
- 5. All trees and palms shall be free of open wounds and unsightly visible scars.
- 6. All substitutions must be approved by the governing authority if it is required Canopy and by Landscape Architect / Owner if supplementary accent material.
- 7. Contractor shall comply with Federal, State, and Local laws and regulations pertaining to the inspection for plant disease and insect infestation.
- 8. Trees, palms, shrubs, ground covers: Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 and 2, latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms shall be uniform in size and shape. All materials shall be subject to approval by the Landscape architect. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.
- 9. All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.
- 10. Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without resulting shock. 11. Root suckers on any tree are not acceptable and must be properly pruned.
- 12. Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than six feet in height. Contractor to supply photograph of trees prior to purchase and installation.

O. PLANTING NOTES

- 1. At the discretion of the Landscape Architect, plants are subject to review for approval for size, variety, condition and appropriateness to the design intent.
- 2. All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees are back
- 3. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of
- Landscape Architect in writing before commencing if this is not achievable with the design.
- 4. Set tree no deeper than it was in its original growing condition with the top of the root ball even with, or slightly higher (+/-1") than the finished grade.
- 5. All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. 6. All trees and palms shall be braced / staked per accepted standards by the Florida Nursery, Growers &
- Landscape Association (FNGLA). Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.
- 7. All trees, new or relocated, to be staked and guyed as detailed.
- 8. Layout shrubs to create a continuous smooth front line and fill in behind with triangular spacing.
- 9. Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1' wider than the spread of roots and 3" deeper than required for positioning at proper height. Compact a layer of topsoil in bottom before placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dished and bermed at edges of excavation. Apply 3" of mulch.
- 10. Groundcover and shrubs to be spaced in a uniform and consistent pattern per planting details. 11. All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by landscape shrubs.
- 12. Contractor shall not mark or scar trunks in any fashion.
- 13. When requested by Landscape Architect, demonstration of healthy root system if not previously approved, can include tree removal and re-installation for inspection at no additional cost to the owner. 14. Remove rejected Plant material from the Site immediately and replace with acceptable plants.
- P. FERTILIZATION
- 1. All Fertilization shall comply with state fertilization laws. Fertilization shall be Agriform "20-10-5 Plus minors" or similar approved slow-release tablets applied per manufacturer suggested application rate chart:

Agriform® 21-gm Tablets (SKU# 90026*; 500 tablets/case)

NEW Tree / Shrub Container Size 1 Gal 2 Gal 3 Gal 5 Gal 7 Gal 15 Gal 24" Box Installation: 1 1 to 2 2 to 3 2 to 3 3 to 5 7 to 10 15 to 24

- Place plant in the hole and backfill to halfway point. • Do not place tablets in the bottom of the planting hole.
- Place Agriform Tablets in the hole about 1 to 2 inches away from root tips.
- Finish filling the hole around the plant to grade level.
- SCOTTS: 1-800-492-8255 or visit www.scottspro.com

Q. SOD 1. All areas disturbed during construction shall be sodded with St. Augustine 'Seville' unless otherwise noted.

These disturbed areas shall have proper irrigation established or re-established if they were disrupted or non-functional.

- Landscape Contractor to supply and install 2" soil layer 50/50 mix blanket for all new sod areas. 2. All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Seville' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. Sod shall be strongly rooted, free from weed, fungus, insects and disease. Contractor shall be paid by the total sodded area x the unit price submitted (field verified). 3. Sod shall be machine stripped no more than 24 hours prior to laying.
- 4. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.
- R. SUBMITTALS
- 1. Submit 1 gallon container of all planting media for landscape architect review. Samples to include specified planting mix, topsoil, container planting mix (if applicable) and mulch.
- 2. Submit representative nursery photos of all Trees and Palms for review prior to delivery to the site. Include scale for heiaht.
- 3. Submit representative nursery photos of all shrub and groundcover material for review prior to delivery to the site.
- S. INSPECTION & ACCEPTANCE 1. Notify the governing Agency if required and Landscape Architect of commencement.
- 2. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect / Owner. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for
- inspection and approval by the Landscape Architect prior to final installation. 3. There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner. Contractor shall ensure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation installation is compliant to all items as directed on the plans prior to scheduling of the final inspection.
- 4. Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape Contractor.
- 5. No substitution of plant material, type or sizes will be permitted without prior written authorization from the Landscape Architect and owner.
- 6. To obtain final payment, Contractor must provide release of all mechanic's liens and material liens. T. MULCH
- 1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants. 2. Shredded approved organic mulch to be used beyond trunk in all directions and throughout all hedges and plant material
- 3. All trees in sodded areas shall have a clean cut 4' diameter mulch ring.
- 4. Preferred mulch is shredded melaleuca. Cypress, red, gold and green mulch is prohibited. 5. All mulch shall have a minimum 3" separation from the trunk of the tree/palm trunk to avoid rotting.
- U. WATERING
- 1. All plant material shall be watered in thoroughly at the time of planting.
- 2. It is the sole responsibility of the Landscape Contractor to ensure that all new plantings receive adequate water during the installation and until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to ensure proper plant establishment and development and shall be provided by Contractor as a part of this contract.
- V. CLEAN UP 1. The Landscape Contractor is responsible for maintaining all landscape planting areas until final acceptance of the owner.
- 2. The contractor is responsible for mowing the entire project during planting and establishment periods, based on mowing project once a month from October to April, and twice a month from April to October (During installation and plant establishment only and until final inspection and owner accepts and takes ownership).
- 3. Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses
- 4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
- W. MAINTENANCE
- 1. Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance. 2. The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until
- completion of contract or acceptance by landscape architect. Settled plants shall be reset to proper grade,
- planting saucers restored, and defective work corrected. 3. Trees and shrubs shall be maintained to keep clearance of stop signs and safety clearance for visibility at traffic intersection.

X. GUARANTEE & REPLACEMENT

1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and design for a period of not less than one (1) year from the time of final acceptance by the owner. Contractor shall replace any plants which die or wither within such period with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.

MISCELLANEOUS.

- 1. All work to be done in a professional manner.
- 2. No change order shall be valid, due or paid unless it is approved by Owner in writing in advance. 3. These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this document shall control.

ABBREVIATIONS IN NOTES AND PLANS

UNO = Unless Otherwise Noted L.A = Landscape Architect S.F. = Square Feet STD = Standard (single trunk) B&B = Balled and Burlapped BLDG DEP = Building Department RFI = Request for Information FPL= Florida Power & Light

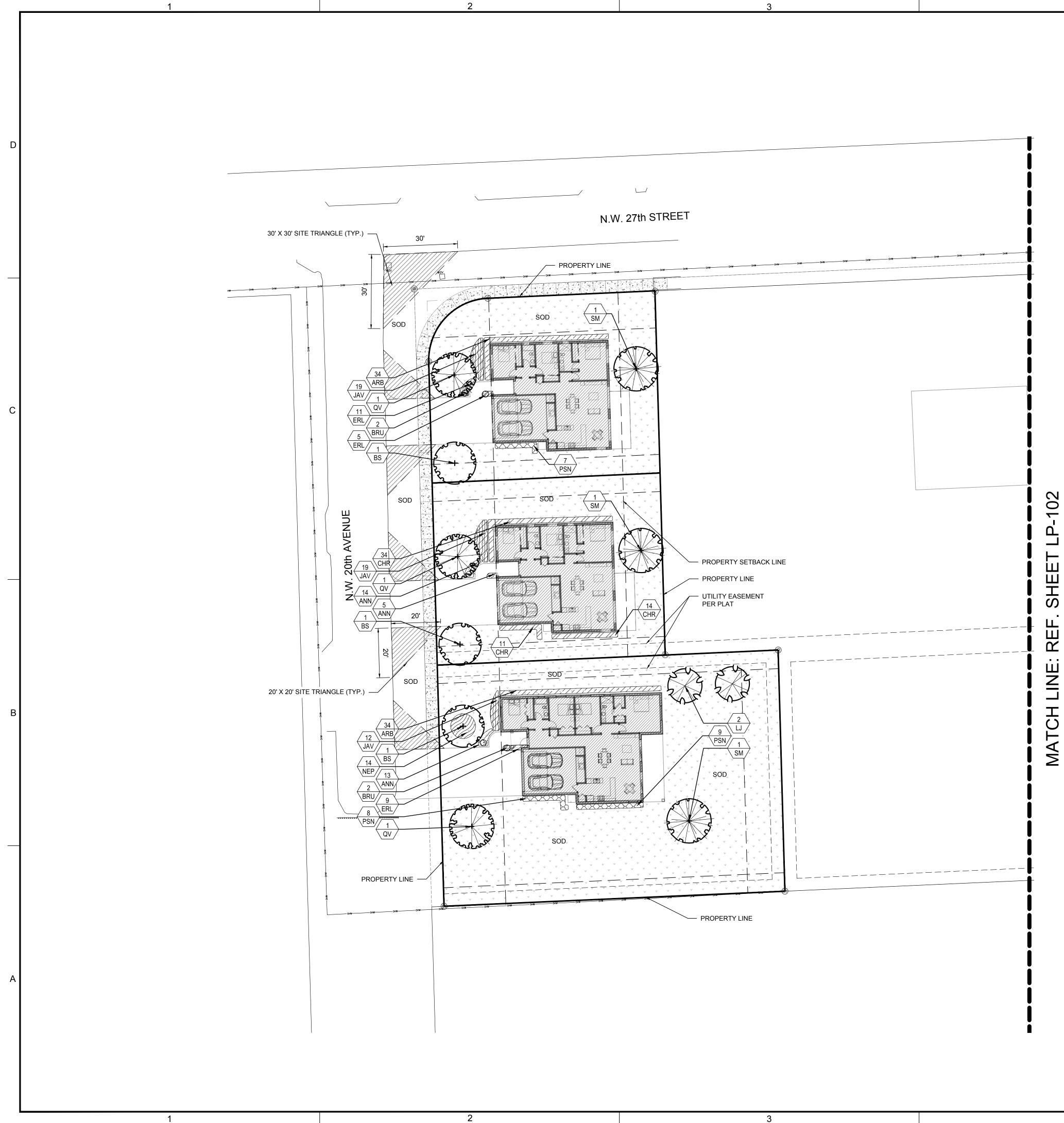
C.O. = Certificate of Occupancy ISA CA or ISA Arborist = International Society of Arboriculture Certified Arborist

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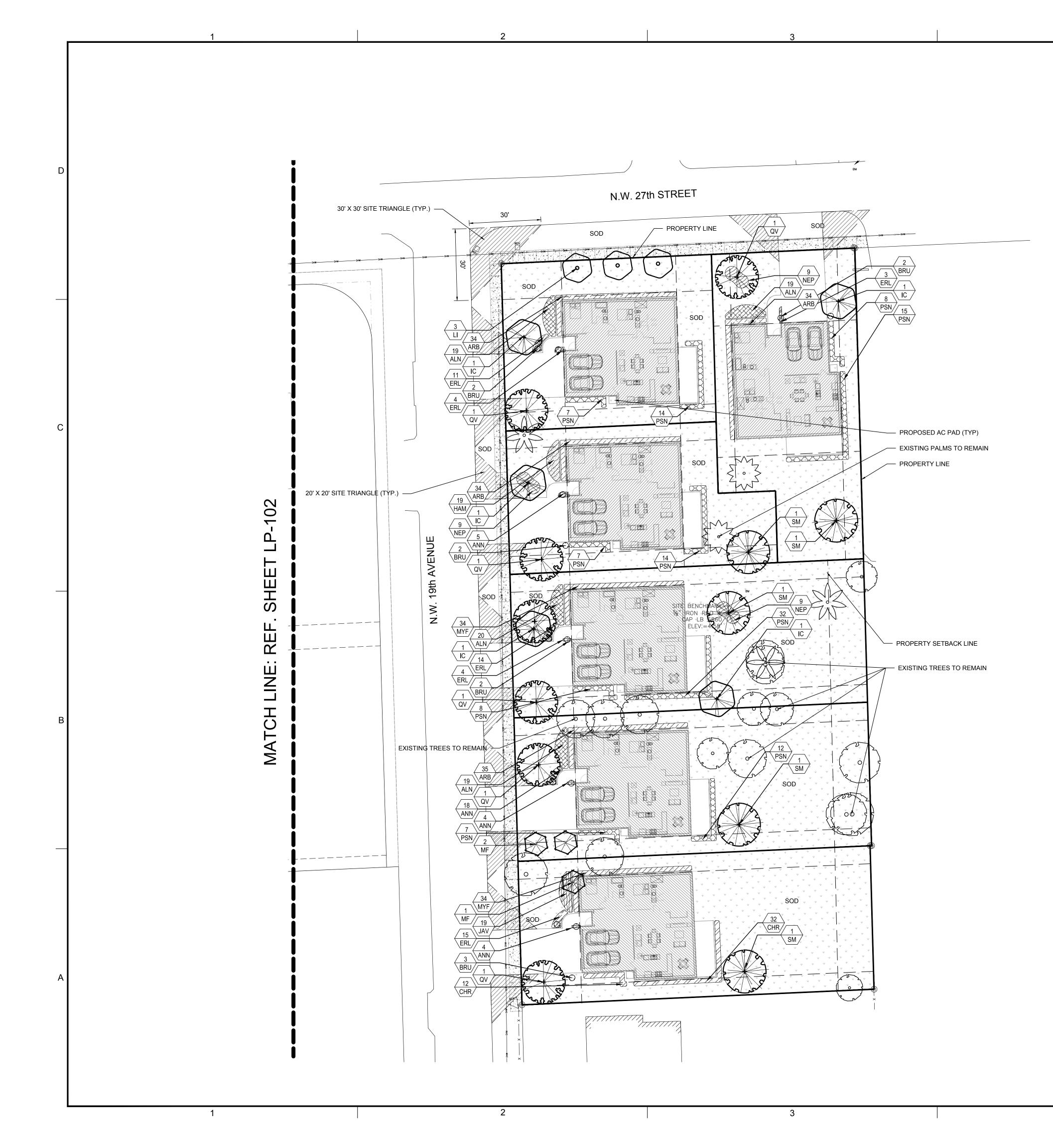
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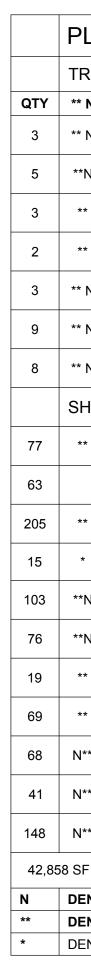
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	TRENC EES.	HING ALLOWE	D WITHIN ROOT ZON	ES OF EX	ISTING		ŀ	DESIG DRAW	NED BY: /N BY:		JR, MP JR
		GORY 1 EXOTI	C/NATIVE TREES TO I	BE REMO\	/ED PER		ŀ		KED BY:		MP
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	PLA	NT LIST									
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QTY	** N	KEY F	PLANT NAME		SIZE / RE	MARKS					
3	** N		Bursera simaruba GUMBO LIMBO		14' HT; 7' FULL CAN						
5	**N		lex cassine DAHOON HOLLY		12' HT; 6' FULL CAN						
3	**		agerstroemia indica CRAPE MYRTLE		10' HT; 5' MULTI-TF	-					
2	**	L	<i>igustrum japonicum</i> APANESE PRIVET		10' HT; 5' FULL CAN	SPRD;		– M FL	IICHAEL J ORIDA RE	J. PHILLIPS EG. NO. L/	S, R.L.A. A0001540
3	** N	ME N	Ayrcianthes fragrans		10' HT; 5' FULL CAN	SPRD;			(FOF	R THE FIRM	/)
9	** N		Quercus virginiana		14' HT; 7'	SPRD;		CLIEN	NT		
8	** N	SM S	OUTHERN LIVE OAK		FULL CAN 14' HT; 7'	SPRD;					
					FULL CAN	NOPY			~		
77	**		Vlamanda cathartica		24" ЦТ: 2	4" SPRD; 24" O.C.		-		ROW	ARD
77			OLDEN TRUMPET						cour	nty•housin	g authority
63		c	EASONAL ANNUALS		4" POT;						
205	**	ARB E	MERALD GREEN SCHEFI	FLERA		4" SPRD; 24" O.C.					
15	*	BRU	Chrysobalanus icaco `red tip		24" HT; 24			PROJ	ECT		
103	**N	F	RED TIP COCOPLUM			4" SPRD; 24" O.C.					
76	**N	ERL	Ernodea littoralis GOLDEN CREEPER		12" HT; 14	I" SPRD; 18" O.C.			E	BCHA	
19	**		lamelia patens 'dwarf' WARF FIREBUSH		24" HT; 24	4" SPRD; 24" O.C.				AND P	
69	**		asminum volubile VAX JASMINE		10" HT; 16	6" SPRD; 24" O.C.		l		AND L	OTS
68	N**		Iyrcianthes fragrans IMPSON'S STOPPER		24" HT; 24	4" SPRD; 24" O.C.					
41	N**		lephrolepis exaltata OSTON FERN			I" SPRD; 24" O.C. D NATIVE ONLY					
148	N**		sychotria nervosa VILD COFFEE		24" HT; 24	4" SPRD; 24" O.C.		SHEE			
42,85	58 SF		ST. AUGUSTINE 'FLOR	ATUM'	SOLID SC	D					
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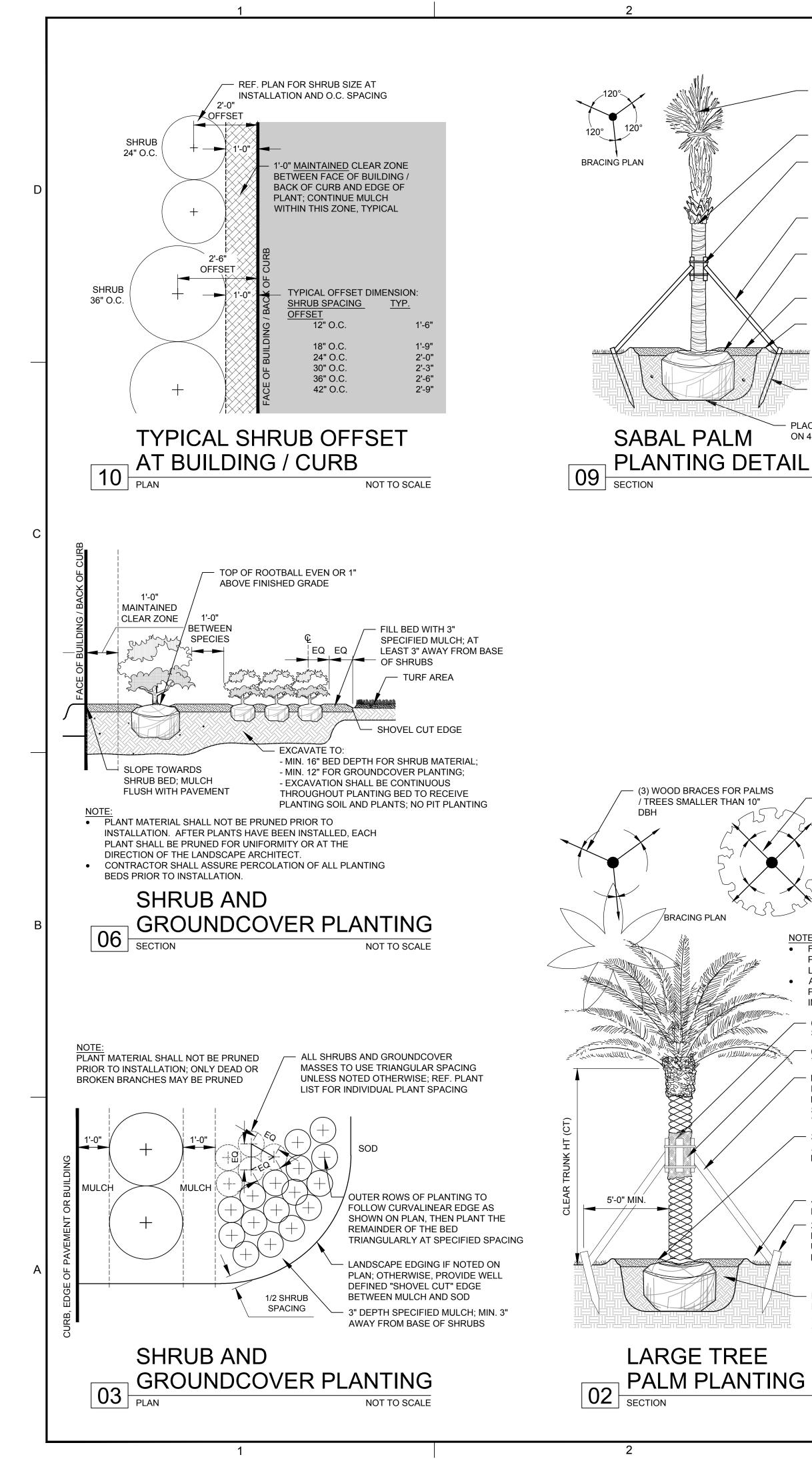
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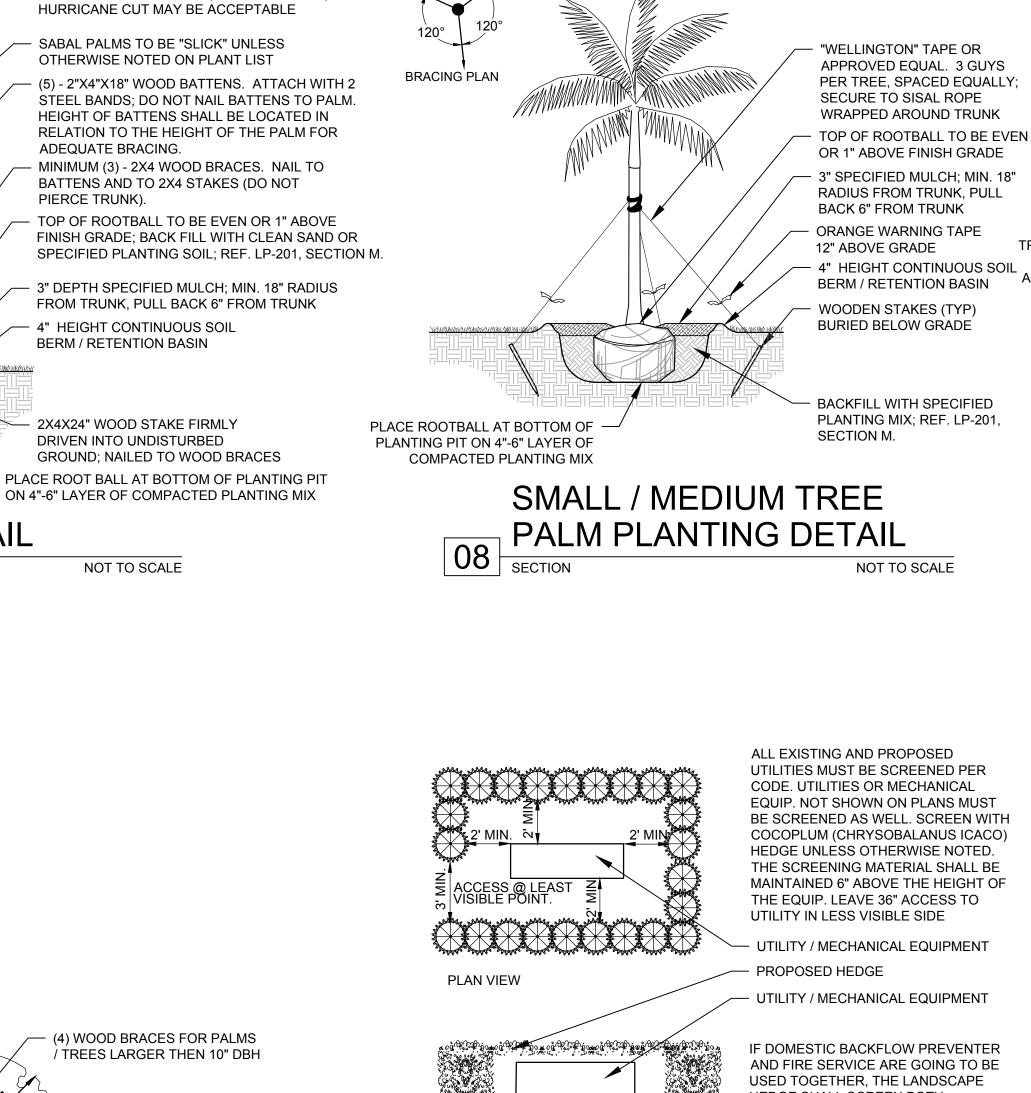


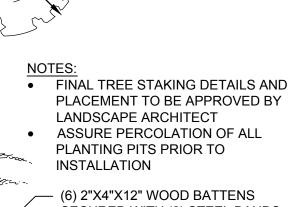


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UV SOUTHERNUME DAX FULL CANOPY SM Switching instraigon? 14" HT, 7" SPRD; ALN Allerrandia catholic 24" HT; 24" SPRD; 24" O.C. ANN SASSONAL ANNULLS 4" POT; 12" O.C. ARB Schefflera antropolic 24" HT; 24" SPRD; 24" O.C. BRU Bruides autorialis 4" POT; 12" O.C. ARB Schefflera antropolicula 24" HT; 24" SPRD; 24" O.C. BRU Bruides autorialis 24" HT; 24" SPRD; 24" O.C. CHR Chopedianus isono fibration 24" HT; 24" SPRD; 24" O.C. FEL ENDERNAL DOARGON 24" HT; 24" SPRD; 24" O.C. JAV WAX JASMINE 10" HT; 16" SPRD; 24" O.C. JAV WAX JASMINE 10" HT; 14" SPRD; 24" O.C. JAV WAX JASMINE 10" HT; 14" SPRD; 24" O.C. JAV WAX JASMINE 10" HT; 14" SPRD; 24" O.C. JAV WAX JASMINE 10" HT; 14" SPRD; 24" O.C. JAV MAX JASMINE 10" HT; 14" SPRD; 24" O.C. SIME DROUGHT TOLERANT SPECIES 24" HT; 24" SPRD; 24" O.C. SI HOH DROUGHT TOLERANT SPECIES 24" HT; 24" SPRD; 24" O.C. SI HOH DROUGHT TOLERANT SPECIES 24"		PEK		∣ –	× ×	xivi)
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ARR SEASONAL ANNUALS CHAR & CRU ARB Scheffing arbritopic Bernaldo GREen SCHEFFLERA 24" HT; 24" SPRD; 24" O.C. BRU Brundesia australia GUDEN CREEPER 24" HT; 24" SPRD; 24" O.C. CHR Chrysobalanus icaco 'red ipi' RED TP'C COCPULM 24" HT; 24" SPRD; 24" O.C. IERL GOLDEN CREEPER 12" HT; 14" SPRD; 24" O.C. JAV Javin run volbile 10" HT; 16" SPRD; 24" O.C. JAV Javin Preseduation of the participation of the particated of the participation of the participation of the p	ANN Annuals		4" POT: 12" 0 C		county · hous	ing author
ARB EMERALD GREEN SCHEFFLERA 24 " HT; 24 "SPR0; 24 " 0.C. BRU Brantistia australis 24" HT; 24" SPR0; CHR Chrysobalmus (aco 'red tip' RED TP COCOPLUM 24" HT; 24" SPR0; 24" 0.C. ERL Emodes littorials GOLDEN CREEPER 12" HT; 14" SPR0; 18" 0.C. HAM Hamolia patons twarf 24" HT; 24" SPR0; 24" 0.C. JAV Jasminum volubile 10" HT; 16" SPR0; 24" 0.C. JAV Jasminum volubile 10" HT; 14" SPR0; 24" 0.C. MYF Myrolanthes fragans SMM*SONS STOPPER 24" HT; 24" SPR0; 24" 0.C. NEP BoSTON FERN 24" HT; 24" SPR0; 24" 0.C. SoD ST. AUGUSTINE 'FLORATUM' SOLD SOD ES NATIVE SPECIES ES SMODERATE DROUGHT TOLERANT SPECIES ES MOTE: PRINTED DRAWING SIZE MAY HAVE CHARGED FROM ORGINAL, VERIFY NOTE: PRINTED DRAWING SIZE MAY HAVE END HERD NOTE: PRINTED DRAWING SIZE MAY HAVE END HERD MID LIFERT LP-102 </td <td>SEASUNAL ANNU</td> <td></td> <td>·</td> <td></td> <td></td> <td></td>	SEASUNAL ANNU		·			
BRU YESTERDAY, TODAY & TOMORROW 24" HT; 24" SPRD; CHR Chrysbalanus (aco 'red lip' GOLDEN CREEPER 24" HT; 24" SPRD; 24" O.C. ERL Ernodea littoralis GOLDEN CREEPER 12" HT; 14" SPRD; 18" O.C. JAV Jasmirum volubile WAX JASMINE 10" HT; 16" SPRD; 24" O.C. JAV Jasmirum volubile Wirdianthes fragrans SIMPSONS STOPPER 24" HT; 24" SPRD; 24" O.C. NEP Nephrolepis exatuata SIMPSONS STOPPER 24" HT; 24" SPRD; 24" O.C. OD ST. AUGUSTINE 'FLORATUM' SOLID SOD SS NATIVE SPECIES SHIGH DROUGHT TOLERANT SPECIES SMODERATE DROUGHT TOLERANT SPECIES SCALE= 1" = 20' NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM OR SIZE MAY HAVE SHEET LP-102	ARB EMERALD GREE	SCHEFFLERA	24" H1; 24" SPRD; 24" O.(
CHR RED TIP COCOPUID 24" HT; 24" SPRD; 24" O.C. ERL Ernodea fitoralis GOLDEN CREEPER 12" HT; 14" SPRD; 18" O.C. HAM Hamelia patens' (Wardf') 24" HT; 24" SPRD; 24" O.C. JAV Jasminum volubile 10" HT; 16" SPRD; 24" O.C. MYF Myrcianthes fragrans 24" HT; 24" SPRD; 24" O.C. MYF Myrcianthes fragrans 24" HT; 24" SPRD; 24" O.C. NEP Nephrolepis exatlata 12" HT; 14" SPRD; 24" O.C. OSTON FERN 24" HT; 24" SPRD; 24" O.C. CERTIFIED NATIVE ONLY Solid Sod SND ST. AUGUSTINE 'FLORATUM' SOID ST. AUGUSTINE 'FLORATUM' Solid Sod SS MODERATE DROUGHT TOLERANT SPECIES SHEET TITLE LANDSCAPE PLAN SHEET TITLE NET HIGH DROUGHT TOLERANT SPECIES SHEET TITLE SMODERATE DROUGHT TOLERANT SPECIES SCALE= 1" = 20' NOTE: PRINTED DRAWING SIZE MAY HAVE SHEET LP-102 NUMBER LP-102	BRU YESTERDAY, TO	AY,& TOMORROW	24" HT; 24" SPRD;			
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JAV WAX JASMINE I/O 'H1; 16' SPRD; 24' O.C. MYF Myrcianthes fragrans SIMPSON'S STOPPER 24'' HT; 24'' SPRD; 24'' O.C. NEP Nephrolepis exaitata DOSTON FERN 12'' HT; 14'' SPRD; 24'' O.C. SOD ST. AUGUSTINE 'FLORATUM' SOLID SOD SS NATIVE SPECIES SHIGH DROUGHT TOLERANT SPECIES SIMODERATE DROUGHT TOLERANT SPECIES SCALE = 1'' = 20' NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORGINAL VERIFY SHEET LP-102	DWARF FIREBUS		· · ·			
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NEP BOSTON FERN CERTIFIED NATIVE ONLY PSN Psychotria nervosa WILD COFFEE 24" HT; 24" SPRD; 24" O.C. SOD ST. AUGUSTINE 'FLORATUM' SOLID SOD ESS NATIVE SPECIES ESS MODERATE DROUGHT TOLERANT SPECIES ESS MODERATE DROUGHT TOLERANT SPECIES ESS MODERATE DROUGHT TOLERANT SPECIES ESS MODERATE DROUGHT TOLERANT SPECIES SCALE = 1" = 20' NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL VERIFY SHEET LP-102			24" HT; 24" SPRD; 24" O.0			
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NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY						
CHANGED FROM ORIGINAL. VERIFY						102
			CHANGED FR	DRIGINAL. VERIFY		







(6) 2"X4"X12" WOOD BATTENS SECURED WITH (2) STEEL BANDS - (4) LAYERS OF BURLAP

PRUNE AND TIE FRONDS TOGETHER WITH

BIO-DEGRADABLE TWINE (MIN. 6-8 FRONDS);

TO PROTECT TRUNK MINIMUM OF (3) 4X4 WOOD BRACES. NAIL TO BATTENS (DO NOT PIERCE TRUNK) AND TO 2X4 STAKES. USE (4) 4X4 BRACES FOR TREES / PALMS OVER 10" DBH

- 3" DEPTH SPECIFIED MULCH; 6" AWAY FROM TRUNK; MINIMUM 18" RADIUS AROUND TRUNK OF TREE

— 4" HEIGHT CONTINUOUS SOIL **BERM / RETENTION BASIN** - 2X4X24" WOOD STAKE FIRMLY DRIVEN INTO UNDISTURBED GROUND; NAILED TO WOOD BRACES

BACKFILL WITH SPECIFIED PLANTING MIX; REF. LP-201, SECTION M; (FOR DATE PALMS, BACKFILL WITH CLEAN SAND)

PALM PLANTING DETAIL NOT TO SCALE

SECTION VIEW **TYPICAL SCREEN FOR** \neg UTILITIES / MECH. EQUIP.

BRACING PLAN

WRAPS OF SISAL OR

MATERIAL KNOTTED

BIODEGRADABLE

AND SECURED TO

TRUNK; SECURE TO

MIN (2) INNER /

LARGER CANES

PLACE ROOTBALL AT

ON 4"-6" LAYER OF

BOTTOM OF PLANTING PIT

3

COMPACTED PLANTING MIX

HEDGE SHALL SCREEN BOTH DEVICES.

4

MULTI-TRUNK TREE, MIN. 3-5 CANES (TREES TO BE B&B UNLESS SPECIFIED OTHERWISE ON PLAN)

NOT TO SCALE

"WELLINGTON" TAPE OR APPROVED EQUAL. 3 GUYS PER TREE, SPACED EQUALLY AND LOCATED ABOVE THE FIRST LATERAL BRANCHES TOP OF ROOTBALL TO BE EVEN

OR 1" ABOVE FINISH GRADE 3" SPECIFIED MULCH; MIN. 18" RADIUS FROM TRUNK, PULL BACK 6" FROM TRUNK

- ORANGE WARNING TAPE 12" ABOVE GRADE - 4" HEIGHT CONTINUOUS SOIL

BERM / RETENTION BASIN / REBAR (#3) OR WOODEN

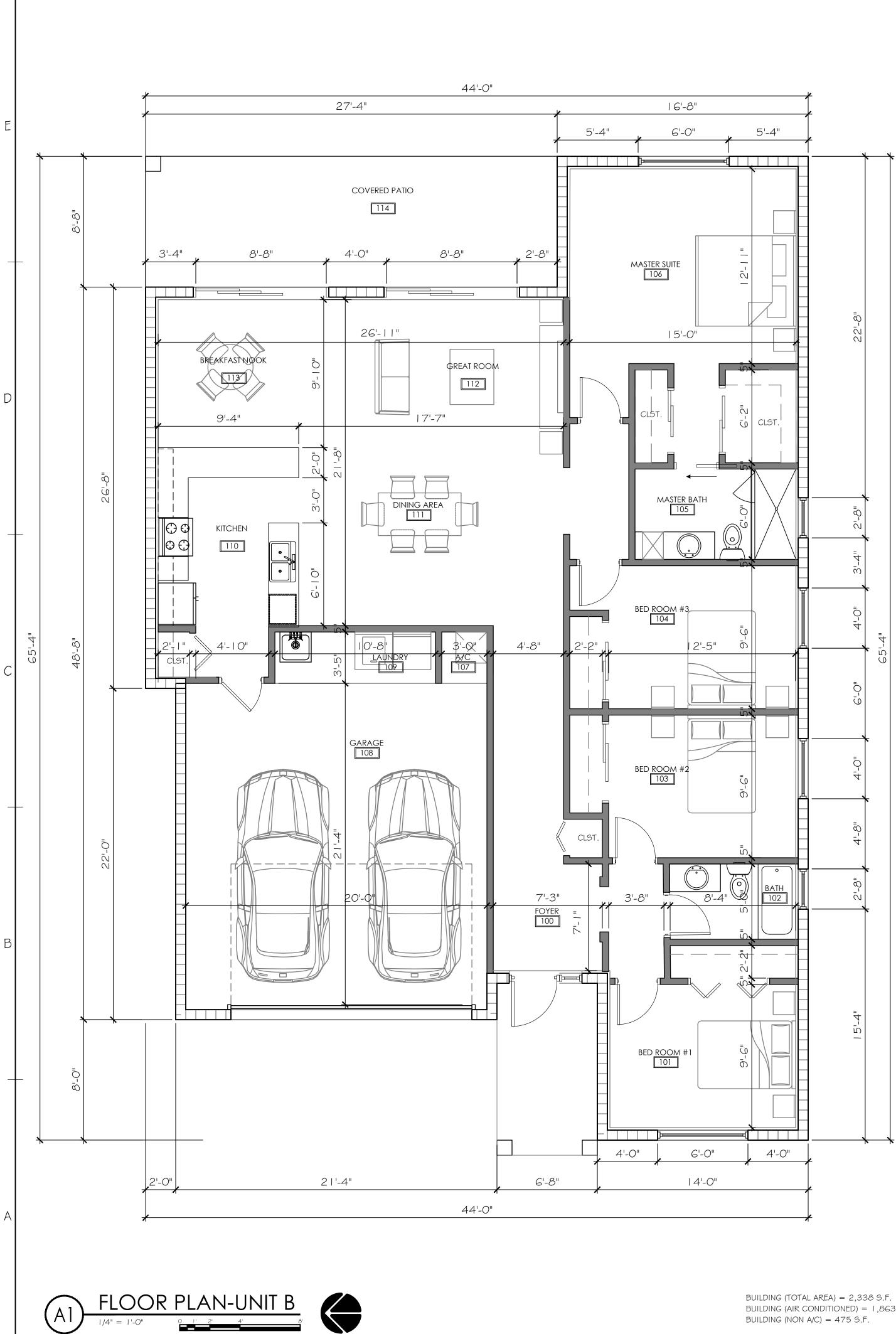
STAKES (TYP) BURIED BELOW GRADE

- BACKFILL WITH SPECIFIED PLANTING MIX; REF. LP-201, SECTION M. ONCE INSTALLED, REMOVE 1/3 BURLAP AND ALL WIRE AND NON-BIODEGRADABLE MATERIAL FROM THE ROOTBALL

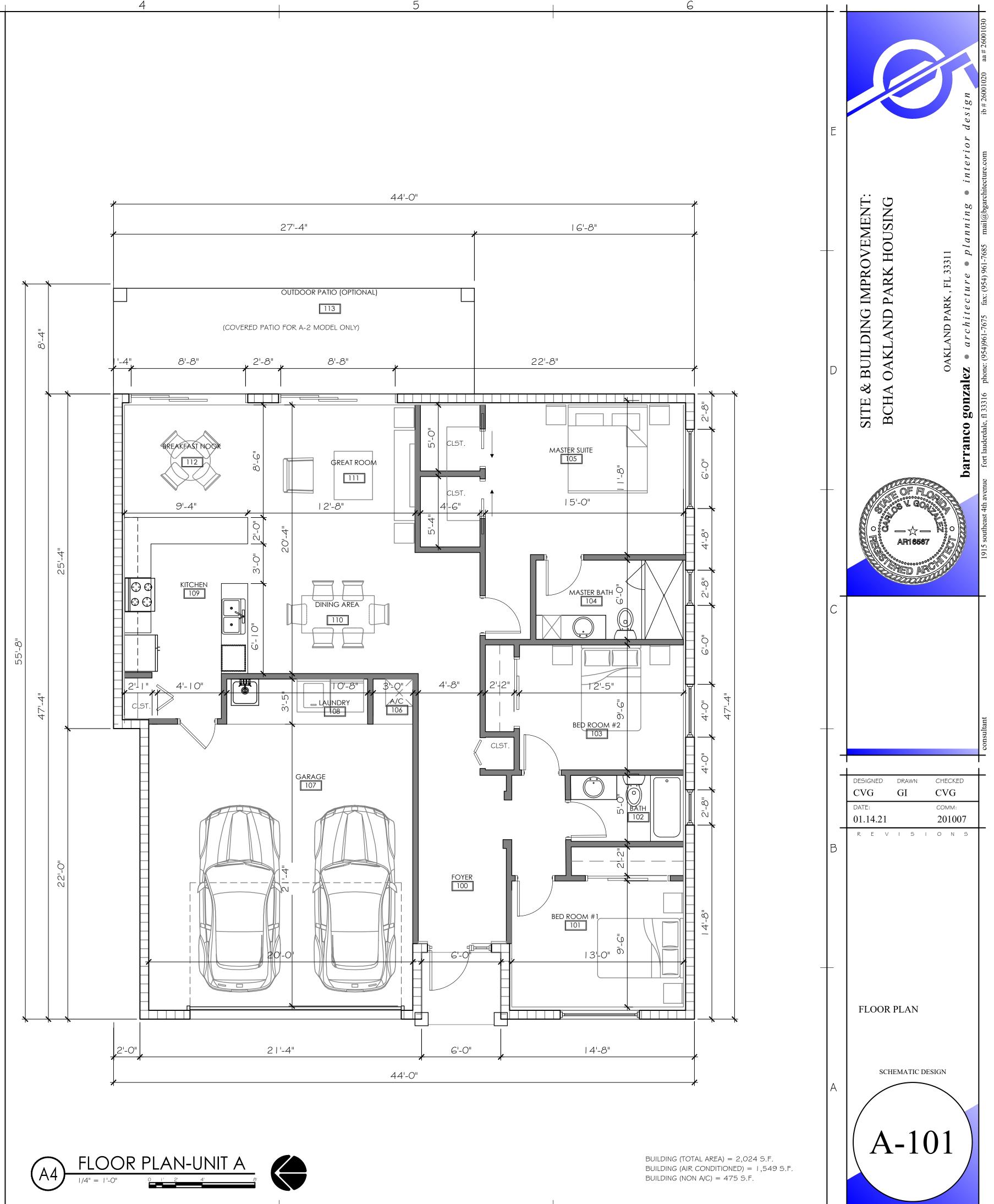
NOT TO SCALE

MULTI-TRUNK TREE PLANTING DETAIL

5	
SINGLE LEADER IND CO-DOMINANT LEADE INCLUDED BARK UNCLESS PECFIED O ON PLAN WELLINGTON TARE PROVED E SISAL OR BIODEGRADABLE MATERIAL RAPPO OF SISAL OR BIODEGRADABLE MATERIAL RAPOR OF SISAL OR BIODEGRADABLE MATERIAL BIODEGRADABLE MATERIAL BOOK FINISTIC LATERAL BRANCHES DACE FINISTIC LATERAL B	38B THERWISE OR GUYS QUALLY ETHE CHESS; OP DE CHES; OR GRADE MIN, 18" C, PULL C APE DUS SOIL ASIN DEN DO IFIED .P-201, MOVE 1/3 E AND SROTBALL PRELIMINARY PLAN MOVE 1/3 E AND BROOTBALL PRELIMINARY PLAN MOVE 1/3 E AND BROOTBALL PRELIMINARY PLAN NOT FOR CONSTRUCTION THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER ISSUE DATE:
EFFER TO PLANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) REVERTER TO PLANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) REVERTER TO PLANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) REVERTER TO PLANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) REVERTER TO FURTHING FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) MANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) MANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) MANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) MANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) MANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) MANE FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) FOR OF PAVEMENT (FURTHING) MANE FOR OF PAVEMENT (FURTHING)	CHECKED BY: MP BID-CONTRACT: MICHAEL J. PHILLIPS, R.L.A. FLORIDA REG. NO. LA0001540 (FOR THE FIRM) CLIENT T
NOTE: • REF. LP-201, LANDSCAPE NOTES, FOR ADDITIONAL REQUIREMENTS. • ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLAT	NTS. SHEET LP-501
	NUMBER 10659.01
5	



BUILDING (AIR CONDITIONED) = 1,863 S.F.



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