

BCHA OAKLAND PARK

1900 AND 2000 BLOCK OF NW 27TH STREET CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA



RELATIONSHIP BETWEEN
NGVD 1929 AND NAVD 1988

DATUM	DIFFERENCE	ELEV.
NGVD 1929	+1.50 FEET	1.50'
NAVD 1988		0.00'

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON NAVD 1988 DATUM

LAND DESCRIPTION:

LOTS 1 AND 5, PIEPHO SUBDIVISION ACCORDING TO THE MAP
OR PLAT THEREOF AS RECORDED IN PLAT BOOK 87, PAGE 38,
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

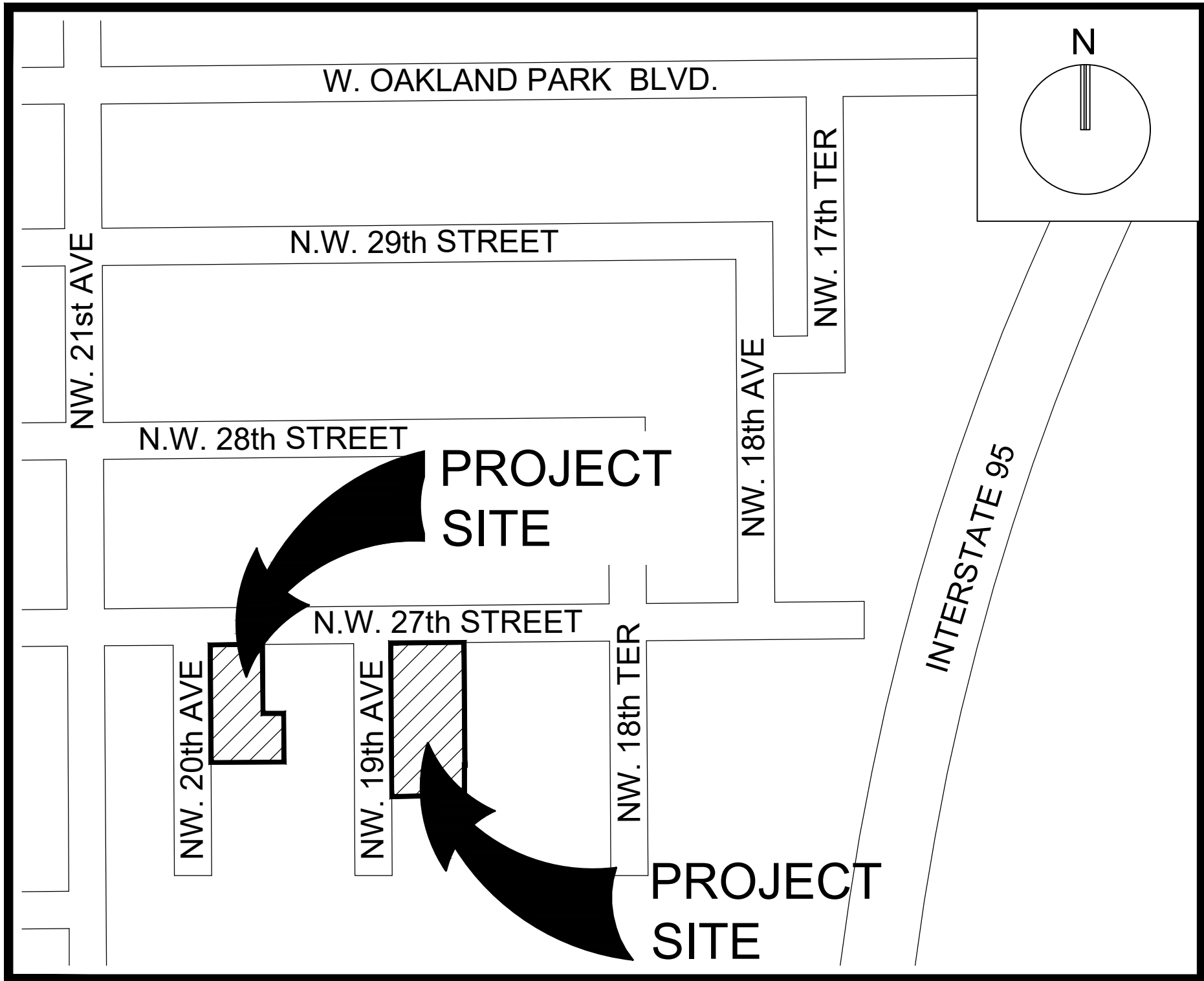
LOT 5 AND THE NORTH 60 FEET OF THE WEST ONE-HALF OF
LOT 7, BLOCK 2, GEDEON SUBDIVISION, ACCORDING TO THE
MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 21,
PAGE 24, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN FLOOD ZONE AE
WITH A BASE FLOOD ELEVATION OF 7 FEET, AS
SHOWN ON F.I.R.M. NUM. 12011C0366J, BEARING A
MAP EFFECTIVE DATE OF 12/31/2019.



THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.



LOCATION MAP
SECTION 28, TOWNSHIP 49 S, RANGE 42 E
FOLIO #494228010150, 494228230010,
494228230050

PREPARED FOR:
BARRANCO GONZALEZ ARCHITECTURE
1915 SOUTHEAST 4TH AVENUE, FORT
LAUDERDALE, FL 33316

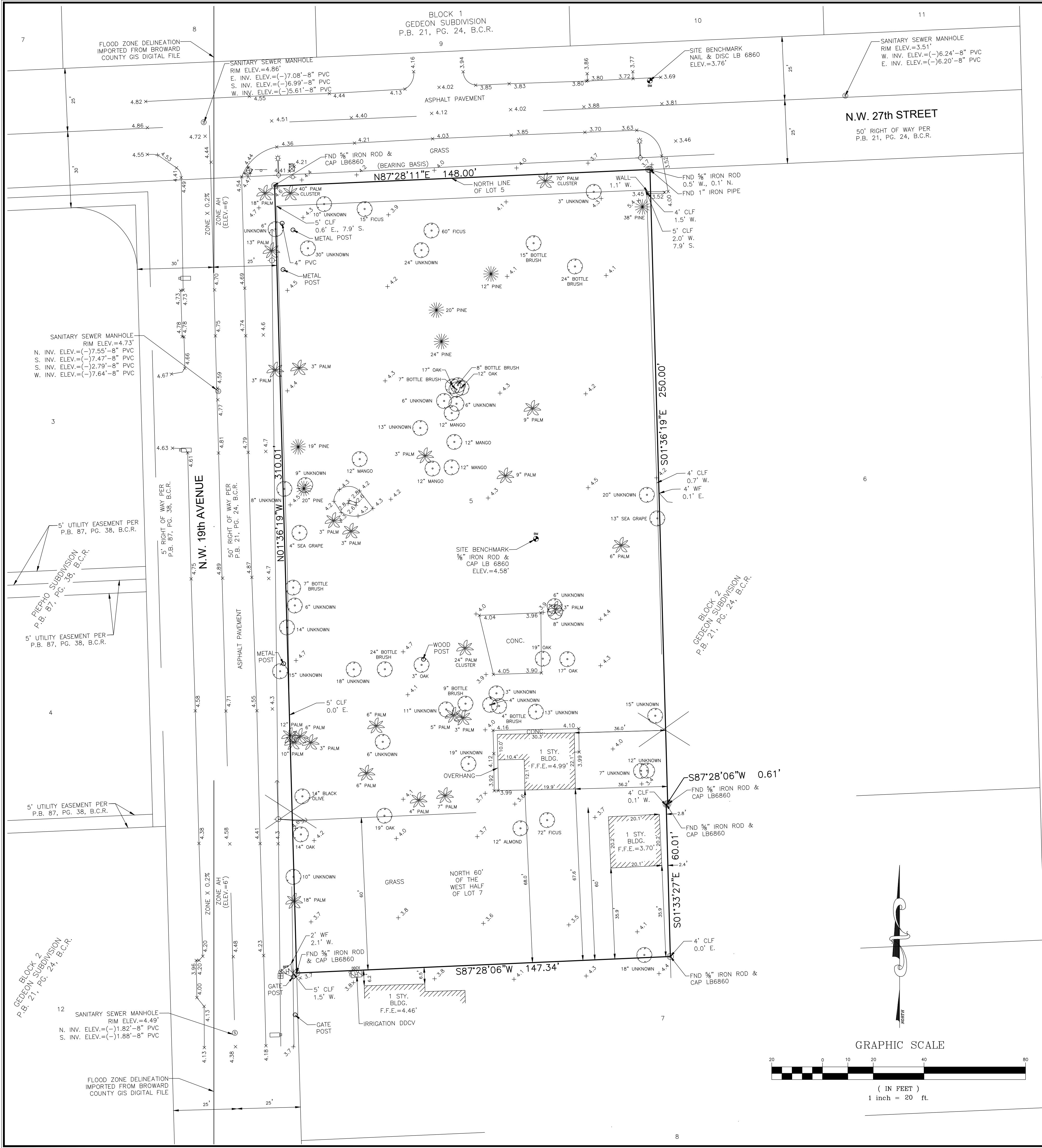
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FLOOD INFORMATION	
2014 FEMA 100 Year Flood Map	6.00' (NAVD)
Preliminary 2021 FEMA 100 Year Flood Map	7.00' (NAVD)
BC 100 Year 2060 Future Flood Elevation	7.00' (NAVD)
Highest Crown of Road for West Parcels	5.35' (NAVD)
Highest Crown of Road for East Parcels	4.86' (NAVD)
Finished Floor Elevation	8.00' (NAVD)



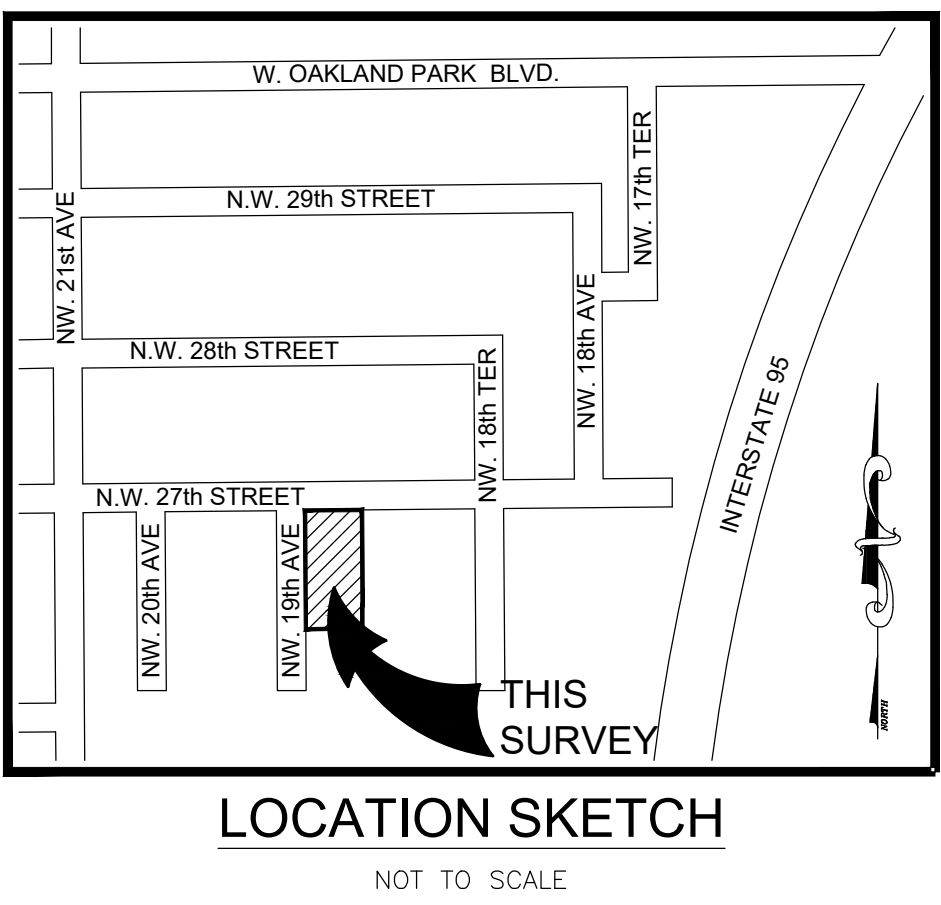
THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

PROJECT No. 10659.01 DATE: 04-08-2021



LEGEND:

- B.C.R.
BFP
BLDG.
BM
CLF
CONC.
DDCV
ELEV.
F.F.E.
FND
INV.
LB
P.B.
PG.
PVC
STY.
TYP.
WF
- BROWARD COUNTY RECORDS
BACK FLOW PREVENTER
BUILDING
BENCHMARK
CHAIN LINK FENCE
CONCRETE
DOUBLE DETECTOR CHECK VALVE
ELEVATION
FINISHED FLOOR ELEVATION
FOUND
INVERT
FLORIDA LICENSED BUSINESS NUMBER
PLAT BOOK
PAGE
POLYVINYL CHLORIDE PIPE
STORY
TYPICAL
WOOD FENCE
BENCHMARK
GUY ANCHOR
MAILBOX
METAL POST
PALM TREE
SHADE TREE
PINE TREE
SINGLE POST SIGN
SANITARY SEWER MANHOLE
WOOD UTILITY POLE
BACK FLOW PREVENTER
DOUBLE DETECTOR CHECK VALVE
FIRE HYDRANT
WATER VALVE
WOOD LIGHT POLE
WATER METER
- CHAIN LINK FENCE
WOOD FENCE
OVERHEAD LINES
TOP OF BANK
TOP OF SLOPE



AREA:

45,837 SQUARE FEET OR
1.052 ACRES MORE OR LESS.

SURVEY NOTES:

- THE LAND DESCRIPTION SHOWN HEREON IS PER THE INSTRUMENT OF RECORD.
- NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OR AN ENCRYPTED DIGITAL SIGNATURE OF A FLORIDA PROFESSIONAL SURVEYOR AND MAPPER.
- IT IS A VIOLATION OF THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN ALONG THE NORTH LINE OF LOT 5, BLOCK 2, GEDEON SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21, PAGE 24, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA BEING NORTH 87°28'11" EAST.
- THE OWNERSHIP OF FENCES, PERIMETER WALLS AND/OR HEDGES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS. FENCES, HEDGES AND/OR PERIMETER WALLS ARE SHOWN IN THEIR RELATIVE POSITION TO THE BOUNDARY.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). SAID ELEVATIONS ARE BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) BENCHMARKS FOR THE I-95 CORRIDOR. "BM 2173" IS AN AERIAL TARGET NAIL & DISK ELEVATION = 8.76 FEET (NAVD) AND "BM 2174" IS AN AERIAL TARGET NAIL & DISK ELEVATION = 9.39 FEET (NAVD88).
- FEATURES AND LINE WORK SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN HORIZONTAL DATUM OF 1983 WITH THE 2011 ADJUSTMENT APPLIED (83/NSRS11), TRANSVERSE MERCATOR, FLORIDA EAST ZONE.
- THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ±0.03' FOR HARD SURFACE ELEVATIONS AND ±0.1' FOR SOFT SURFACE ELEVATIONS.
- THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL AND MAY BE ALTERED FOR CLARITY. DISTANCES AND ELEVATIONS SHOWN HEREON ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED. THE EXPECTED HORIZONTAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ±0.1'.
- THE INTENDED DISPLAY SCALE FOR THIS SURVEY IS 1"=20' OR SMALLER.
- ALL MAPPED FEATURES AND ELEVATIONS SHOWN HEREON WERE OBTAINED BY KEITH AND ASSOCIATES FOR THE PURPOSE OF THIS SURVEY.
- OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER, A SUBSURFACE INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS DO EXIST.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12011C0366H EFFECTIVE DATE AUGUST 18 2014, THIS PROPERTY LIES IN THIS PROPERTY LIES IN ZONE AH, BASE FLOOD ELEVATION (6'). LINES IMPORTED FROM BROWARD COUNTY GIS FILE.

LEGAL DESCRIPTION:

LOT 5 AND THE NORTH 60 FEET OF THE WEST ONE-HALF OF LOT 7, BLOCK 2, GEDEON SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 21, PAGE 24, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THE INFORMATION AS SURVEYED UNDER MY DIRECTION ON DECEMBER 21, 2020, MEETS THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

KEITH & ASSOCIATES, INC.
CONSULTING ENGINEERS

WILLIAM ARATA
PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION No. 5082
STATE OF FLORIDA

DATE	REVISION	BY
12/22/20	UPDATED SURVEY	S.M.

DATE	5/18/19
SCALE	1" = 20'
FIELD BOOK	852/881
DRAWN BY	DOB
CHECKED BY	LP

KEITH

301 EAST ATLANTIC BOULEVARD
POMPANO BEACH, FLORIDA 33060-6643
(954) 788-3400 FAX (954) 788-3500
EMAIL: mail@KEITHteam.com LB NO. 6880

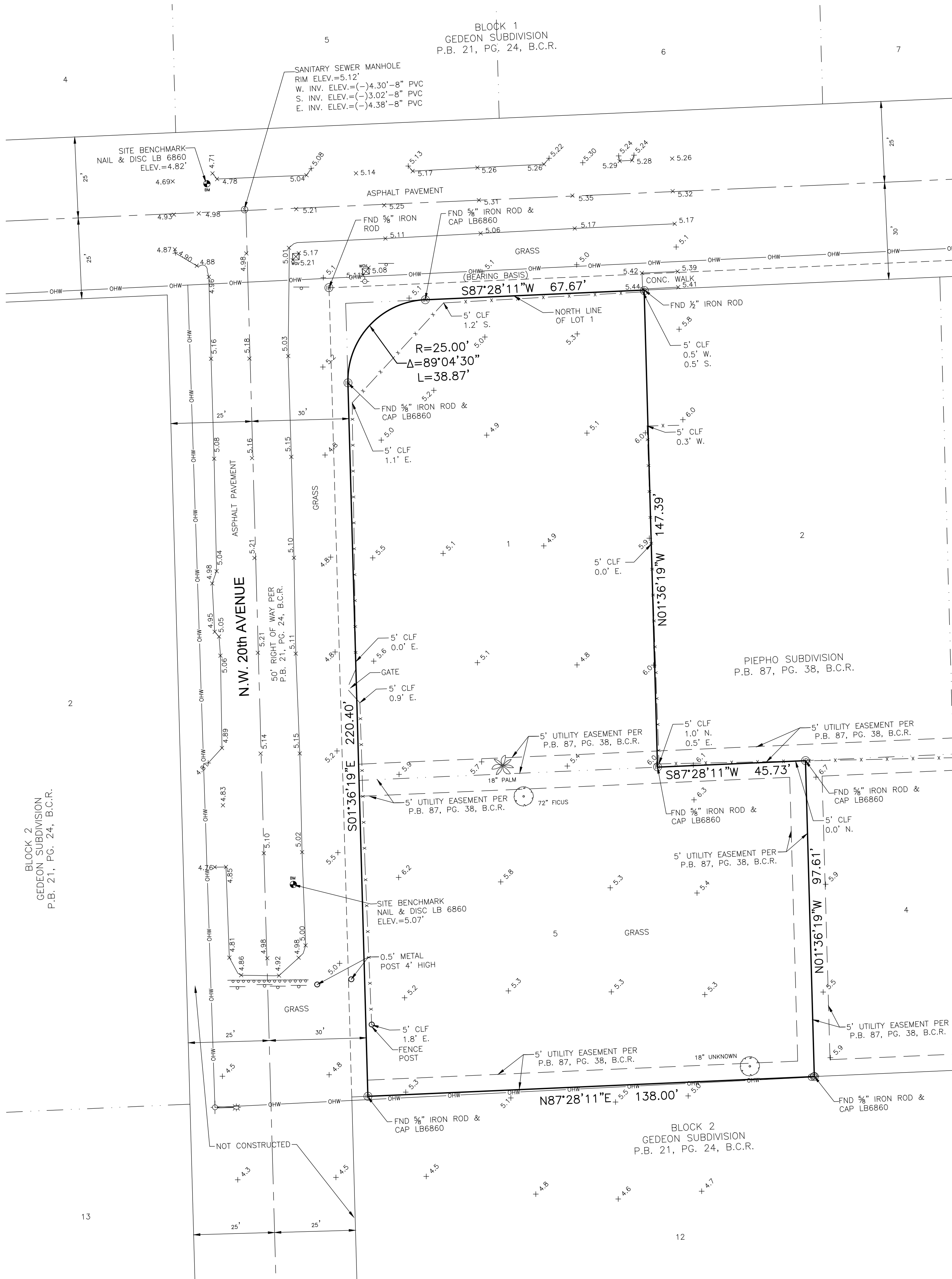
BOUNDARY & TOPOGRAPHIC SURVEY

LOTS 1 & 5
PIEPHO SUBDIVISION
PLAT BOOK 87, PAGE 36, B.C.R.
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

SHEET	1	OF	1
PROJECT NUMBER	10659.00		



(IN FEET)
1 inch = 20 ft.



LEGEND:

B.C.R.	BROWARD COUNTY RECORDS
BM	BENCHMARK
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
ELEV.	ELEVATION
FND	FOUND
INV.	INVERT
LB	FLORIDA LICENSED BUSINESS NUMBER
O.R.B.	OFFICIAL RECORDS BOOK
R/W	RIGHT OF WAY
P.B.	PLAT BOOK
PG	PAGE
PVC	POLYVINYL CHLORIDE PIPE
TYP.	TYPICAL
R	RADIUS
Δ	CENTRAL ANGLE
L	ARC LENGTH
⊕	BENCHMARK
⊗	PALM TREE
⊙	SHADE TREE
⊕	SINGLE POST SIGN
⊕	FIRE HYDRANT
⊕	WATER VALVE
⊕	WOOD LIGHT POLE
⊕	SANITARY SEWER MANHOLE
⊕	WOOD UTILITY POLE
— X —	CHAIN LINK FENCE
— ○ —	GUARD RAIL
— — —	OVERHEAD LINES

AREA:

26,937 SQUARE FEET OR
0.618 ACRES MORE OR LESS

SURVEY NOTES:

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- THE OWNERSHIP OF FENCES, PERIMETER WALLS AND/OR HEDGES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS. FENCES, HEDGES AND/OR PERIMETER WALLS ARE SHOWN IN THEIR RELATIVE POSITION TO THE BOUNDARY.
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- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12011C0366H EFFECTIVE DATE AUGUST 18 2014, THIS PROPERTY LIES IN THIS PROPERTY LIES IN ZONE X 0.2% ANNUAL CHANCE OF FLOOD HAZARD, BASE FLOOD ELEVATION (NONE). LINES IMPORTED FROM BROWARD COUNTY GIS FILE.

LEGAL DESCRIPTION:

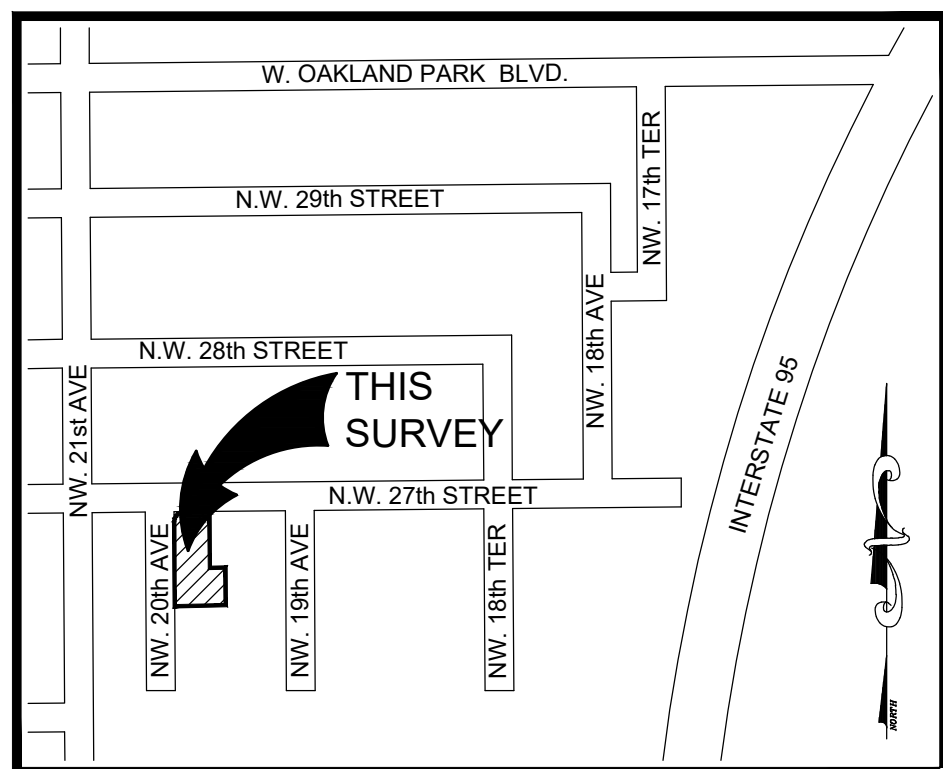
LOTS 1 AND 5, PIEPHO SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 87, PAGE 38, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THE INFORMATION AS SURVEYED UNDER MY DIRECTION ON DECEMBER 21, 2020, MEETS THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

KEITH & ASSOCIATES, INC.
CONSULTING ENGINEERS

WILLIAM ARATA
PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION No. 5082
STATE OF FLORIDA



LOCATION SKETCH

NOT TO SCALE



301 EAST ATLANTIC BOULEVARD
POMPAHO BEACH, FLORIDA 33060-6643
(954) 788-3400 FAX (954) 788-3500
EMAIL: mail@KEITHteam.com LB NO. 6860

BOUNDARY & TOPOGRAPHIC SURVEY

LOTS 1 & 5
PIEPHO SUBDIVISION
PLAT BOOK 87, PAGE 38, B.C.R.
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

SHEET 1 OF 1

PROJECT NUMBER
10659.00

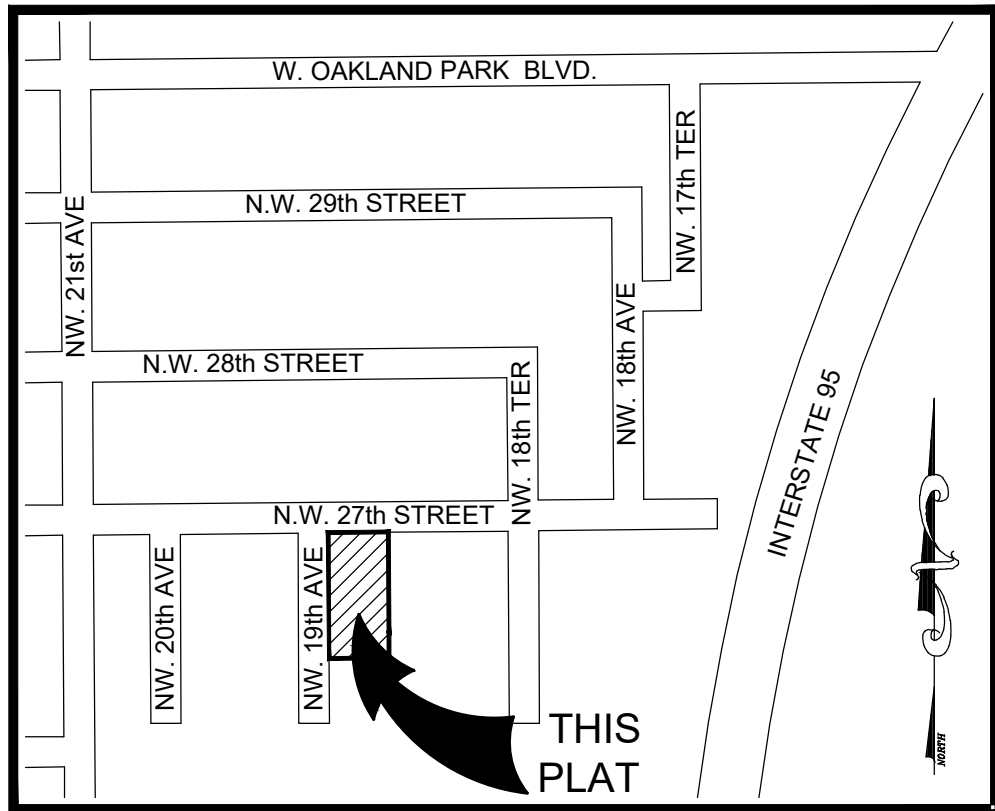
DATE	REVISION	BY
12/22/20	UPDATED SURVEY	S.M.

DATE	3/8/19
SCALE	1" = 20'
FIELD BOOK	852/861
DRAWN BY	DOB
CHECKED BY	LP

BCHA OAKLAND PARK

A REPLAT OF LOT 5 AND THE NORTH 60' OF LOT 7, GEDEON SUBDIVISION,
AS SHOWN IN PLAT BOOK 21, PAGE 24, B.C.R.
LYING IN A PORTION OF SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST,
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
SHEET 1 OF 2



LOCATION SKETCH
NOT TO SCALE

DESCRIPTION:

LOT 5 AND THE NORTH 60' OF THE WEST HALF OF LOT 7, GEDEON SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 24, BROWARD COUNTY RECORDS.

DEDICATION:

STATE OF _____ } SS KNOW ALL MEN BY THESE PRESENTS THAT ANNA COUNTY OF _____ JAIME, VICE PRESIDENT OF REAL ESTATE MANAGEMENT OF, BROWARD COUNTY HOUSING AUTHORITY, A MUNICIPAL COPORATION, AS OWNER OF THE LANDS, AS SHOWN HEREON, BEING IN SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, SHOWN HEREON AS BCHA OAKLAND PARK, DO HEREBY DEDICATE THE FOLLOWING:

NONE

IN WITNESS WHEREOF: WE HERETO SET OUR HANDS AND AFFIX OUR CORPORATE SEALS THIS _____ DAY OF _____, 201__.

WITNESS: _____ BROWARD COUNTY HOUSING
PRINT NAME: AUTHORITY,

WITNESS: _____ BY: _____
PRINT NAME ANNA JAIME
VICE PRESIDENT REAL
ESTATE MANAGEMENT

ACKNOWLEDGEMENT:

STATE OF _____ } SS BEFORE ME PERSONALLY APPEARED COUNTY OF _____ ANNA JAIME, WHO IS PERSONALLY KNOWN TO ME, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS THE VICE PRESIDENT OF BROWARD COUNTY HOUSING AUTHORITY, A MUNICIPAL CORPORATION, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS SUCH REGISTERED AGENT OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT IT IS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____ 201__.

MY COMMISSION EXPIRES:

NOTARY PUBLIC:

PRINT NAME:

CITY OF OAKLAND PARK APPROVALS:

CITY COMMISSION:

STATE OF FLORIDA } SS
COUNTY OF BROWARD }

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN ACCEPTED AND APPROVED FOR RECORDING BY THE CITY COMMISSION OF THE CITY OF OAKLAND PARK, FLORIDA, IN AND BY RESOLUTION NO. _____ ADOPTED BY SAID CITY COMMISSION THIS _____ DAY OF _____, A.D., 201__.

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

BY: _____
MAYOR, TIM LONERGAN

BY: _____
CITY CLERK, RENEE M. SHROUT

CITY ENGINEERING:

THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____ A.D., 201__.

ALBERT CARBON, CITY ENGINEER
FLORIDA P.E. REGISTRATION NO. 62662

CITY PLANNING AND ZONING BOARD:

THIS IS TO CERTIFY THAT THE CITY PLANNING AND ZONING BOARD OF OAKLAND PARK, FLORIDA, HAS HEREBY APPROVED AND ACCEPTED THIS PLAT THIS _____ DAY OF _____ A.D., 201__.

BY: _____
CHAIRPERSON


SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THE SURVEY DATA SHOWN CONFORMS TO THE APPLICABLE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND WITH THE APPLICABLE SECTIONS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) WERE SET ON _____, 202__.

KEITH & ASSOCIATES, INC. FLORIDA DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION CERTIFICATE OF AUTHORIZATION NUMBER LB 6860.

DATE: _____ FOR THE FIRM BY: _____

WILLIAM ARATA
PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION NO. 5082
STATE OF FLORIDA

CITY COMMISSION	CITY ENGINEER	SURVEYOR	PREPARED BY:
			 301 EAST ATLANTIC BOULEVARD POMPANO BEACH, FLORIDA 33060-6643 (954) 788-3400 FAX (954) 788-3500 EMAIL: mail@KEITHteam.com LB NO. 6860

BCHA OAKLAND PARK

A REPLAT OF LOT 5 AND THE NORTH 60' OF LOT 7, GEDEON SUBDIVISION,
AS SHOWN IN PLAT BOOK 21, PAGE 24, B.C.R.
LYING IN A PORTION OF SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST,
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____

SHEET 2 OF 2

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

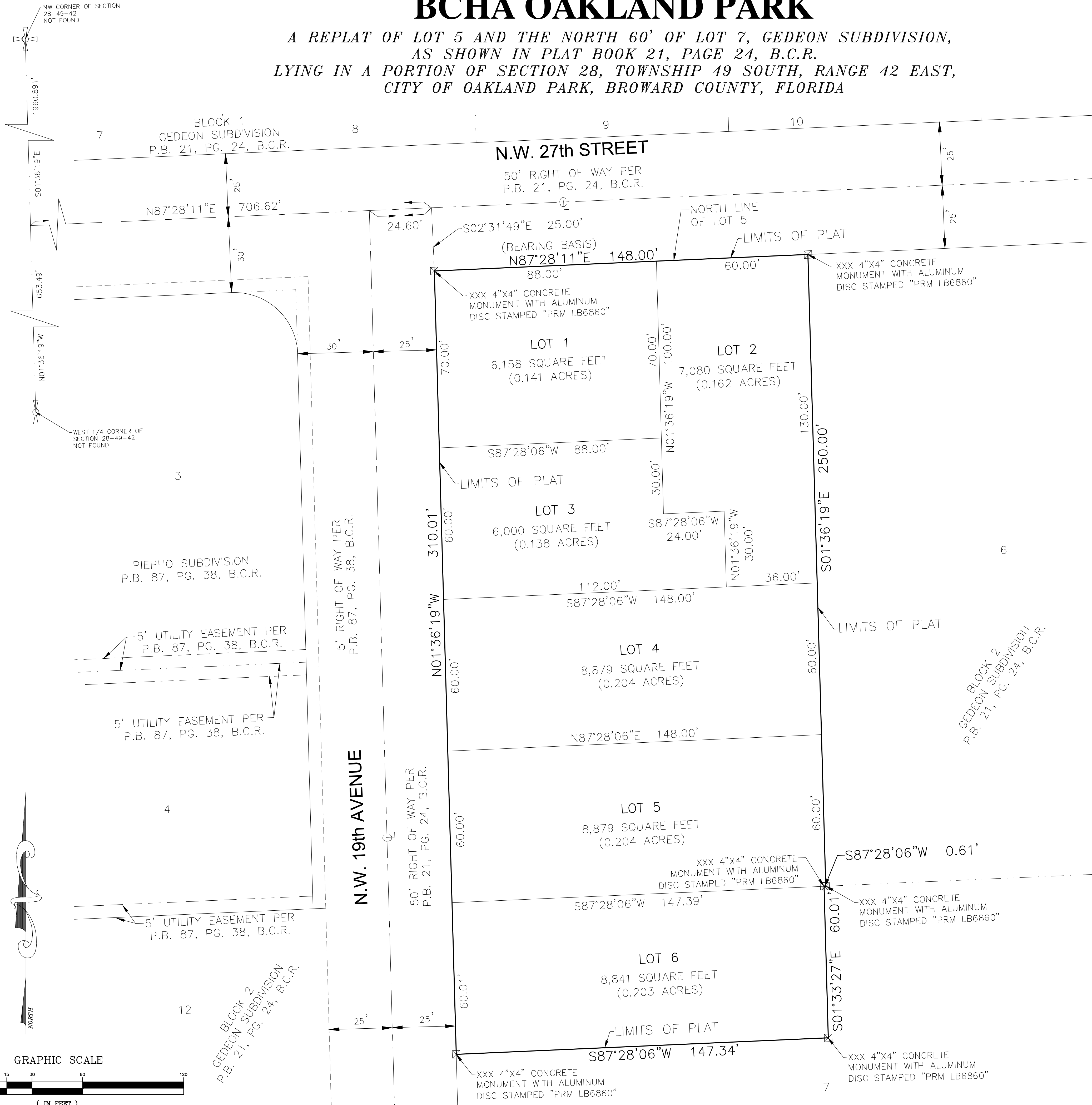
PLAT NOTES:

☒ INDICATES SET PERMANENT REFERENCE MONUMENT (P.R.M.) 4"x4"x24" CONCRETE MONUMENT WITH BRASS DISC NO. LB6860 (UNLESS NOTED OTHERWISE).

BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN ALONG THE NORTH LINE OF LOT 5, BLOCK 2, GEDEON SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21, PAGE 24, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA BEING NORTH 87°28'11" EAST.

AREA TABULATION TABLE:

PARCEL NAME	SQUARE FOOTAGE	ACREAGE
LOT 1	6,158	0.141
LOT 2	7,080	0.162
LOT 3	6,000	0.138
LOT 4	8,879	0.204
LOT 5	8,879	0.204
LOT 6	8,841	0.203
TOTAL	45,837	1.052



LEGEND:

B.C.R. BROWARD COUNTY RECORDS
ID. IDENTIFICATION
L.B. FLORIDA DEPARTMENT OF
AGRICULTURE AND CONSUMER
SERVICES CERTIFICATE OF
AUTHORIZATION LICENSED BUSINESS
DESIGNATION
O.R.B. OFFICIAL RECORDS BOOK
P.B. PLAT BOOK
PG. PAGE
PRM PERMANENT REFERENCE
MONUMENT
R/W RIGHT OF WAY
CL CENTERLINE
SC SECTION CORNER

PREPARED BY:



301 EAST ATLANTIC BOULEVARD
POMPANO BEACH, FLORIDA 33060-6643
(954) 788-3400 FAX (954) 788-3500
EMAIL: mail@KEITHteam.com LB NO. 6860

NW CORNER OF SECTION
28-49-42
NOT FOUND

1960.891'

S01°36'19"E

706.62'

N87°28'11"E

25'

30'

653.49'

N01°36'19"W

WEST 1/4 CORNER OF
SECTION 28-49-42
NOT FOUND

3

PIEPHO SUBDIVISION
P.B. 87, PG. 38, B.C.R.

5' UTILITY EASEMENT PER
P.B. 87, PG. 38, B.C.R.

5' UTILITY EASEMENT PER
P.B. 87, PG. 38, B.C.R.

4

5' UTILITY EASEMENT PER
P.B. 87, PG. 38, B.C.R.

12

GEDEON SUBDIVISION
P.B. 21, PG. 24, B.C.R.

25'

25'

60.01'

S87°28'06"W

147.34'

LOT 6

8,841 SQUARE FEET
(0.203 ACRES)

LOT 5

8,879 SQUARE FEET
(0.204 ACRES)

LOT 4

8,879 SQUARE FEET
(0.204 ACRES)

LOT 3

6,000 SQUARE FEET
(0.138 ACRES)

LOT 2

7,080 SQUARE FEET
(0.162 ACRES)

LOT 1

6,158 SQUARE FEET
(0.141 ACRES)

LOT 1

6,158 SQUARE FEET
(0.141 ACRES)

LOT 2

7,080 SQUARE FEET
(0.162 ACRES)

LOT 3

6,000 SQUARE FEET
(0.138 ACRES)

LOT 4

8,879 SQUARE FEET
(0.204 ACRES)

LOT 5

8,879 SQUARE FEET
(0.204 ACRES)

LOT 6

8,841 SQUARE FEET
(0.203 ACRES)

LOT 1

6,158 SQUARE FEET
(0.141 ACRES)

LOT 2

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(0.162 ACRES)

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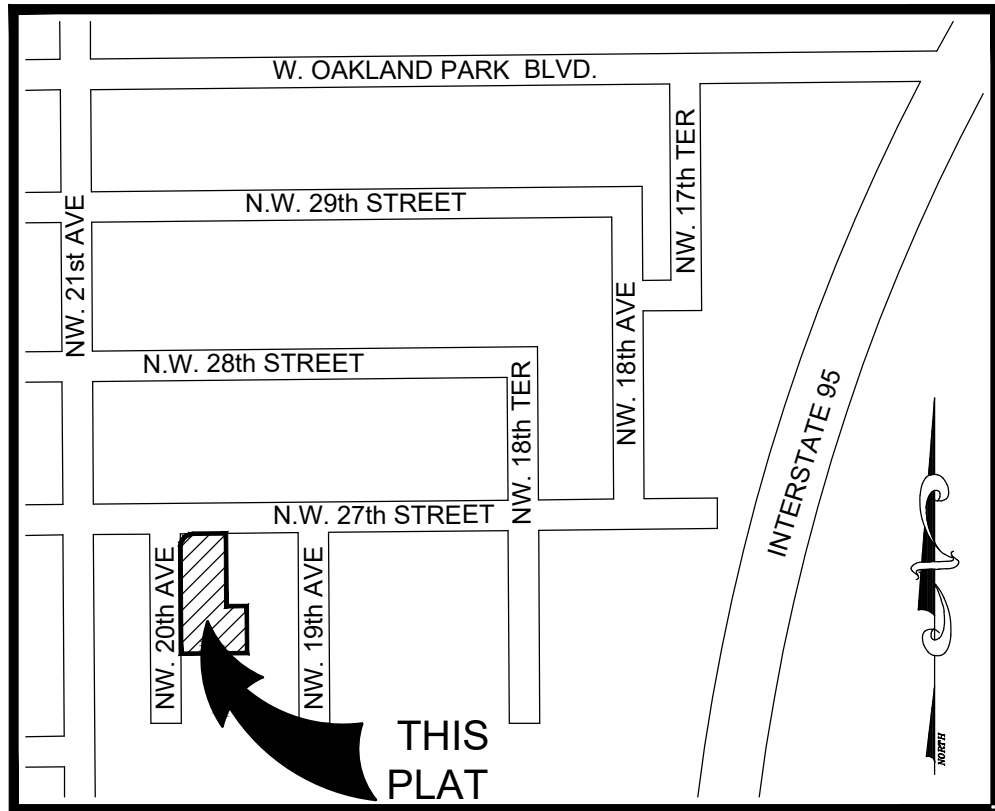
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BCHA OAKLAND PARK

A REPLAT OF LOTS 1 & 5, PIEPHO SUBDIVISION,
AS SHOWN IN PLAT BOOK 87, PAGE 38, B.C.R.
LYING IN A PORTION OF SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST,
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____
SHEET 1 OF 2



LOCATION SKETCH
NOT TO SCALE

DESCRIPTION:

LOTS 1 AND 5, PIEPHO SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 87, PAGE 38, BROWARD COUNTY RECORDS.

DEDICATION:

STATE OF _____ } SS KNOW ALL MEN BY THESE PRESENTS THAT ANNA
COUNTY OF _____ JAIME, VICE PRESIDENT OF REAL ESTATE
MANAGEMENT OF, BROWARD COUNTY HOUSING AUTHORITY, A MUNICIPAL
COPORATION, AS OWNER OF THE LANDS, AS SHOWN HEREON, BEING IN
SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY,
FLORIDA, SHOWN HEREON AS BCHA OAKLAND PARK, DO HEREBY DEDICATE THE
FOLLOWING:

NONE

IN WITNESS WHEREOF: WE HERETO SET OUR HANDS AND AFFIX OUR CORPORATE
SEALS THIS _____ DAY OF _____, 201__.

WITNESS: _____ BROWARD COUNTY HOUSING
PRINT NAME: AUTHORITY,

WITNESS: _____ BY: _____
PRINT NAME ANNA JAIME
VICE PRESIDENT REAL
ESTATE MANAGEMENT

ACKNOWLEDGEMENT:

STATE OF _____ } SS BEFORE ME PERSONALLY APPEARED
COUNTY OF _____ ANNA JAIME, WHO IS PERSONALLY
KNOWN TO ME, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS THE VICE
PRESIDENT OF BROWARD COUNTY HOUSING AUTHORITY, A MUNICIPAL
CORPORATION, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE
EXECUTED SUCH INSTRUMENT AS SUCH REGISTERED AGENT OF SAID
CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS
THE CORPORATE SEAL OF SAID CORPORATION AND THAT IT IS AFFIXED TO SAID
INSTRUMENT BY DUE AND REGULAR AUTHORITY, AND THAT SAID INSTRUMENT IS
THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY
OF _____ 201__.

MY COMMISSION EXPIRES:

NOTARY PUBLIC: _____

PRINT NAME: _____

CITY OF OAKLAND PARK APPROVALS:

CITY COMMISSION:

STATE OF FLORIDA } SS
COUNTY OF BROWARD }

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN ACCEPTED AND APPROVED
FOR RECORDING BY THE CITY COMMISSION OF THE CITY OF OAKLAND PARK,
FLORIDA, IN AND BY RESOLUTION NO. _____ ADOPTED BY SAID
CITY COMMISSION THIS _____ DAY OF _____, A.D., 201__.

NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION,
AND/OR CONVERSION OF A BUILDING WITHIN THIS PLAT UNTIL SUCH TIME AS
THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION
FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES
HAVE BEEN PAID OR ARE NOT DUE.

BY: _____
MAYOR, TIM LONERGAN

BY: _____
CITY CLERK, RENEE M. SHROUT

CITY ENGINEERING:

THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY
OF _____ A.D., 201__.

ALBERT CARBON, CITY ENGINEER
FLORIDA P.E. REGISTRATION NO. 62662

CITY PLANNING AND ZONING BOARD:

THIS IS TO CERTIFY THAT THE CITY PLANNING AND ZONING BOARD OF
OAKLAND PARK, FLORIDA, HAS HEREBY APPROVED AND ACCEPTED THIS PLAT
THIS _____ DAY OF _____ A.D., 201__.

BY: _____
CHAIRPERSON


SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT
REPRESENTATION OF THE LANDS RECENTLY SURVEYED, SUBDIVIDED AND PLATTED
UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THE SURVEY DATA
SHOWN CONFORMS TO THE APPLICABLE REQUIREMENTS OF CHAPTER 177,
FLORIDA STATUTES, AND WITH THE APPLICABLE SECTIONS OF CHAPTER 5J-17,
FLORIDA ADMINISTRATIVE CODE. THE PERMANENT REFERENCE MONUMENTS
(P.R.M.'S) WERE SET ON _____, 20__.

KEITH & ASSOCIATES, INC. FLORIDA DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION CERTIFICATE OF AUTHORIZATION NUMBER LB 6860.

DATE: _____ FOR THE FIRM BY: _____

MICHAEL M. MOSSEY
PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION NO. 5660
STATE OF FLORIDA

CITY COMMISSION	CITY ENGINEER	SURVEYOR	PREPARED BY:
			 301 EAST ATLANTIC BOULEVARD POMPANO BEACH, FLORIDA 33060-6643 (954) 788-3400 FAX (954) 788-3500 EMAIL: mail@KEITHteam.com LB NO. 6860

BCHA OAKLAND PARK

A REPLAT OF LOTS 1 & 5, PIEPHO SUBDIVISION,
AS SHOWN IN PLAT BOOK 87, PAGE 38, B.C.R.
LYING IN A PORTION OF SECTION 28, TOWNSHIP 49 SOUTH, RANGE 42 EAST,
CITY OF OAKLAND PARK, BROWARD COUNTY, FLORIDA

PLAT BOOK _____ PAGE _____

SHEET 2 OF 2

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

PLAT NOTES:

☒ INDICATES SET PERMANENT REFERENCE MONUMENT (P.R.M.) 4"x4"x24" CONCRETE MONUMENT WITH BRASS DISC NO. LB6860 (UNLESS NOTED OTHERWISE).

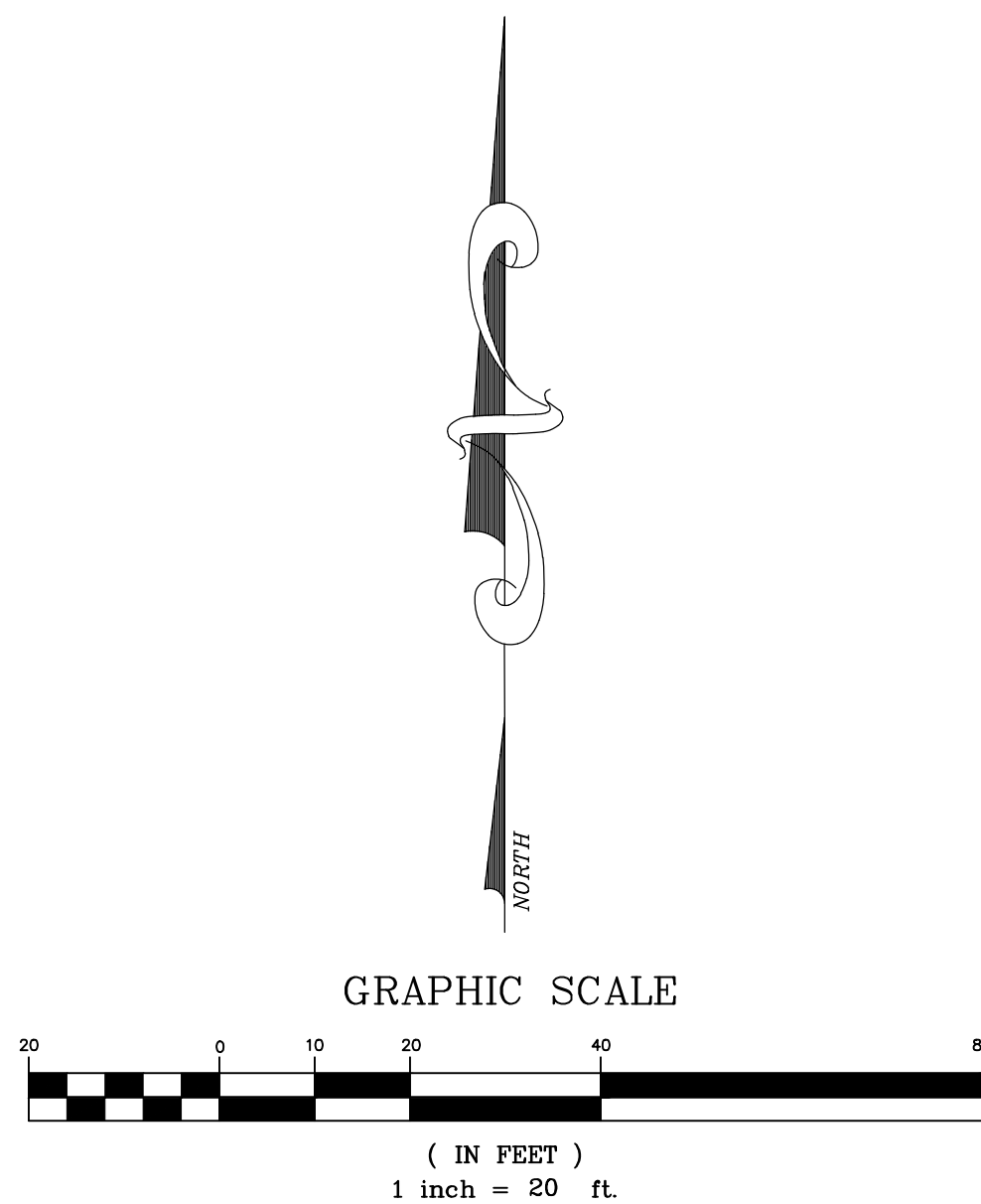
BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN ALONG THE NORTH LINE OF LOT 1, PIEPHO SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 87, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA BEING NORTH 87°28'11" EAST.

AREA TABULATION TABLE:

PARCEL NAME	SQUARE FOOTAGE	ACREAGE
PARCEL "A"	6,549	0.150
PARCEL "B"	6,920	0.159
PARCEL "C"	13,468	0.309
EAST PARCEL	26,937	0.618

LEGEND:

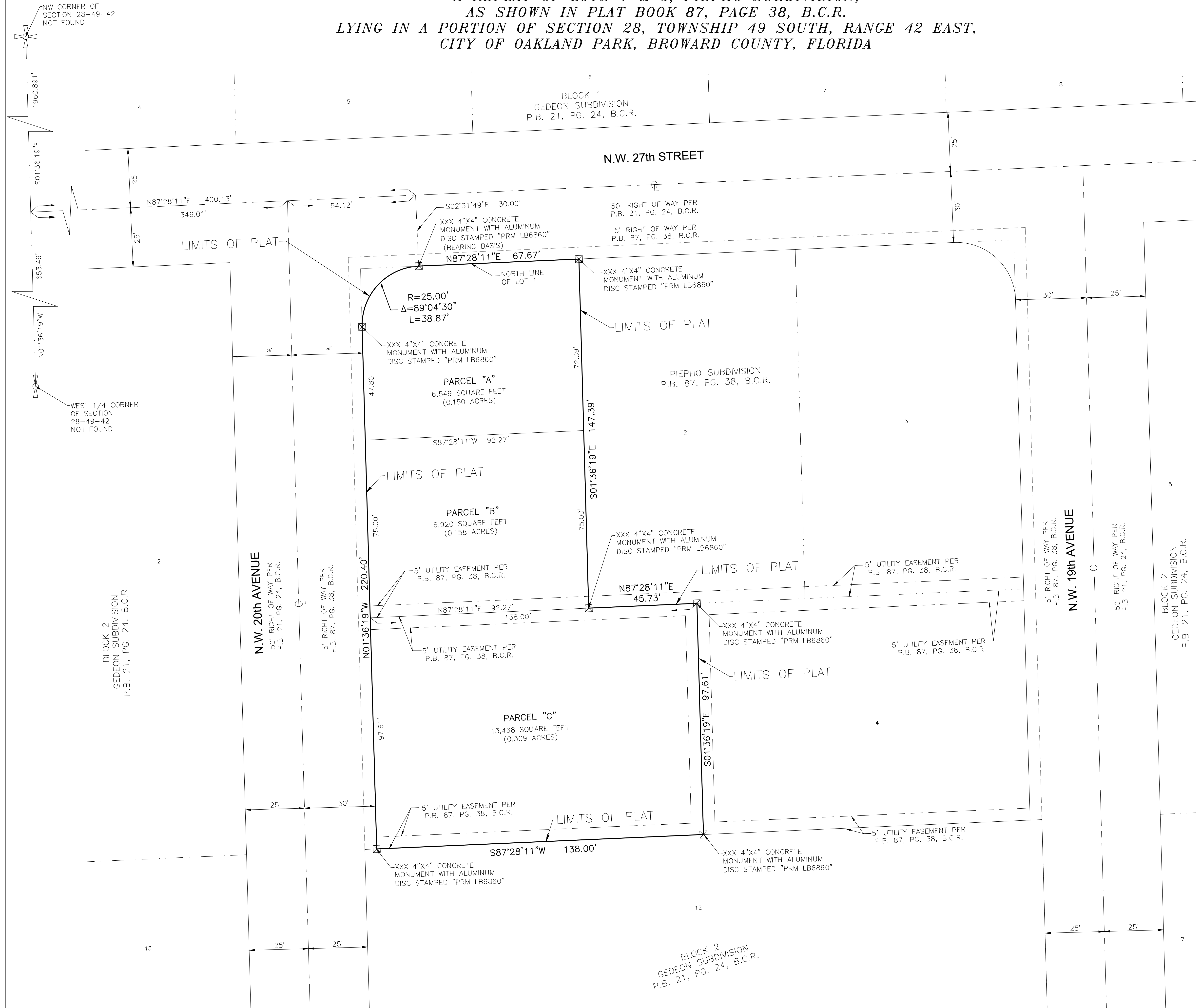
B.C.R.	BROWARD COUNTY RECORDS
ID.	IDENTIFICATION
L.B.	FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES CERTIFICATE OF AUTHORIZATION LICENSED BUSINESS DESIGNATION
O.R.B.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
PG.	PAGE
PRM	PERMANENT REFERENCE MONUMENT
R/W	RIGHT OF WAY
R	RADIUS
Δ	CENTRAL ANGLE
L	ARC LENGTH
⊕	CENTERLINE
⊕	SECTION CORNER
⊕	ONE-QUARTER CORNER OF SECTION



PREPARED BY:



301 EAST ATLANTIC BOULEVARD
POMPAHO BEACH, FLORIDA 33060-6643
(954) 788-3400 FAX (954) 788-3500
EMAIL: mail@KEITHteam.com LB NO. 6860



[illegible]

RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

CHECKED BY: MF

CLIENT

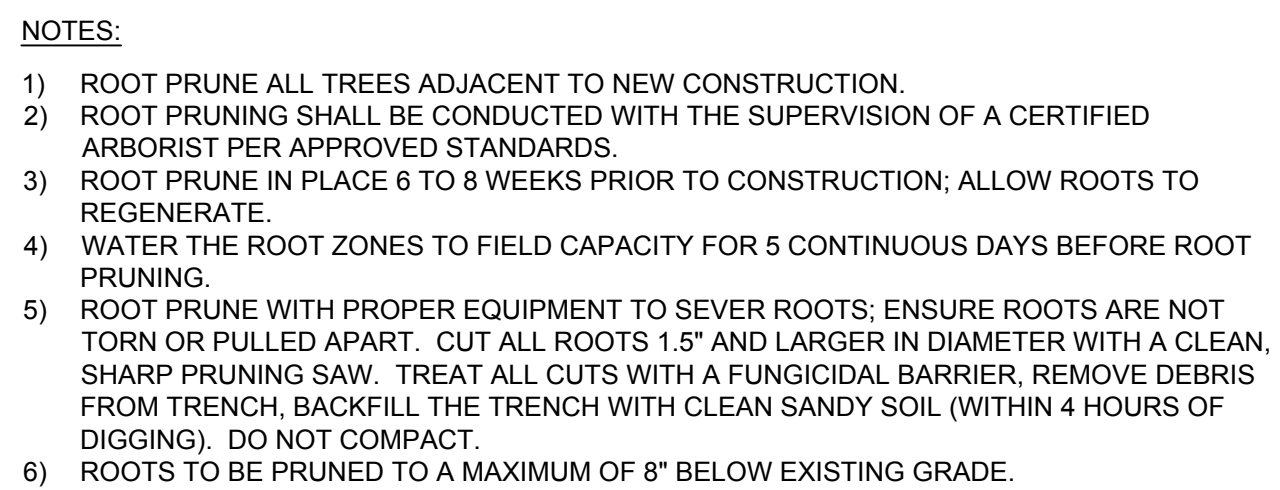
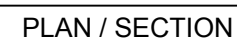


BROWARD
county • housing authority

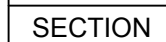
**BCHA
OAKLAND PARK
LAND AND LOTS**

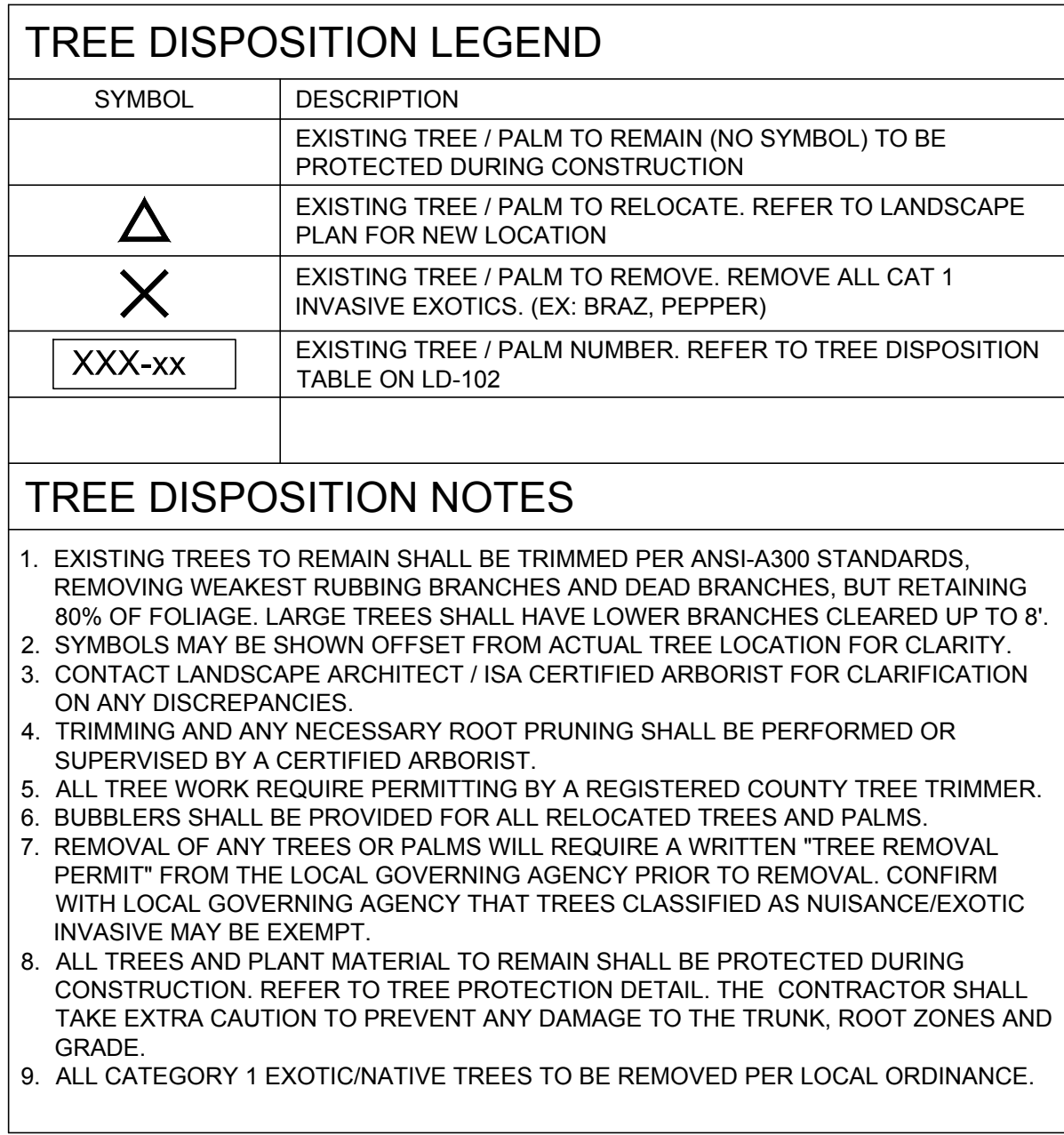
TREE DISPOSITION DETAILS

PROJECT NUMBER	10659.01
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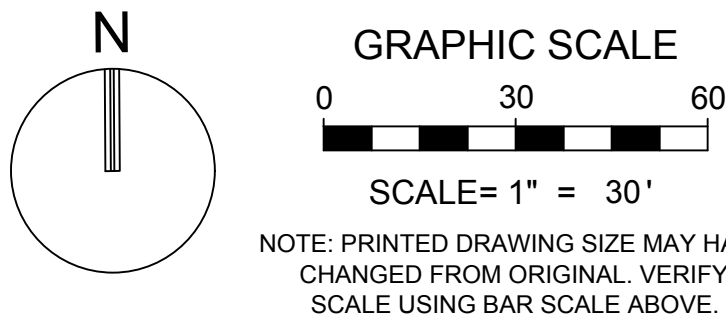
02 SECTION NOT TO SCALE





ABBREVIATIONS LEGEND	
B CAV	BRANCH CAVITY
B DM G	BRANCH DA MAGE
CO-D	CO-DOMINANT
CON	CONSTRUCTION
D	DECA Y
DB	DIEBACK
DL	DUAL LEADER
FB	FUNGUS BODIES
IB	INCLUDED BARK
L	LEANNING
MT	MULTI-TRUNK
R DM G	ROOT DA MAGE
T CAV	TRUNK CAVITY
T DM G	TRUNK DA MAGE
W CPY	WEAK CANOPY
OHE	OVERHEAD UTILITIES

FREE DISPOSITION TABLE									
PROJECT #: 10659.01		PROJECT NAME: BCHA OAKLAND PARK HOUSING LOTS							
0	COMMON NAME	SCIENTIFIC NAME	DBH IN.	HT. FT.	CNPY. FT.	TREE % CONDITION	TREE DISPOSITION	COMMENTS	
1	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "	18"				REMOVE		
2	FICUS	" <i>Ficus spp.</i> "	72"				REMOVE		
3	UNK	#N/A	18"				REMOVE		
4	FICUS	" <i>Ficus spp.</i> "	15"				REMOVE	HEDGE	
5	LIVE OAK	" <i>Quercus virginiana</i> "	10"				REMOVE	POOR CONDITION	
6	ARECA PALM	" <i>Chrysalidocarpus lutescens</i> "					REMOVE	CLUSTER	
7	CABBAGE PALM	" <i>Sabal palmetto</i> "		10'			REMOVE		
8	UMBRELLA TREE	" <i>Schefflera actinophylla</i> "	6"	8'			REMOVE		
9	CABBAGE PALM	" <i>Sabal palmetto</i> "		9'			REMOVE		
10	BOTTLE BRUSH	" <i>Callistemon viminalis</i> "	24"	50'	50'		REMOVE		
11	FICUS	" <i>Ficus spp.</i> "	60"				REMOVE		
12	BOTTLE BRUSH	" <i>Callistemon viminalis</i> "	15"	50'	50'		REMOVE		
13	JAMBALAN TREE	" <i>Syzygium cumini</i> "	24"				REMOVE		
14	AUSTRALIAN PINE	" <i>Casuarina glauca</i> "	38"				REMOVE		
15	BLACK OLIVE	" <i>Bucida buceras</i> "	15"	25'	25'	70%	REMOVE		
16	ARECA PALM	" <i>Chrysalidocarpus lutescens</i> "					REMOVE	CLUSTER	
17	NORFOLK ISLAND PINE	" <i>Araucaria heterophylla</i> "		50'			REMOVE		
18	NORFOLK ISLAND PINE	" <i>Araucaria heterophylla</i> "		50'			REMOVE		
19	NORFOLK ISLAND PINE	" <i>Araucaria heterophylla</i> "		60'			REMOVE	DBL	
20	WATER OAK	" <i>Quercus nigra</i> "	30"	25'	25'		REMOVE	OHE, B DMG, MULTI TRUNK, UTILITY PRUNING	
21	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "		10'			REMAIN		
22	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "		12'			REMOVE		
23	BLACK OLIVE	" <i>Bucida buceras</i> "					REMOVE		
24	LIVE OAK	" <i>Quercus virginiana</i> "					REMOVE		
25	LIVE OAK	" <i>Quercus virginiana</i> "					REMOVE		
26	BLACK OLIVE	" <i>Bucida buceras</i> "					REMOVE		
27	UNK	#N/A	6"				REMOVE	POOR CONDITION	
28	MANGO	" <i>Mangifera indica</i> "	12"	25'	20'		REMOVE		
29	NORFOLK ISLAND PINE	" <i>Araucaria heterophylla</i> "	19"	60'			REMOVE		
30	ROYAL POINCIANA	" <i>Delonix regia</i> "	9"	20'			REMOVE	POOR CONDITION	
31	NORFOLK ISLAND PINE	" <i>Araucaria heterophylla</i> "	20"	55'			REMOVE		
32	UMBRELLA TREE	" <i>Schefflera actinophylla</i> "	8"	12'			REMOVE		
33	UNK	#N/A	6"				REMOVE		
34	MANGO	" <i>Mangifera indica</i> "	12"				REMOVE		
35	MANGO	" <i>Mangifera indica</i> "	12"				REMOVE		
36	MANGO	" <i>Mangifera indica</i> "	12"				REMOVE		
37	CHINESE FAN PALM	" <i>Livistona chinensis</i> "		12'			REMAIN		
38	CHINESE FAN PALM	" <i>Livistona chinensis</i> "		12'			REMAIN		
39	BRAZILIAN PEPPER	" <i>Schinus terebinthifolius</i> "					REMOVE		
40	SEAGRAPE	" <i>Coccoloba uvifera</i> "					REMAIN		
41	ROYAL POINCIANA	" <i>Delonix regia</i> "	13"				REMOVE		
41.1	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "	6"				REMAIN		
42	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "					REMOVE		
43	MANGO	" <i>Mangifera indica</i> "	12"				REMOVE		
44	ROBELLINI PALM	" <i>Phoenix roebelinii</i> "		5'			REMOVE		
45	ROBELLINI PALM	" <i>Phoenix roebelinii</i> "		5'			REMOVE		
46	SEAGRAPE	" <i>Coccoloba uvifera</i> "		10'			REMOVE		
47	BLACK OLIVE	" <i>Bucida buceras</i> "	7"				REMOVE		
48	BLACK OLIVE	" <i>Bucida buceras</i> "	6"				REMOVE		
49	BLACK OLIVE	" <i>Bucida buceras</i> "	14"	40'	20'		REMOVE		
50	FICUS	" <i>Ficus spp.</i> "					REMOVE		
51	ROYAL POINCIANA	" <i>Delonix regia</i> "	6"				REMAIN		
52	ARECA PALM	" <i>Chrysalidocarpus lutescens</i> "					REMAIN		
53	JACARANDA TREE	" <i>Jacaranda mimosifolia</i> "	8"				REMAIN		
54	JACARANDA TREE	" <i>Jacaranda mimosifolia</i> "	19"				REMAIN		
55	WATER OAK	" <i>Quercus nigra</i> "	17"				REMAIN		
56	BLACK OLIVE	" <i>Bucida buceras</i> "	18"				REMAIN		
57	BLACK OLIVE	" <i>Bucida buceras</i> "	24"	50'	60'		REMAIN		
58	BLACK OLIVE	" <i>Bucida buceras</i> "	13"				REMAIN		
59	ARECA PALM	" <i>Chrysalidocarpus lutescens</i> "					REMOVE	CLUSTER	
60	COCONUT PALM	" <i>Cocos nucifera</i> "		20'			REMOVE		
61	COCONUT PALM	" <i>Cocos nucifera</i> "		4'			REMOVE		
62	COCONUT PALM	" <i>Cocos nucifera</i> "		8'			REMOVE		
63	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "					REMOVE		
64	ROYAL PALM	" <i>Roystonea elata</i> "	16"				REMOVE		
65	ROYAL POINCIANA	" <i>Delonix regia</i> "	6"				REMOVE		
66	BLACK OLIVE	" <i>Bucida buceras</i> "					REMOVE		
67	ROYAL POINCIANA	" <i>Delonix regia</i> "					REMOVE		
68	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "					REMOVE		
69	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "					REMOVE		
70	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "					REMOVE		
71	UNK	#N/A					REMOVE		
72	AVOCADO	" <i>Persea americana</i> "					REMOVE		
73	LAUREL OAK	" <i>Quercus laurifolia</i> "	14"				REMAIN		
74	ROYAL POINCIANA	" <i>Delonix regia</i> "	15"			70%	REMAIN		
75	ROYAL POINCIANA	" <i>Delonix regia</i> "	13"			70%	REMAIN		
76	ROYAL POINCIANA	" <i>Delonix regia</i> "	12"				REMAIN		
77	ROYAL POINCIANA	" <i>Delonix regia</i> "	7"				REMAIN		
78	UMBRELLA TREE	" <i>Schefflera actinophylla</i> "					REMOVE		
79	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "					REMOVE		
80	ALEXANDER PALM	" <i>Ptychosperma elegans</i> "					REMOVE		
81	BLACK OLIVE	" <i>Bucida buceras</i> "	14"	40'	20'		REMOVE	UTILITY PRUNING	
82	LAUREL OAK	" <i>Quercus laurifolia</i> "	14"	30'	25'		REMAIN		
83	WATER OAK	" <i>Quercus nigra</i> "	19"				REMAIN		
84	ROYAL POINCIANA	" <i>Delonix regia</i> "	10"	20'	18'		REMOVE		
85	MONTGOMERY PALM	" <i>Veitchia montgomeryana</i> "	18"	25'			REMOVE		
86	FICUS	" <i>Ficus spp.</i> "	72"				REMOVE	POOR CONDITION	
87	ALMOND TREE	" <i>Prunus dulcis</i> "	12"				REMOVE		
88	LIVE OAK	" <i>Quercus virginiana</i> "	18"				REMAIN		


[illegible]



NOTES:

1. SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
2. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
3. ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
4. BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
5. CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLAN LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
6. PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
7. ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
8. NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
9. ALL CATEGORY 1 EXOTIC/NATIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.

GRAPHIC SCALE



0 20 40

SCALE= 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.

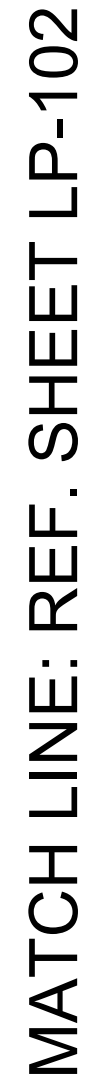
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

ISSUE DATE:	04/08/21
DESIGNED BY:	JR, MP
DRAWN BY:	JR
CHECKED BY:	MP
BID-CONTRACT:	

PROJECT

**BCHA
OAKLAND PARK
LAND AND LOTS**


SHEET NUMBER	LP-101
PROJECT NUMBER	10659.01



NOTES:

1. SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
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9. ALL CATEGORY 1 EXOTIC/NATIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.

GRAPHIC SCALE



0 20 40

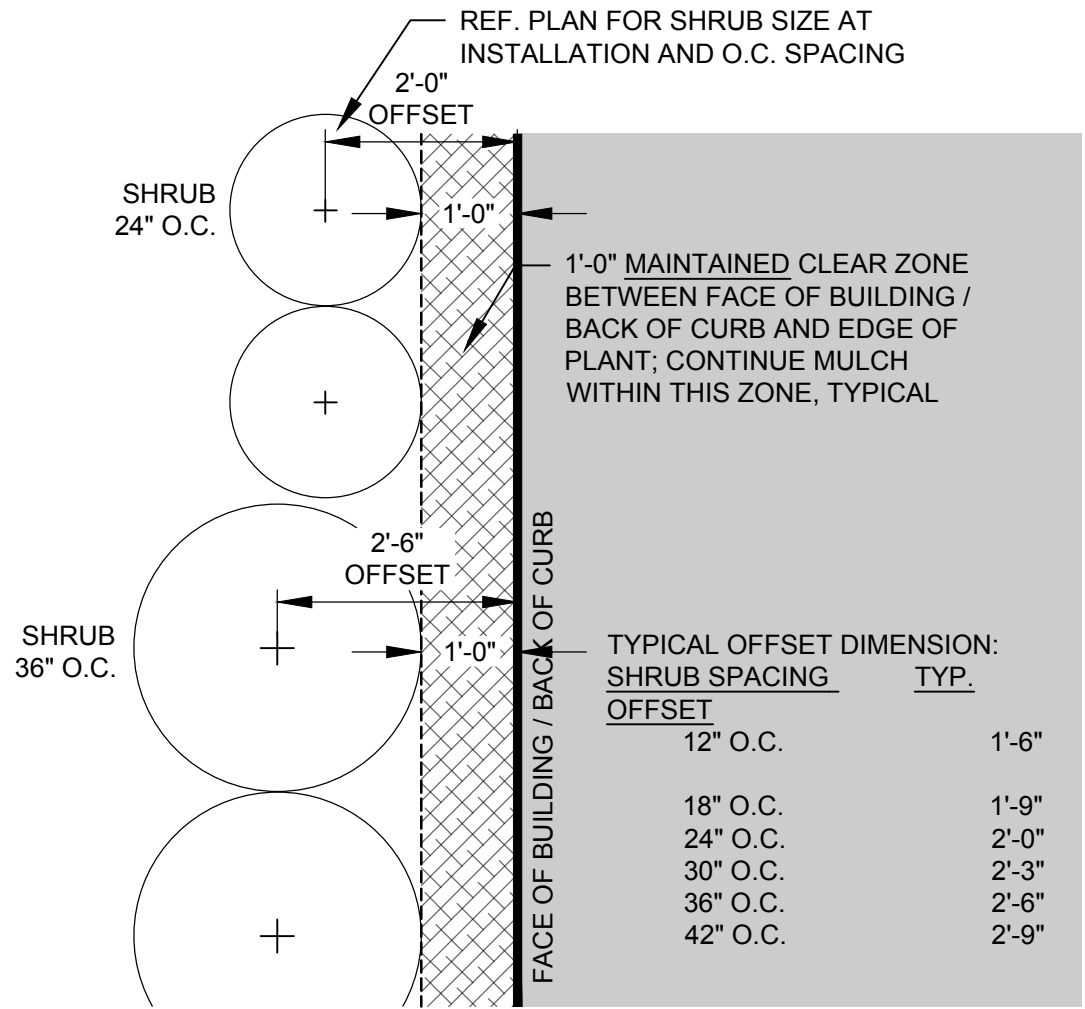
SCALE = 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

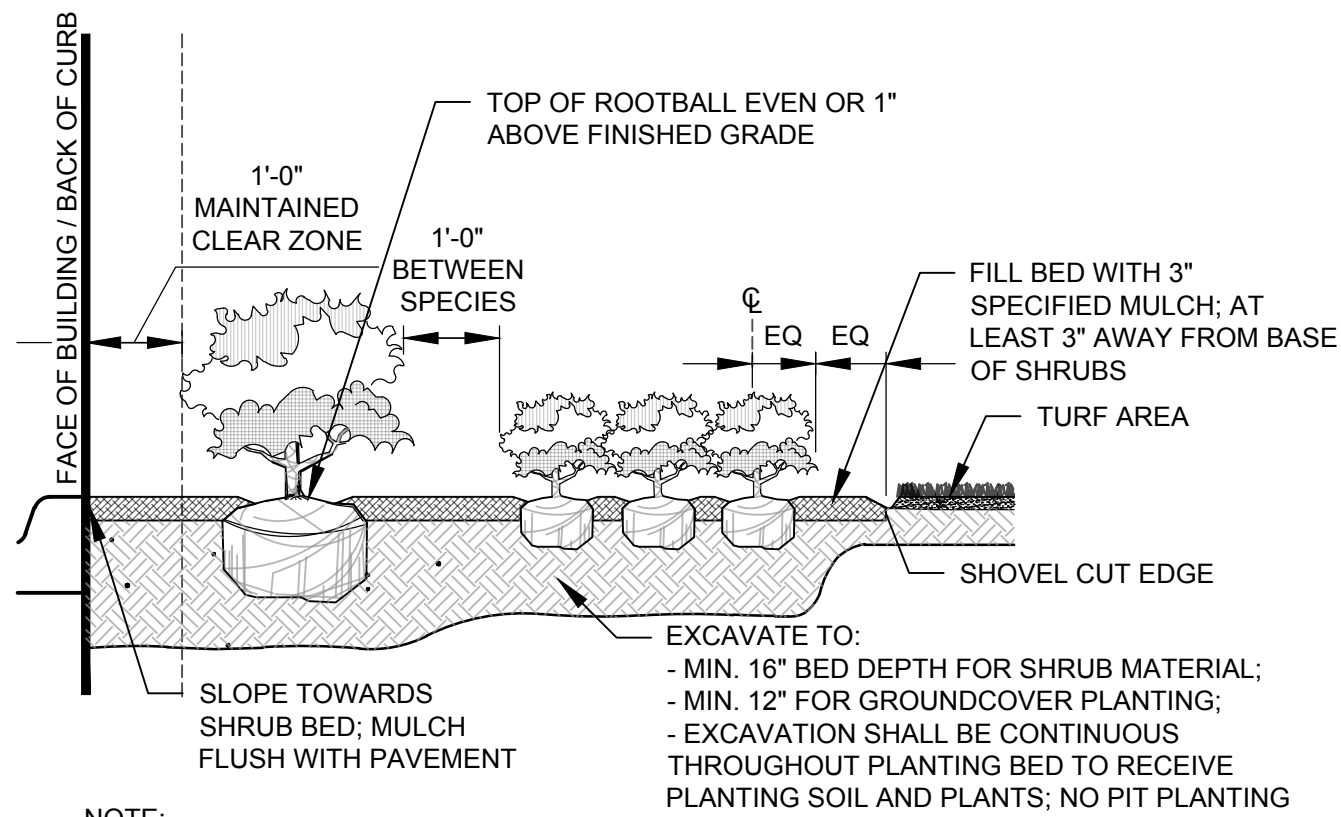
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STATUS: PRELIMINARY

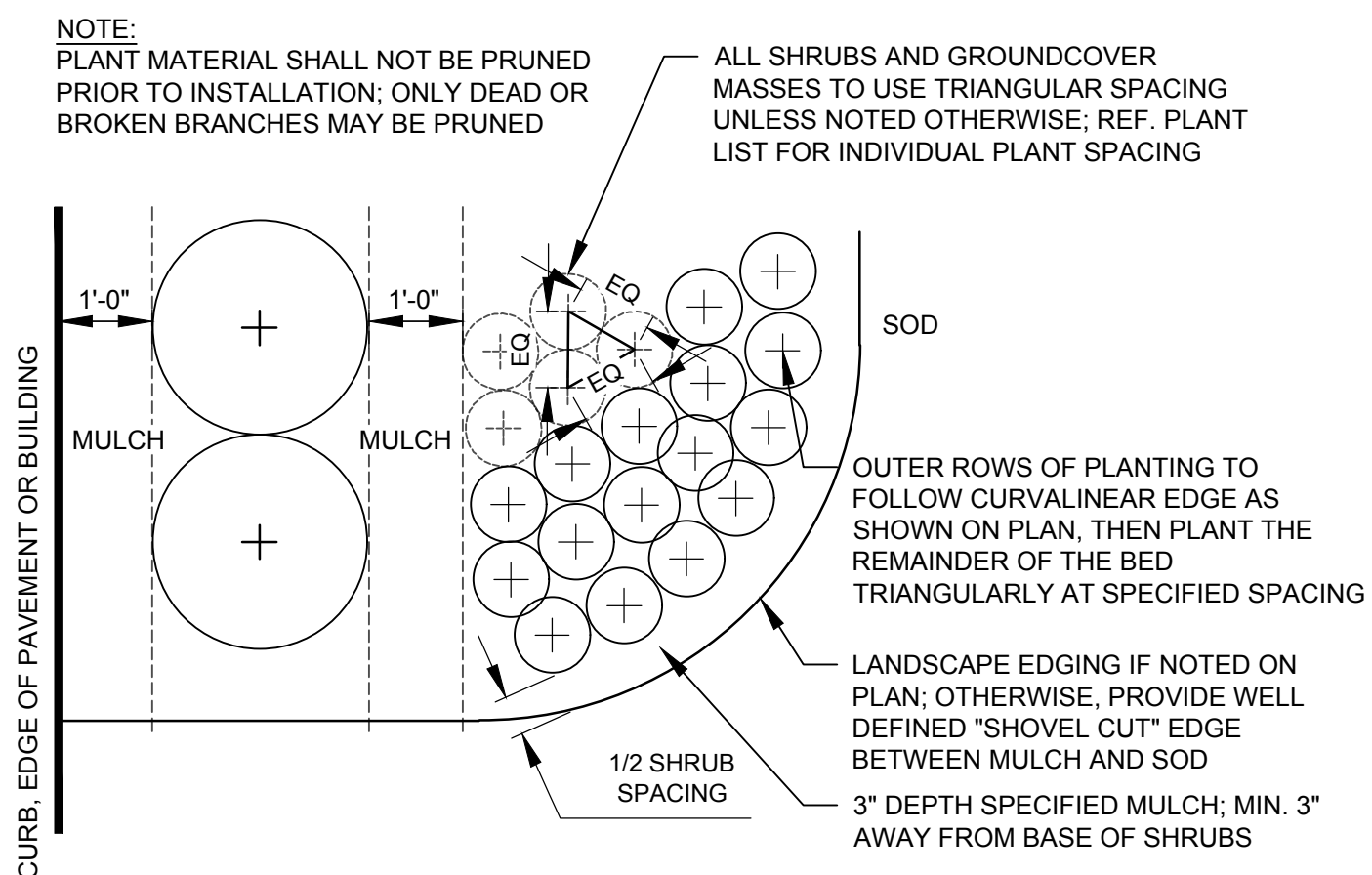
D
C
B
A



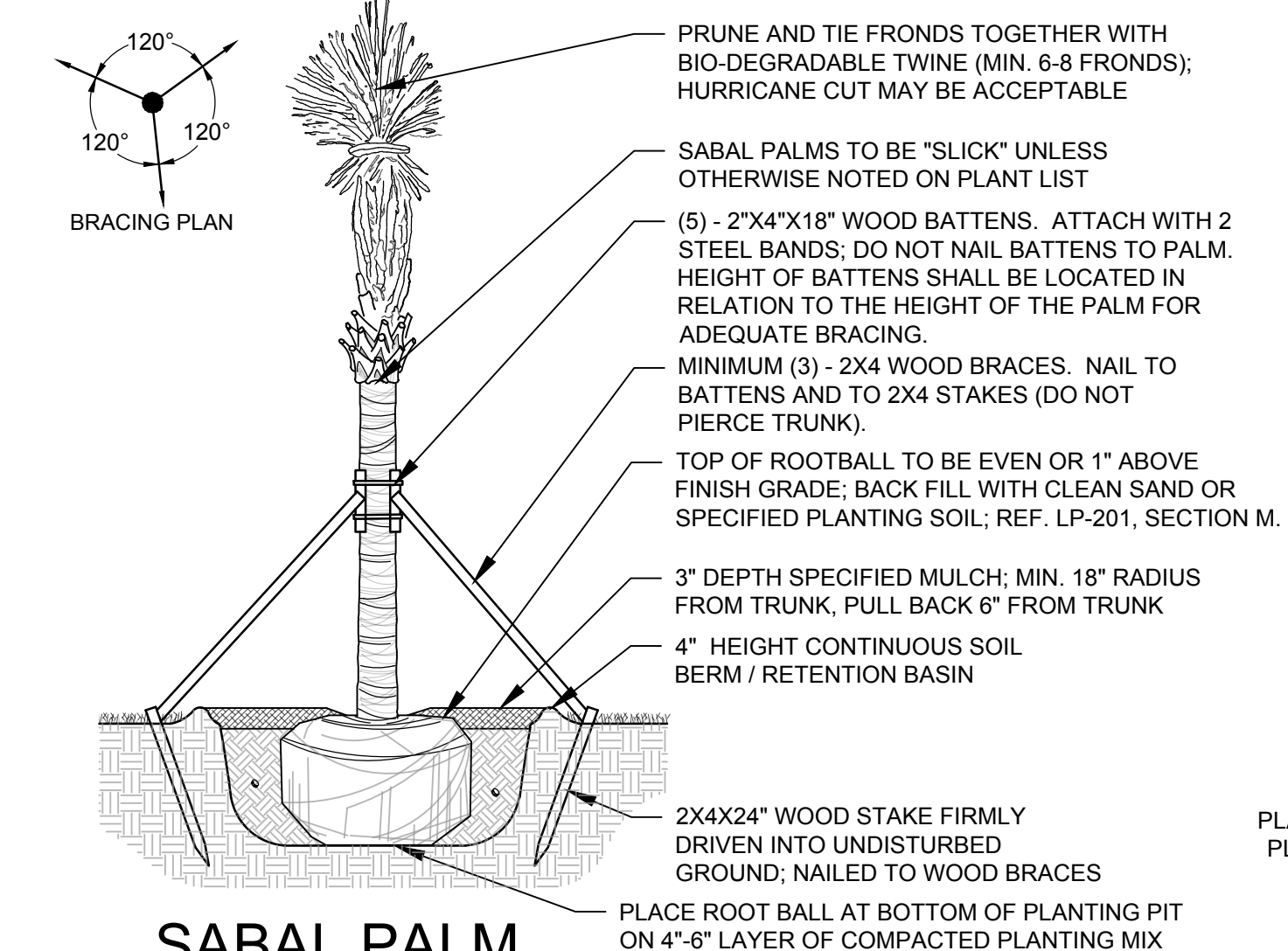
10 TYPICAL SHRUB OFFSET AT BUILDING / CURB
PLAN NOT TO SCALE



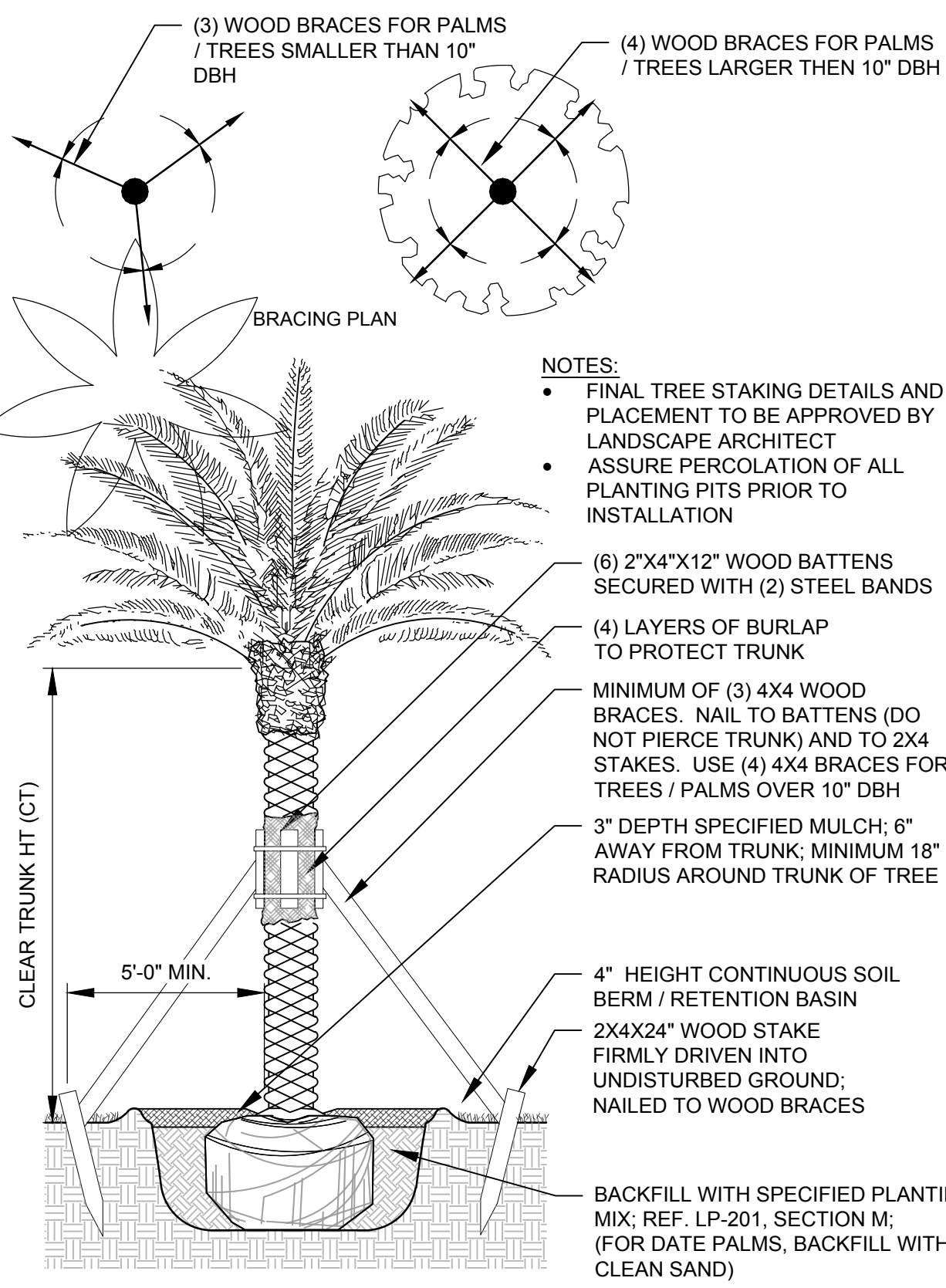
06 SHRUB AND GROUNDCOVER PLANTING
SECTION NOT TO SCALE



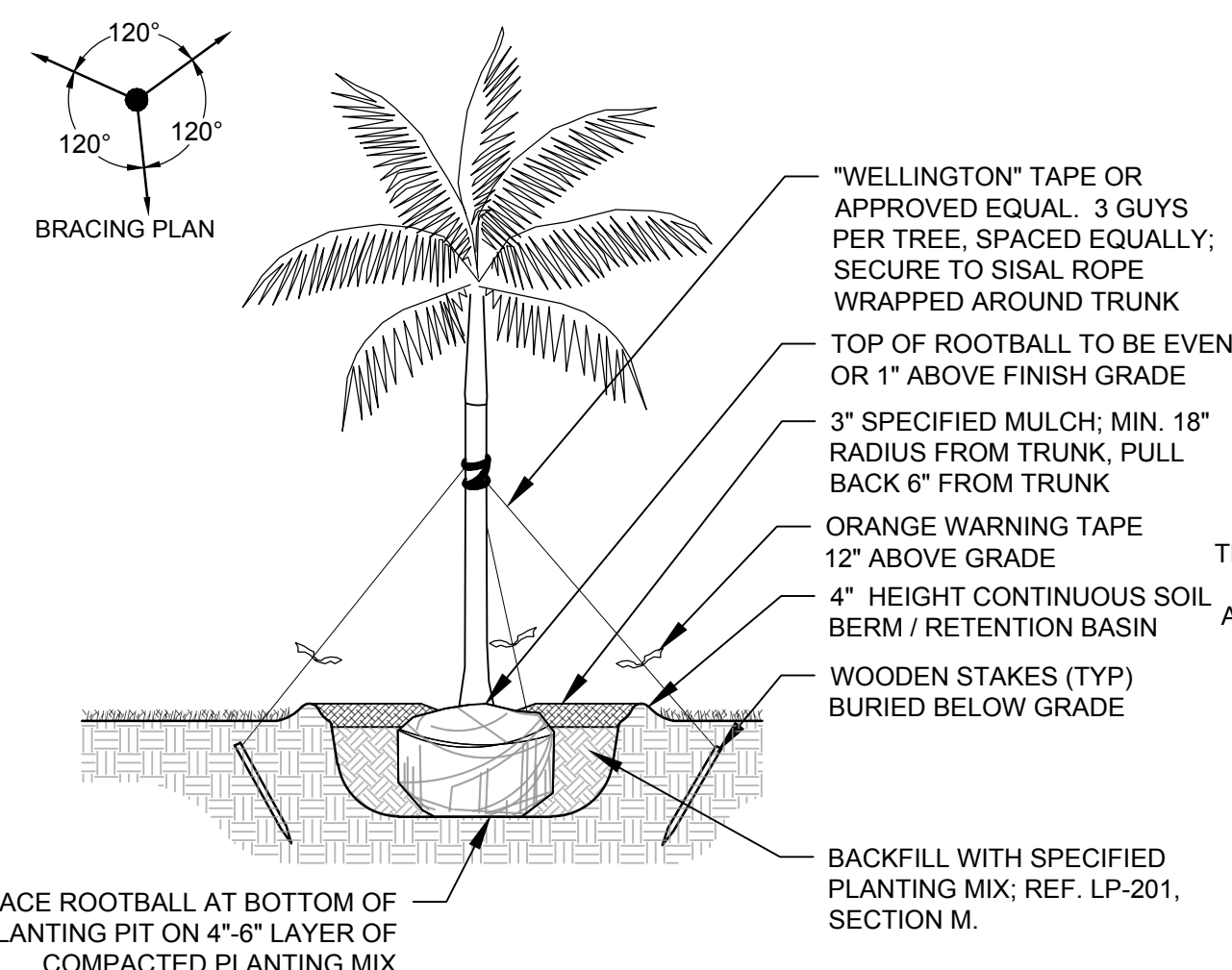
03 SHRUB AND GROUNDCOVER PLANTING
PLAN NOT TO SCALE



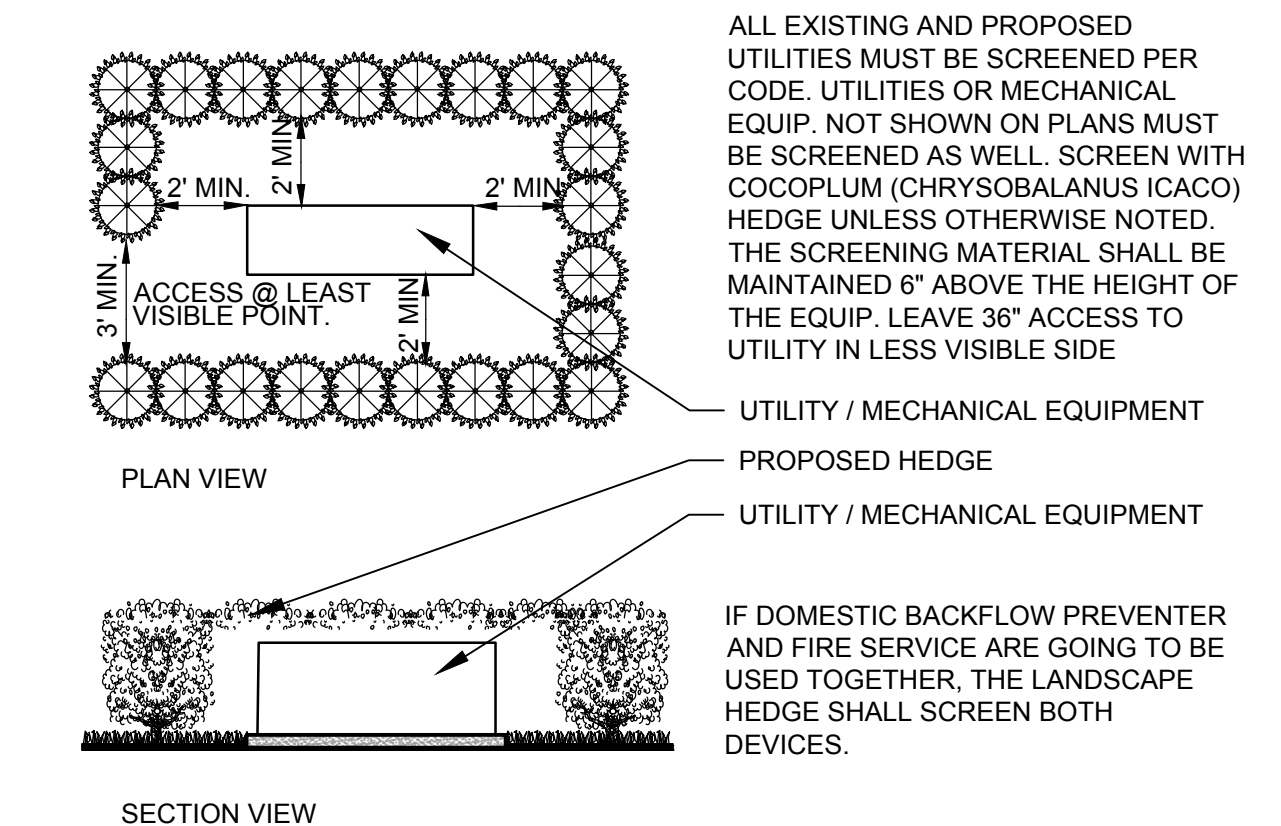
09 SABAL PALM PLANTING DETAIL
SECTION NOT TO SCALE



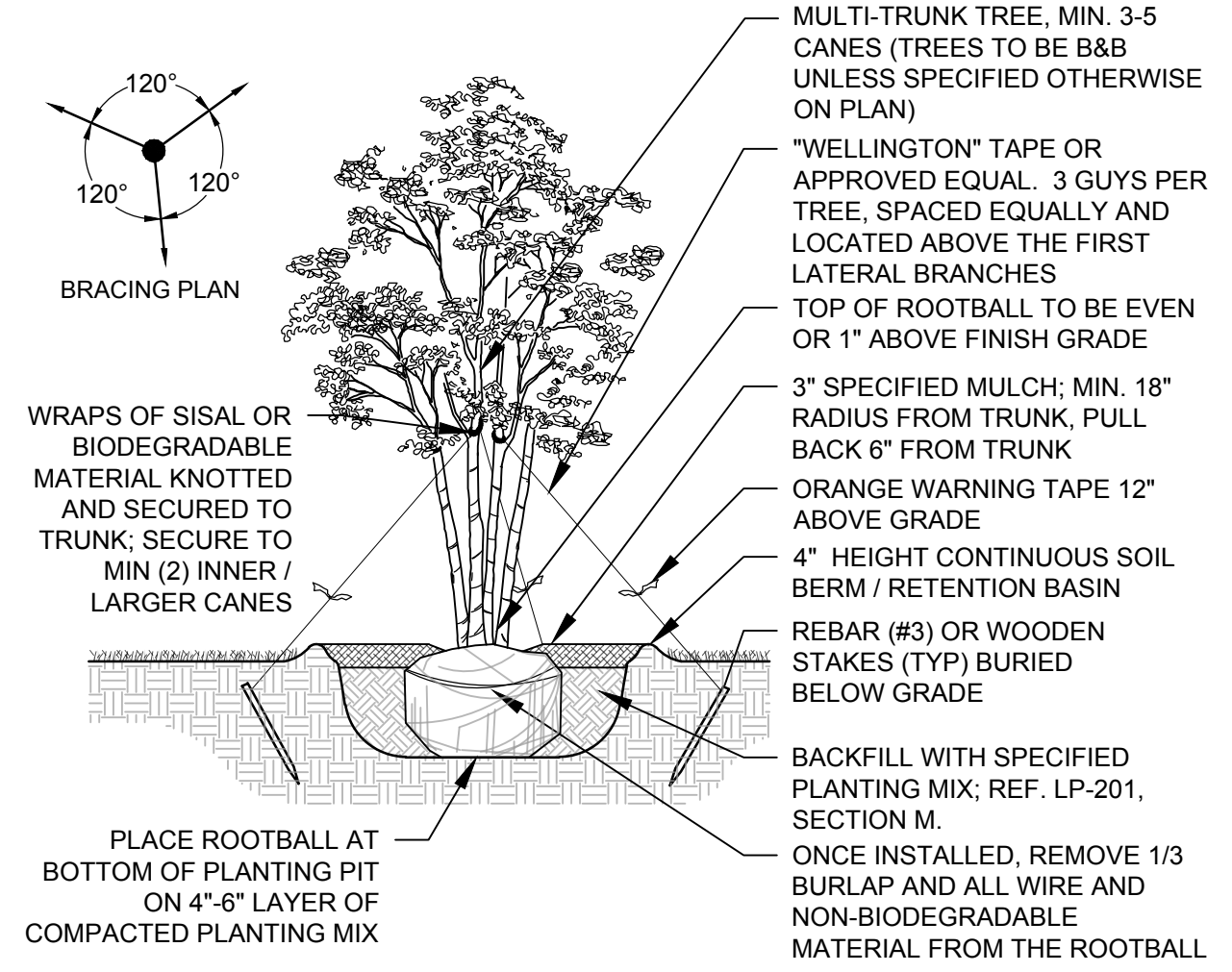
02 LARGE TREE PALM PLANTING DETAIL
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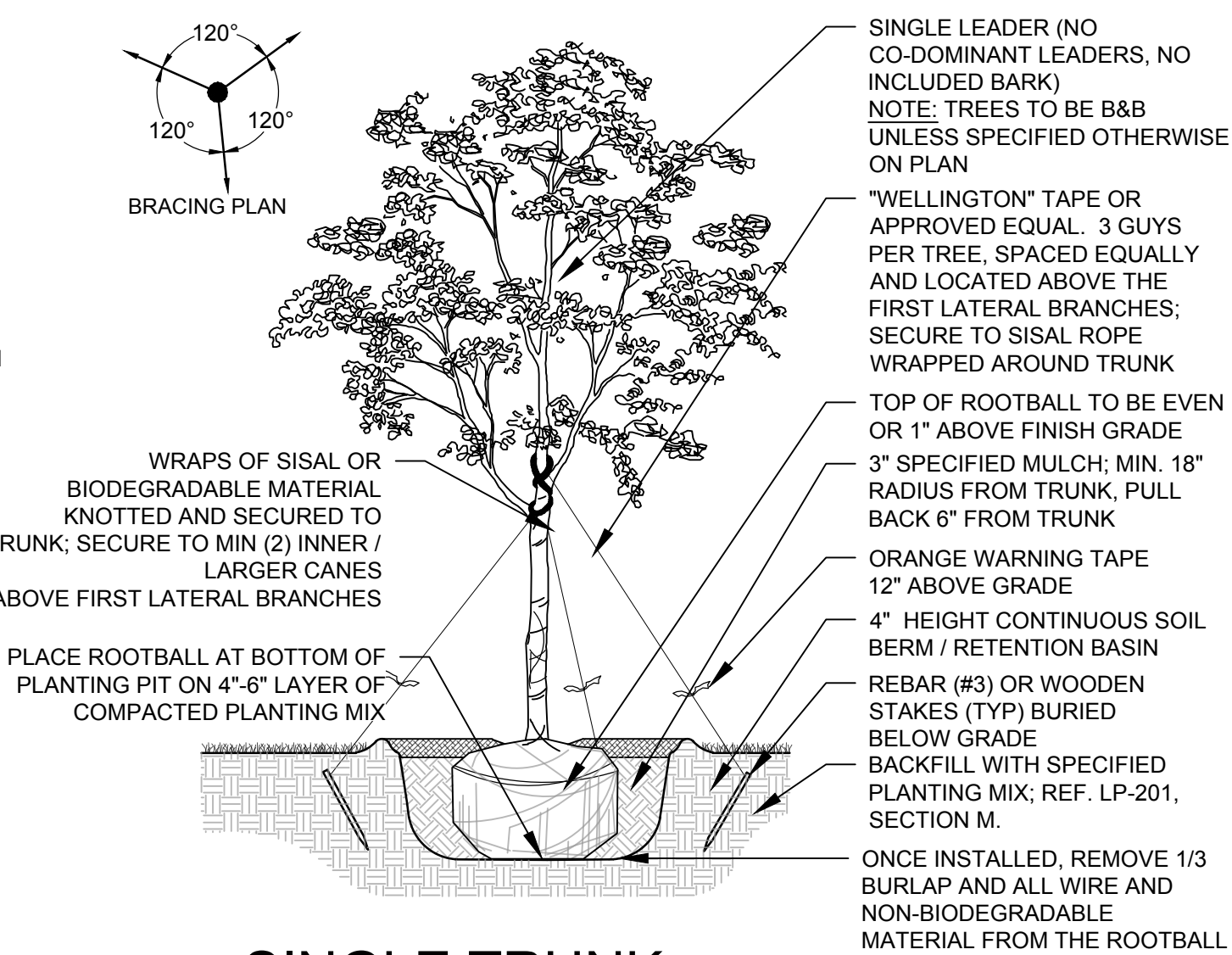
08 SMALL / MEDIUM TREE PALM PLANTING DETAIL
SECTION NOT TO SCALE



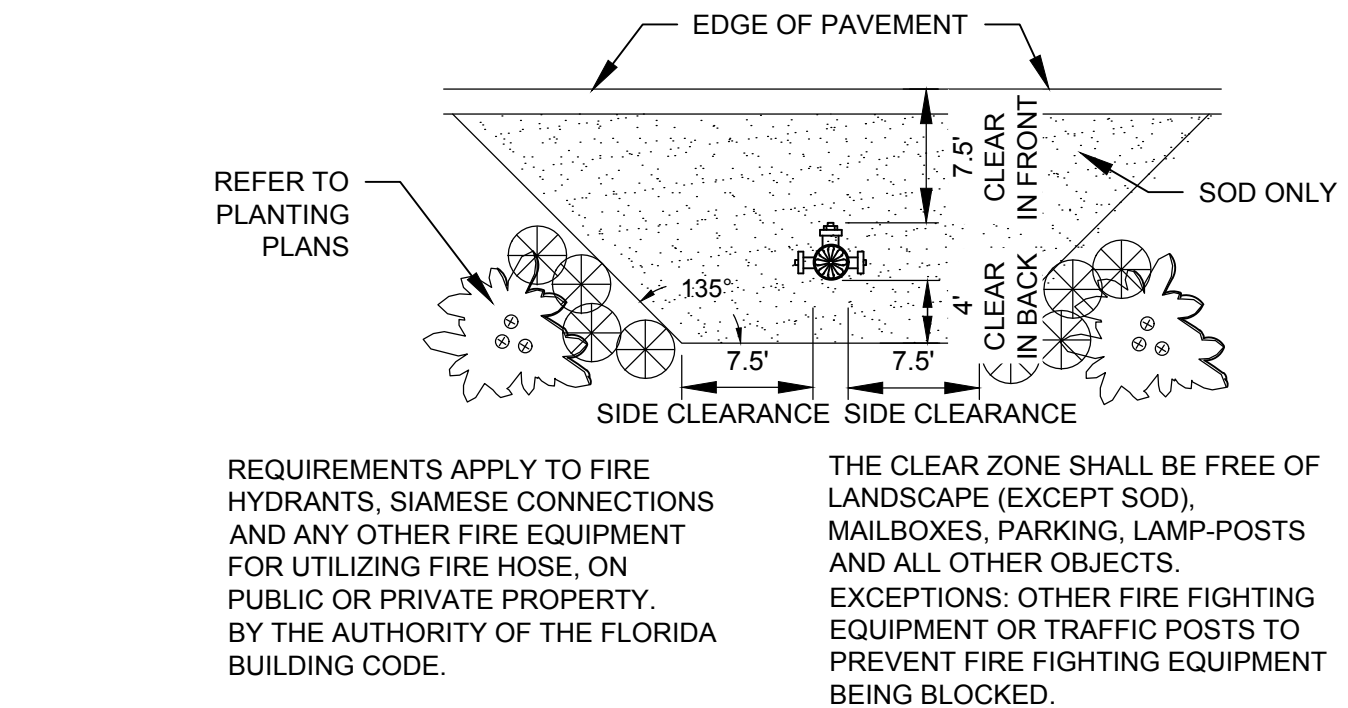
05 TYPICAL SCREEN FOR UTILITIES / MECH. EQUIP.
PLAN / SECTION NOT TO SCALE



01 MULTI-TRUNK TREE PLANTING DETAIL
SECTION NOT TO SCALE



07 SINGLE TRUNK TREE PLANTING DETAIL
SECTION NOT TO SCALE



04 FIRE HYDRANT CLEAR ZONE
PLAN NOT TO SCALE

NOTE:
• REF. LP-201, LANDSCAPE NOTES, FOR ADDITIONAL REQUIREMENTS.
• ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.

KEITH
301 East Atlantic Blvd. Pompano Beach, FL 33060
PH: (954) 788-3400
Florida Certificate of Authorization: 7928
Licensed Business Number: 6860

REVISIONS		
NO.	DESCRIPTION	DATE

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE:	04/08/21
DESIGNED BY:	JR, MP
DRAWN BY:	JR
CHECKED BY:	MP
BID-CONTRACT:	

MICHAEL J. PHILLIPS, R.L.A.
FLORIDA REG. NO. LA0001540
(FOR THE FIRM)

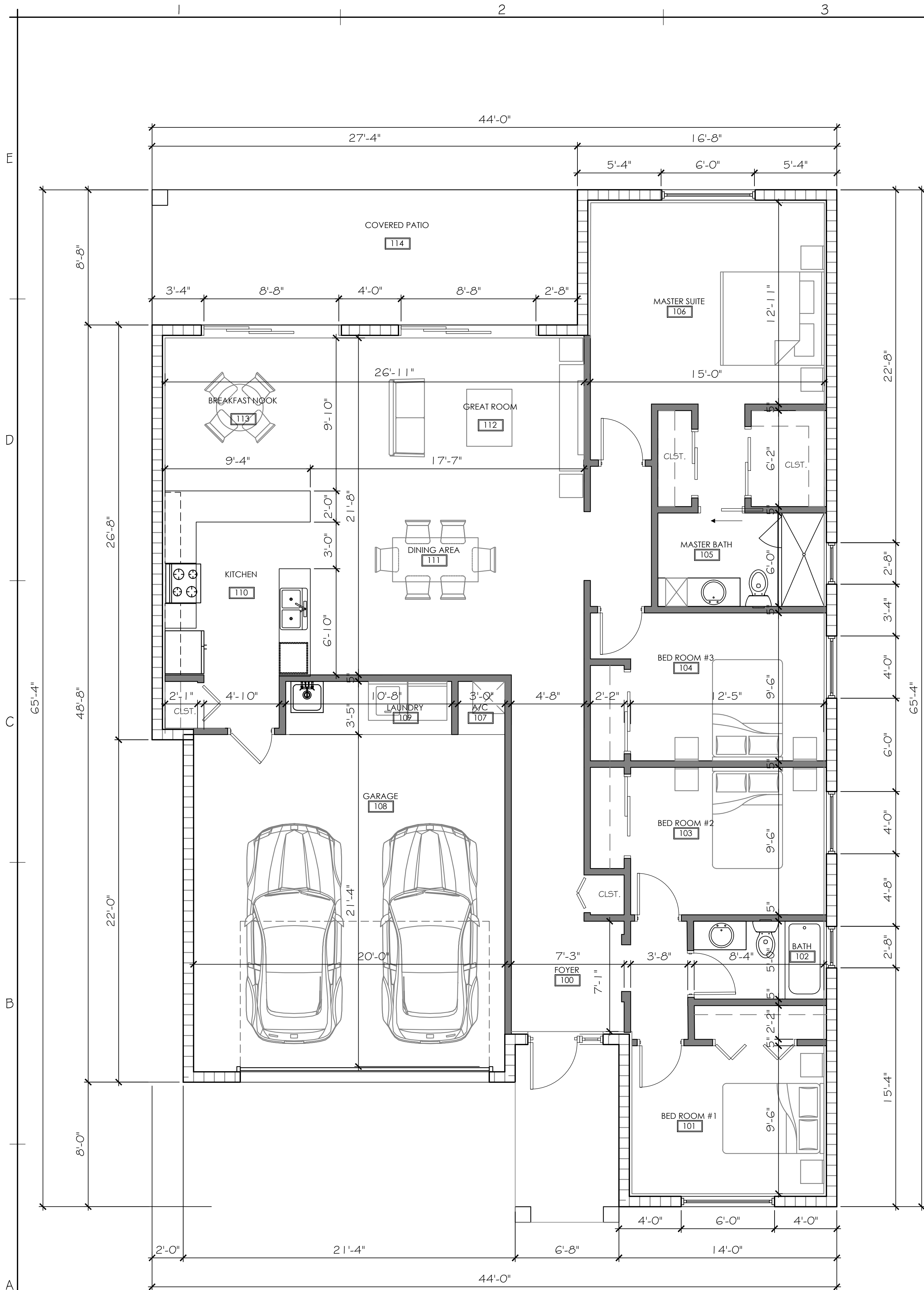
CLIENT
BROWARD
county • housing authority

PROJECT
**BCHA
OAKLAND PARK
LAND AND LOTS**

SHEET TITLE
LANDSCAPE DETAILS

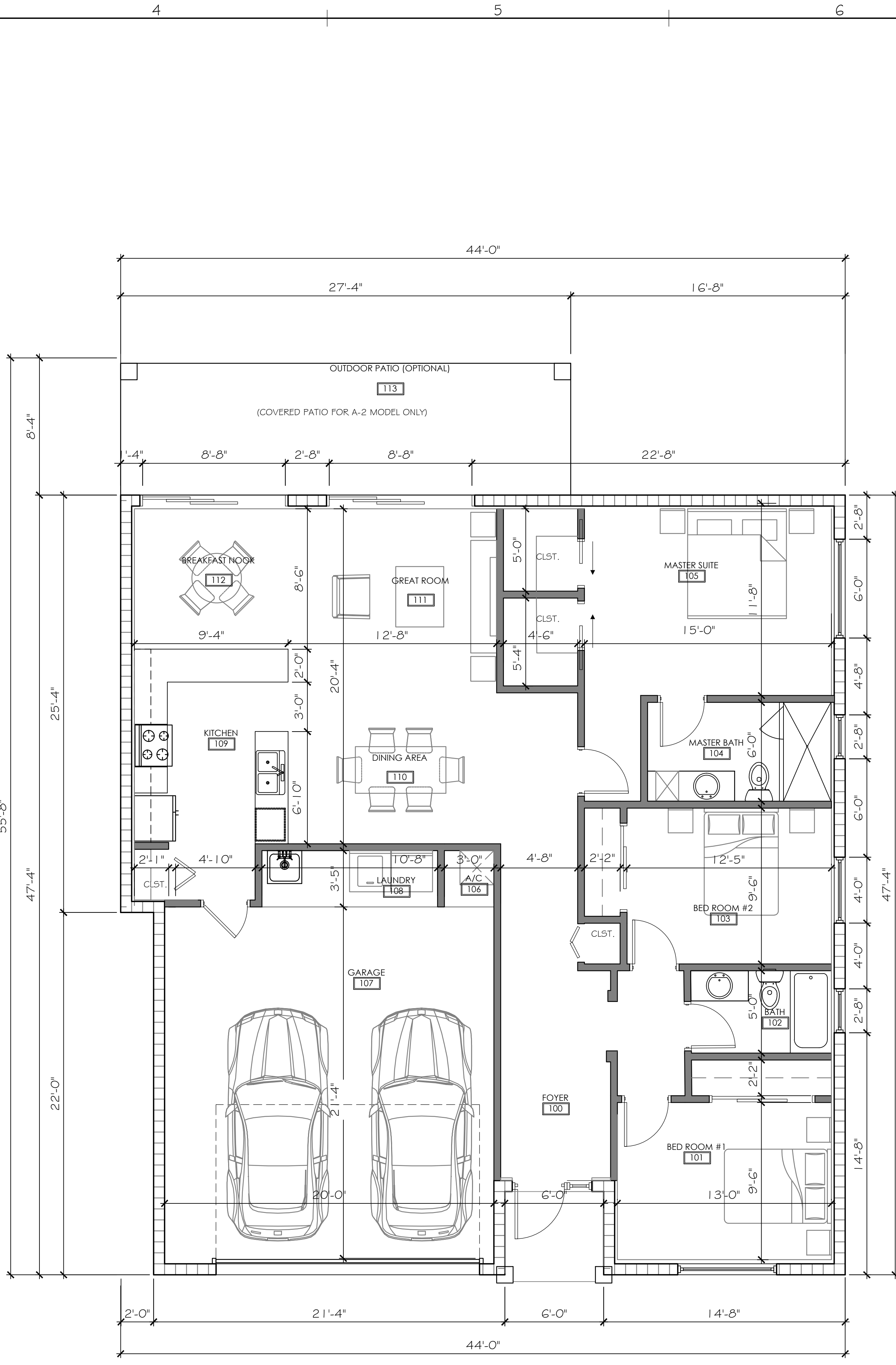
SHEET NUMBER	LP-501
PROJECT NUMBER	10659.01

Plotted by: jrmald On Wednesday, September 23, 2020 9:40:08 AM
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STATUS: PRELIMINARY



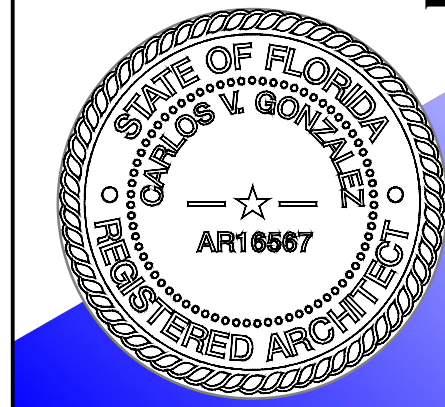
A1 FLOOR PLAN-UNIT B

BUILDING (TOTAL AREA) = 2,336 S.F.
BUILDING (AIR CONDITIONED) = 1,863 S.F.
BUILDING (NON A/C) = 475 S.F.



A4 FLOOR PLAN-UNIT A

BUILDING (TOTAL AREA) = 2,024 S.F.
BUILDING (AIR CONDITIONED) = 1,549 S.F.
BUILDING (NON A/C) = 475 S.F.



SITE & BUILDING IMPROVEMENT:
BCHA OAKLAND PARK HOUSING

OAKLAND PARK, FL 33311

barranco gonzalez • architecture • planning • interior design
1915 southeast 4th avenue Fort Lauderdale, FL 33316 phone: (954) 961-7675 fax: (954) 961-7685 mail@bgonline.com

DESIGNED	DRAWN	CHECKED
CVG	GI	CVG
DATE:	COMM:	
01.14.21	201007	

REVISIONS

FLOOR PLAN

SCHEMATIC DESIGN

A-101



- Total facade area excluding garage: 201 sq. ft....100%
- Required glazing area: 46.12 sq. ft...23%
- Proposal glazing area: 50.60 sq. ft...25.17%

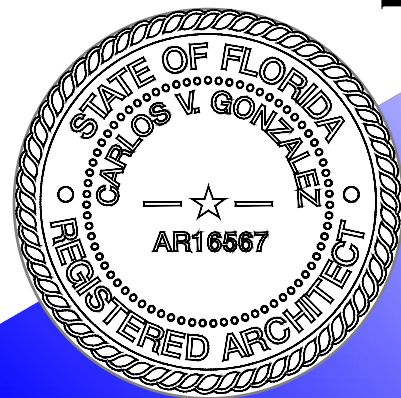
C1 WEST ELEVATION UNIT A
3/8" = 1'-0"
0' 6" 1' 3" 5'



- Total facade area excluding garage: 202 sq. ft....100%
- Required glazing area: 46.46 sq. ft...23%
- Proposal glazing area: 50.60 sq. ft...25.04%

A1 WEST ELEVATION UNIT B
3/8" = 1'-0"
0' 6" 1' 3" 5'

SITE & BUILDING IMPROVEMENT:
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OAKLAND PARK, FL 33311
barranco gonzalez • architecture • planning • interior design
phone: (954)961-7675 fax: (954)961-7685 mail@bgarchitecture.com
1915 southeast 4th avenue
consultant

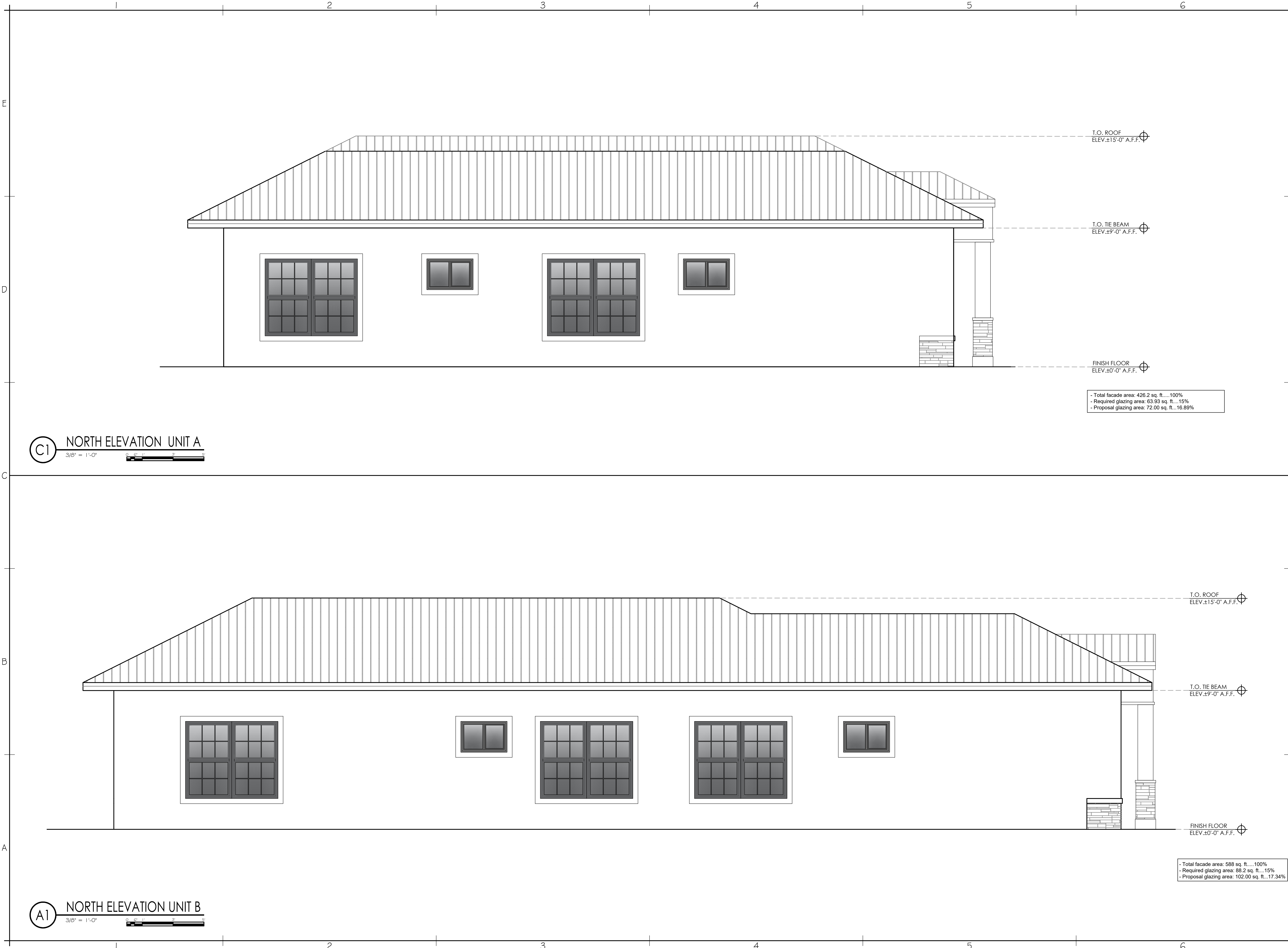
DESIGNED	DRAWN	CHECKED
CVG	GI	CVG
DATE:	COMM:	
01.14.21	201007	


R E V I S I O N S

ELEVATION

SCHEMATIC DESIGN

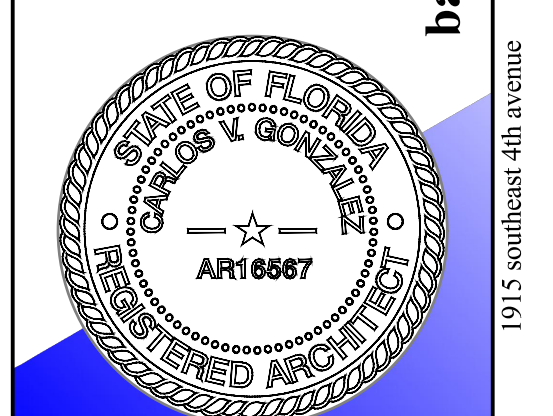
A-201





SITE & BUILDING IMPROVEMENT:
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barranco gonzalez • architecture • planning • interior design
OAKLAND PARK, FL 33311
phone: (954) 961-7675 fax: (954) 961-7685 mail@bgarchitecture.com
1915 southeast 4th avenue
consultant



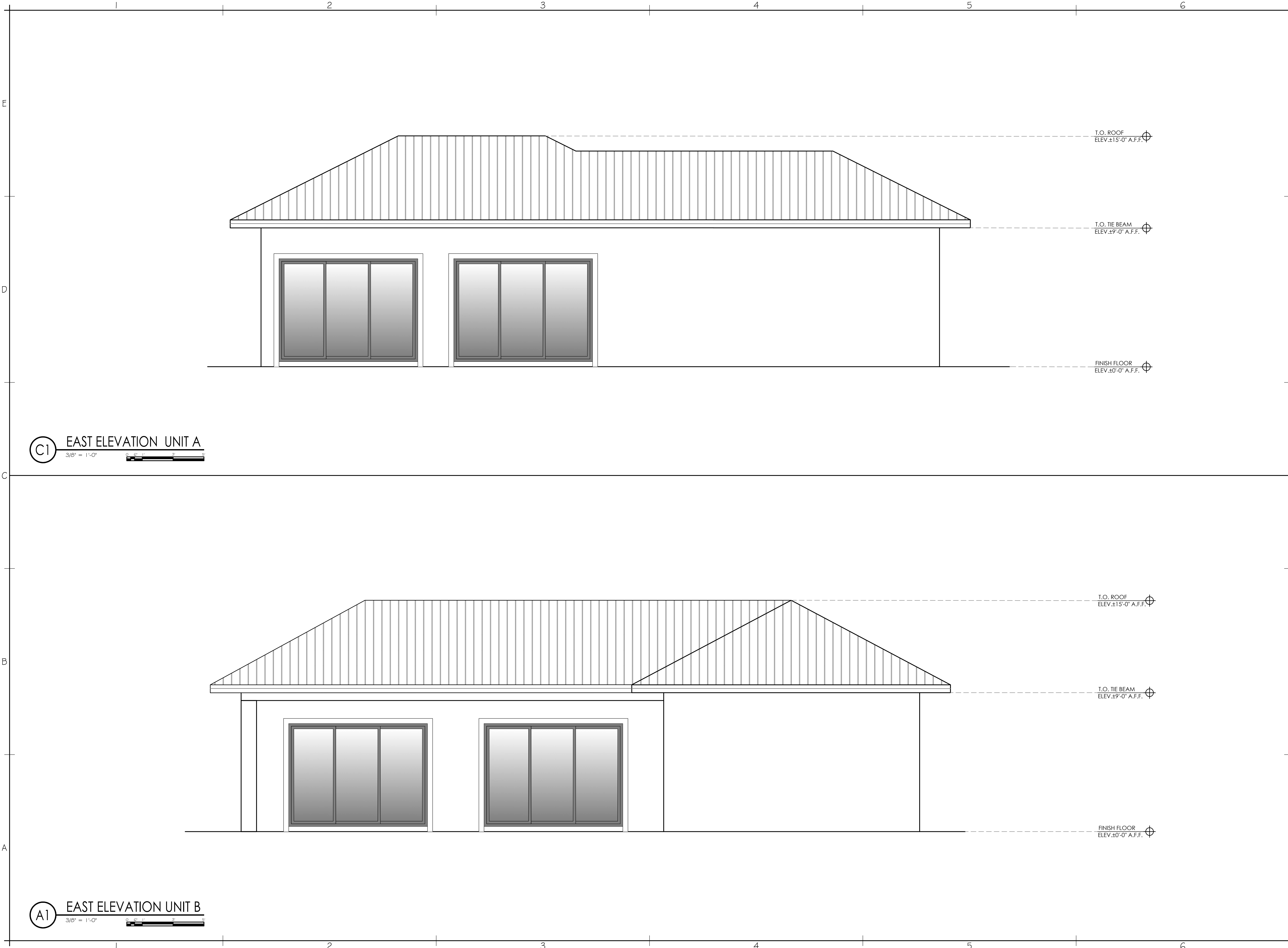
DESIGNED CVG
DRAWN GI
CHECKED CVG
DATE: 01.14.21
COMM: 201007

R E V I S I O N S

ELEVATION


SCHEMATIC DESIGN

A-202



C1 EAST ELEVATION UNIT A
3/8" = 1'-0"

A1 EAST ELEVATION UNIT B
3/8" = 1'-0"

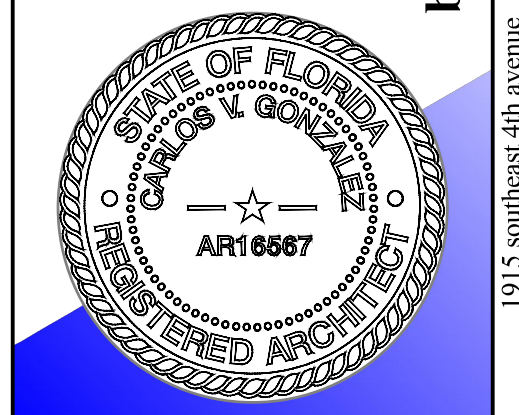


SITE & BUILDING IMPROVEMENT:
BCHA OAKLAND PARK HOUSING

OAKLAND PARK, FL 33311

barranco gonzalez • architecture • planning • interior design

1915 southeast 4th avenue
Fort Lauderdale, FL 33316
phone: (954) 961-7685 fax: (954) 961-7685
email: mail@bgarchitecture.com
ID # 26001030



DESIGNED
CVG

DRAWN
GI

CHECKED
CVG

DATE:
01.14.21

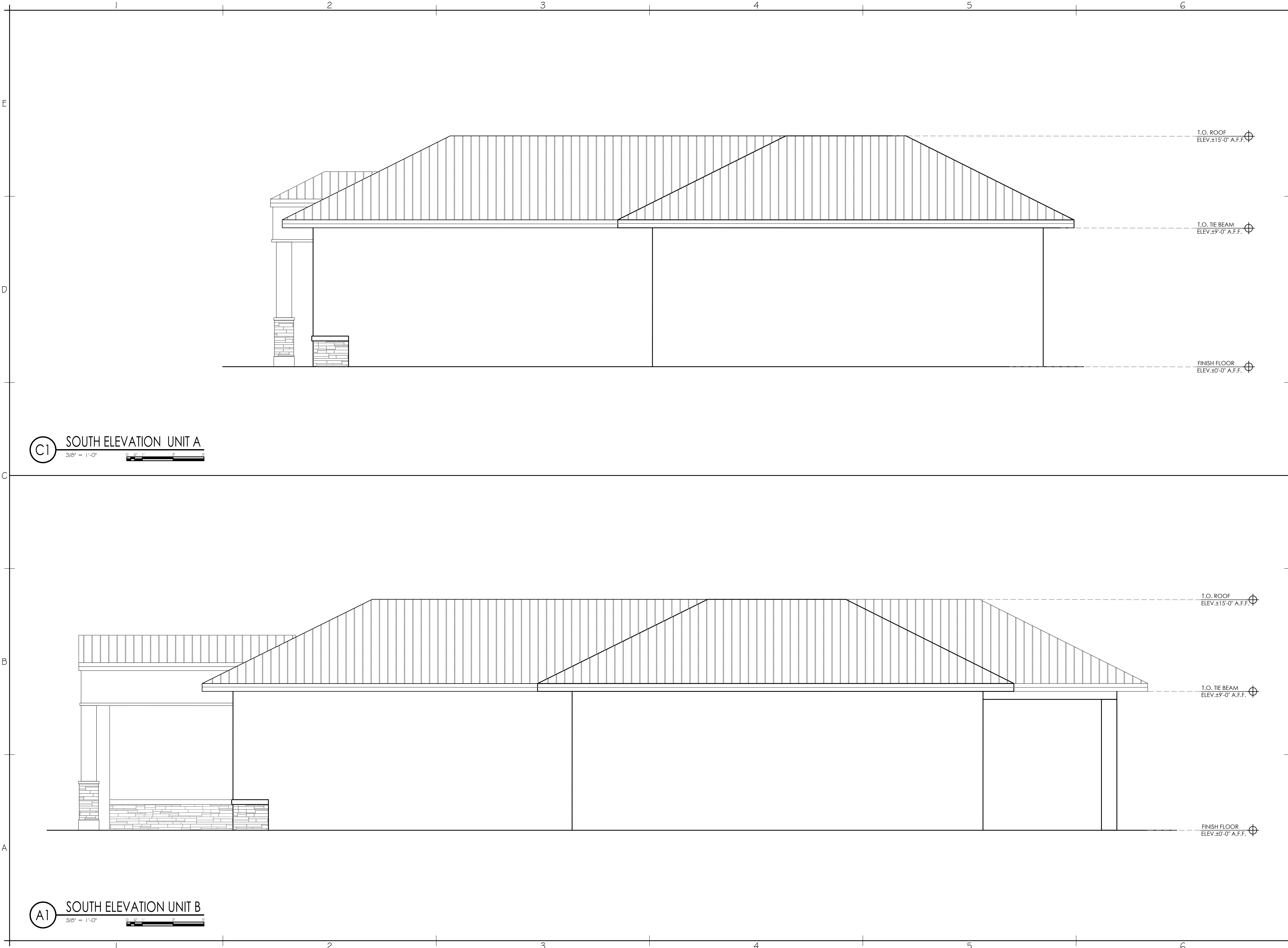
COMM:
201007

R E V I S I O N S


ELEVATION

SCHEMATIC DESIGN

A-203



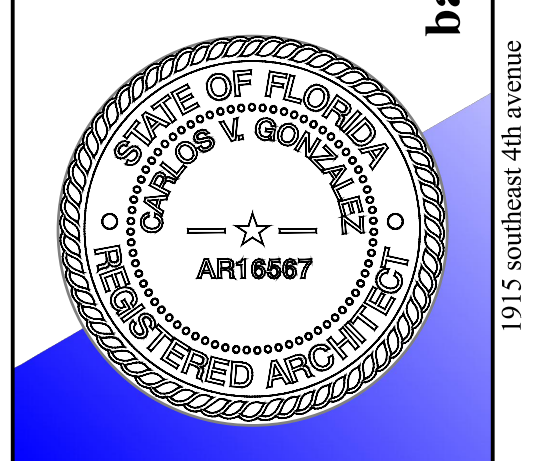
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consultant



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CVG	GI	CVG
DATE:	COMM:	
01.14.21	201007	

R E V I S I O N S

ELEVATION

SCHEMATIC DESIGN

A-204