

DULCEM CONDE RA ARCHITECT A0001803  
 PRIMITIVO E CONDE RA ARCHITECT A0014408  
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REV NO. DATE COMMENTS

PROJECT: INTERIOR IMPROVEMENT

**TRULIEVE DISPENSARY - OAKLAND PARK**  
 301 W OAKLAND PARK BLVD  
 OAKLAND PARK, FL 33311

PROJECT NO.: 20-017-00  
 ISSUE DATE: 05-20-2020  
 SCALE: AS NOTED  
 DRAWN BY: MFC  
 CHECKED: DC/PEC

Rendering

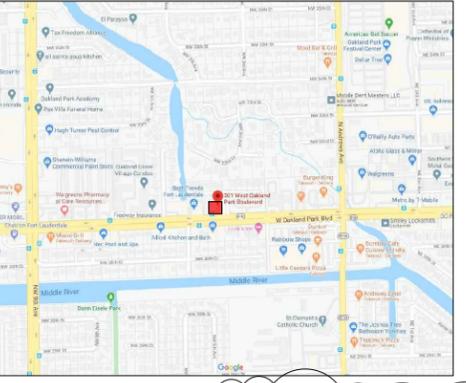
A004



**LEGAL DESCRIPTION**  
 LOT 4 AND THE EAST 1/2 OF LOT 5, OF BOULEVARD VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 60, PAGE 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THE NORTH 25 FEET THEREOF.

**WAIVER REQUEST:**  
 WAIVER IS BEING REQUESTED FOR: 1. LANDSCAPE BUFFERS WIDTH ALONG RIGHT OF WAYS. REQUIRED 10'-0" - PROPOSED 4'-0" - NW 31ST. 2. DRIVE AISLES BEHIND STALLS REQUIRED 24'-0" - PROPOSED 20'-0" - NW 31ST. BOTH ARE EXISTING CONDITIONS

FLOOD ZONE "AH", EL. = 5'  
 FLOOD ZONE "X"



LOCATION PLAN  
 N.T.S.

**SECURITY NOTES**  
 1. TRESPASS AFFIDAVIT TO BE ON FILE WITH BSO AND INSTALL 2. NO TRESPASSING SIGNS.  
 2. TOWING COMPANY TO BE CONTRACTED. TOWING SIGNS TO BE PLACED AT PARKING ENTRANCES  
 3. CCTV TO BE USED AS WELL AS SENSORS, PANIC AND ALARMS. SEE ATTACHED SECURITY DIAGRAM.  
 4. SEE ATTACHED PLANS FOR WALL AND CEILING CONSTRUCTION IN SECURE INVENTORY AREA AS WELL AS SAFE

**CURVE TABLE (C)**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE
C1	38.71'	25.00'	88°43'06"



- SITE PLAN KEY NOTES**
- EXISTING CURB TO REMAIN
  - NEW CURB
  - NEW PARKING SPACES 9' X 18' AND STRIPING
  - NEW H.C. PARKING SPACES 12' X 18' AND 5' ACCESS ISLE. PROVIDE NEW 5' ACCESS ISLE TOWARDS BLDG ENTRANCE AS SHOWN.
  - NEW CONCRETE RAMPLANDING. PROVIDE EDGE PROTECTION AT RAMP RUN
  - NEW CONCRETE WALKWAY
  - NEW LANDSCAPING, REFER TO LANDSCAPE PLANS
  - 30' X 30' SITE VISIBILITY TRIANGLE. MAX LANDSCAPE HEIGHT: 36" HIGH ABOVE GRADE
  - 20' X 20' SITE VISIBILITY TRIANGLE. MAX LANDSCAPE HEIGHT: 36" HIGH ABOVE GRADE
  - RELOCATED/NEW CONC. PAD / FENCE WITH SLATS / DUMPSTER TO REMAIN
  - EXISTING ASPHALT PAVEMENT TO REMAIN. PATCH AS REQUIRED
  - NEW 8 FT HIGH BLOCK WALL. PAINTED STUCCO FINISH
  - NEW SIGN IN EXISTING STRUCTURE LOCATION. RECOVER ONLY.
  - EXISTING FIRE HYDRANT
  - EXISTING LIGHT POLE TO REMAIN
  - NEW ACCESSIBLE ROUTE STRIPING 5 FT WIDE. MAX. RUNNING SLOPE 1:20. MAX CROSS SLOPE 1:48. PROVIDE DETECTABLE WARNING TO DRIVEWAY, SEE DETAIL ON SHEET A100.
  - EXISTING 12 FT UTILITY EASEMENT
  - EXISTING TRANSFORMER TO REMAIN
  - NEW BICYCLE RACK, MODEL NO.: MODEL-D 5 STALL BY URBAN ACCESSORIES. RACK TO COMPLY WITH OAKLAND PARK DOWNTOWN MIXED USE DESIGN GUIDELINES
  - SUSTAINABLE DESIGN ITEMS TO INCLUDE A NEW REFLECTIVE WHITE ROOF, LED LIGHTING, IMPACT THERMAL WINDOWS, SHADE TREES and XERISCAPE PLANTS, ETC
  - DOCTORS WILL NOT EXAM OR ISSUE PRESCRIPTIONS FROM THIS FACILITY
  - THERE IS NO DRIVE THRU WINDOW AT THIS FACILITY

**SITE DATA**

PROPERTY ADDRESS: 301 W OAKLAND PARK BLVD  
 OAKLAND PARK, FL 33311

EXISTING ZONING: B-1 / COMMUNITY BUSINESS DISTRICT  
 LAND USE DESIGNATION: C - COMMERCIAL  
 CURRENT USE: COMMERCIAL - RESTAURANT  
 PROPOSED USE: COMMERCIAL - MEDICAL MARIJUANA DISPENSARY

LOT AREA: 23,689.5 S.F. (0.543 ACRE)  
 ADJACENT ZONING: NORTH - R-2 TWO FAMILY RESIDENCE;  
 EAST - B-1 COMMUNITY BUSINESS;  
 SOUTH - CITY OF FT LAUDERDALE  
 WEST - B-1 COMMUNITY BUSINESS

MUNICIPAL BOUNDARIES: ENTIRE PROPERTY WITHIN IMMEDIATE OAKLAND PARK MUNICIPALITY  
 FEMA FLOOD ZONE: ONE - X 0.2 ANNUAL CHANCE OF FLOOD HAZARD;  
 ONE - AH EL. 5'

SERVICE PROVIDERS:  
 WATER: CITY  
 SEWER: CITY

OPEN SPACE / PERVIOUS AREA / LANDSCAPE AREA / VUA:

REQUIRED: 5,926.0 S.F. (25.00%)  
 PROPOSED: 6,044.0 S.F. (25.52%)

IMPERVIOUS AREA

SIDEWALKS/CURB: 1,021.9 S.F. (4.33%)  
 VEHICULAR USE: 13,644.6 S.F. (57.60%)  
 BUILDINGS: 3,097.0 S.F. (13.07%)  
 TOTAL: 23,689.5 S.F. (100.00%)

**BUILDING DATA**

	EXISTING	PROPOSED	PERMITTED
BUILDING HEIGHT	16'-11"	18'-3/4"	100'
NO. OF STORIES	1	1	-
COMMERCIAL USE AREA	3,144 S.F.	3,097 S.F.	N/A

**SETBACKS:**

	EXISTING	PROPOSED	REQUIRED
FRONT 31ST STREET	40'-8"	45'-7"	10'-0"
SIDE 3RD AVE	15'-3 1/4"	15'-3 1/4"	15'-0"
SIDE INTERIOR	67'-7 3/4"	67'-7 3/4"	15'-0"
REAR	63'-1 1/2"	63'-1 1/2"	15'-0"
STRUCTURE LENGTH:	75'-11 1/4"	75'-11 1/4"	

**PARKING DATA**

	REQUIRED	PROPOSED
REGULAR SPACES 9' X 18'	11	30
OF RETAIL	1,300 SF	
ADA SPACES 12' X 18' 5'	2	2 (RELOCATED)

- SITE NOTES**
- CAMERA'S WILL BE USED FOR CRIME PREVENTION & BURGLAR ALARM
  - PROPOSED LIGHTING WILL BE DESIGNED AND INSTALLED TO REFLECT THE LIGHT AWAY AND PREVENT GLARE OR EXCESSIVE LIGHT ON ADJACENT PROPERTY

**CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) PRINCIPLES**

**NATURAL SURVEILLANCE:**

- KEEP AREAS WELL LIT. IN PARTICULAR, BUILDING ENTRANCES SHOULD BE BRIGHT AT ALL TIMES AND PROVIDE A CLEAR LINE OF SIGHT FROM BOTH INSIDE AND OUTSIDE.
- ELIMINATE HIDING SPOTS. CUT DOWN HEDGES AND REMOVE TREES, BUSHES, FENCES, DUMPSTER, ETC. THAT CREATE BLIND SPOTS OR HIDING PLACES.
- LOW, THORNY HEDGES WORK WELL AROUND WINDOWS, BECAUSE THEY DON'T OBSTRUCT THE VIEW IN OR OUT, AND THEY DON'T PROVIDE A COMFORTABLE PLACE TO HIDE.
- USE CLOSED CIRCUIT TELEVISION (CCTV) TO VIEW AREAS WITHOUT NATURAL SIGHT LINES. PUT UP MONITORS IN PUBLIC AREAS SO THAT VISITORS KNOW THEY ARE BEING WATCHED. THE LAST THING A CRIMINAL WANTS TO SEE WHEN THEY ENTER A BUILDING IS THEIR OWN FACE ON A SECURITY CAMERA'S MONITOR.
- PROVIDE TWO BENCHES ON FACING SOUTH AND ONE FACING WEST TOWARDS THE PARKING AREA

**NATURAL ACCESS CONTROL:**

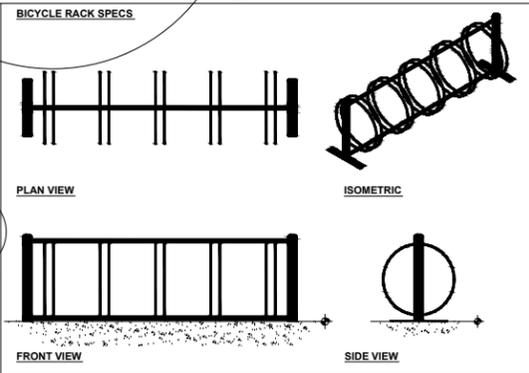
- PROVIDE HOURS OF OPERATIONS ON THE FRONT DOOR. PROVIDE A WIDE ANGLE FISH EYE PEEP HOLE ON REAR DOOR WITH A SIGN STATING "NO ENTRY" USE FRONT ENTRANCE. ADDRESS NUMBER 301 SHALL BE VISIBLE FROM OAKLAND PARK.
- PROVIDE MOTION ACTIVATED LIGHTS AT REAR OF BUILDING.

**TERRITORIAL REINFORCEMENT:**

- MAKE SURE RECEPTIONISTS HAVE CLEAR SIGHT LINES TO ALL ENTRANCES, AS WELL AS THE ABILITY TO QUICKLY AND DISCREETLY CALL FOR HELP. A PANIC BUTTON THAT CALLS A CENTRAL STATION OR SIGNALS FOR HELP VIA AN ALARM LIGHT IN A SEPARATE SECTION OF THE BUILDING WORKS WELL.
- MAKE SURE SECURITY SIGNAGE IS CLEARLY VISIBLE AT ALL ENTRANCES.

**MAINTENANCE:**

- WELL-MAINTAINED AREA SENDS THE MESSAGE THAT PEOPLE NOTICE AND CARE ABOUT WHAT HAPPENS IN AN AREA. THIS, IN TURN, DISCOURAGES VANDALISM AND OTHER CRIMES. THERE WILL BE A LANDSCAPE MAINTENANCE AGREEMENT IN PLACE TO KEEP PROPERTY TIDY AND CLEAN



- CAST COMPONENTS WILL BE OF 100% RECYCLED ALUMINUM: ASTM B261.

- CASTINGS WILL BE SQUARE AND FLAT, FREE OF BURRS, SLAG, AIR POCKETS, BLOW HOLES, FLASHING, AND GRINDING OR WELDING ON EXPOSED SURFACES. EXCESSIVE WARPING OR SHRINKAGE IS NOT ACCEPTABLE.

- FABRICATED COMPONENTS WILL BE MILD CARBON STEEL, ASTM A36.

- ALL VISIBLE WELDS TO BE GROUND SMOOTH ON OUTSIDE EDGES.

- FABRICATION WILL BE TRUE TO SQUARE, OR DIAMETER AND SI-ED WITHIN 1/8".

- FINISH TO BE POWDER COAT, STANDARD UA COLOR AND APPLIED PER UA SPECIFICATIONS. IF ALTERNATE COLOR OR FINISH IS REQUIRED, PLEASE PROVIDE ALL FINISH INFORMATION FOR UA APPROVAL.

- DIMENSIONS SHOWN ARE NOMINAL.

- FOR CASES OF "OR EQUAL" CONSIDERATION, OUR FINISHED, FULL SIZE PRODUCT SHOULD BE COMPARED WITH THE ALTERNATIVE PRODUCT FOR GENERAL QUALITY, SURFACE FINISH, PRECISE PATTERN WORK, METAL CHARACTERISTICS, AND OVERALL DESIGN AESTHETICS

**COLLABORATIVE**

PROJECT: INTERIOR IMPROVEMENT

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 301 W OAKLAND PARK BLVD  
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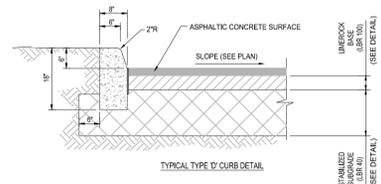
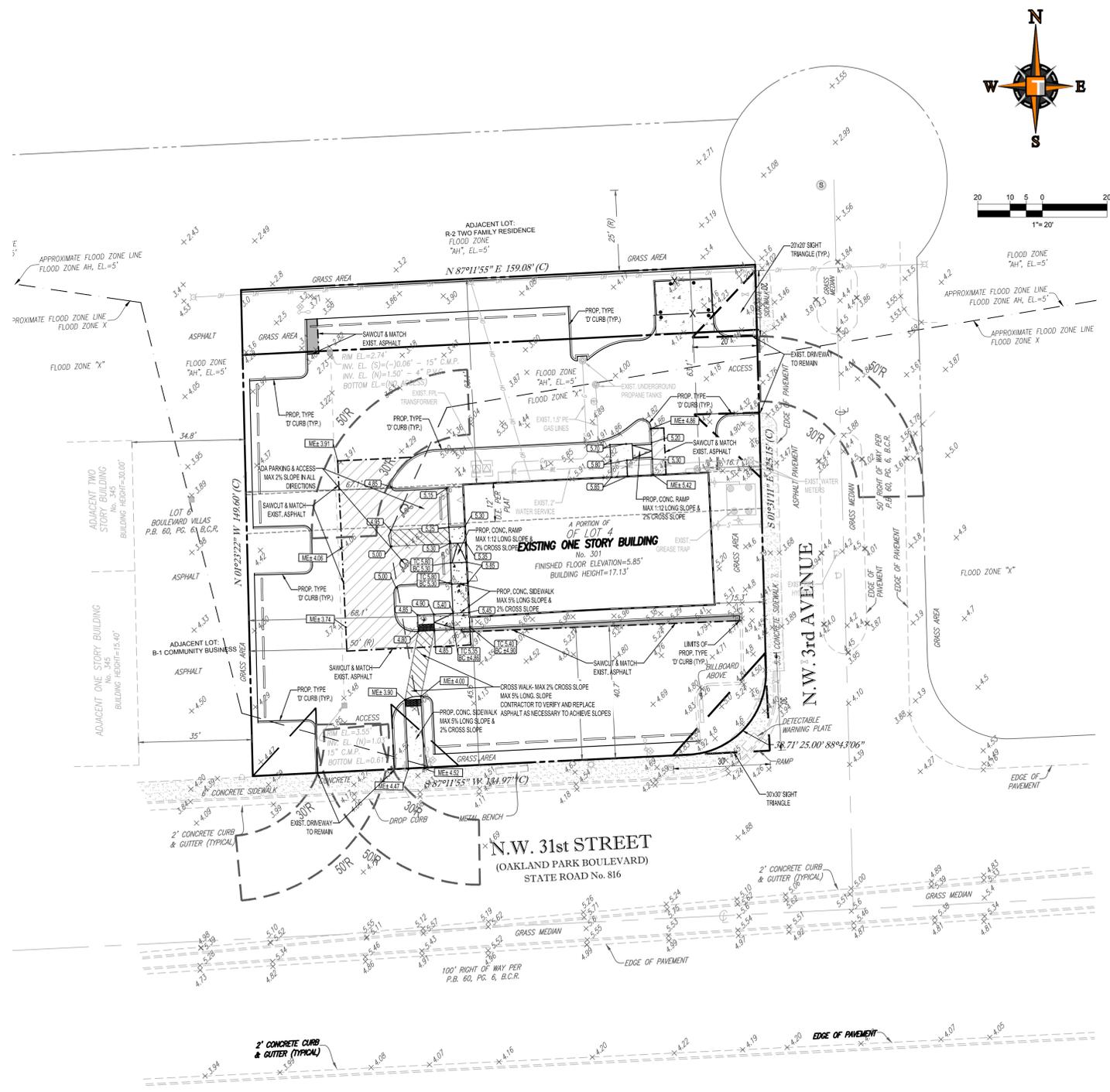
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2020-05-20 11:30 AM

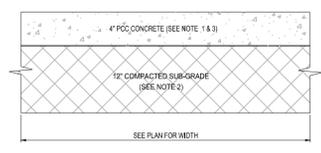
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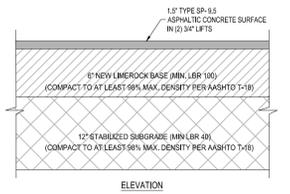


**1 TYPE 'D' CURB DETAIL**  
SCALE: NONE



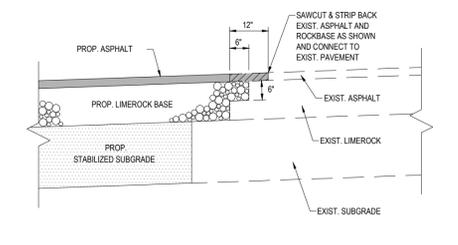
- NOTES:**
- SIDEWALK SHALL BE 4" THICK EXCEPT IN DRIVEWAYS WHERE THE THICKNESS SHALL BE 6".
  - 12" SUBGRADE BELOW SIDEWALK SHALL BE COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. (T-190)
  - T-190 CONCRETE STRENGTH SHALL BE MIN. 3000 PSI @ 28 DAYS.
  - SIDEWALK REMOVAL & REPLACEMENTS TO CONSIST OF FULL FLAGS.
  - PROVIDE EXPANSION JOINT (TYPE A) AT CONNECTIONS BETWEEN NEW AND EXISTING SIDEWALK.
  - PROVIDE FIBEROUS JOINTS 20' O.C.

**2 TYPICAL CONCRETE SIDEWALK SECTION**  
SCALE: NONE

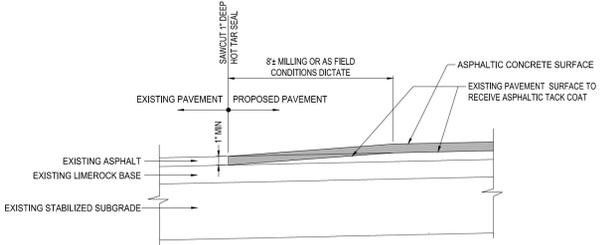


NOTE:  
PAVEMENT SECTION ASSUMES THE COMPLETE REMOVAL OF ALL ORGANIC MATERIAL.

**3 ASPHALTIC CONCRETE PAVEMENT DETAIL**  
SCALE: NONE



**4 CONNECTION TO EXISTING PAVEMENT DETAIL**  
SCALE: NONE



**5 PAVEMENT SAWCUT/MILLING DETAIL**  
SCALE: NONE

**DATUM NOTE:**  
ALL ELEVATIONS SHOW HEREON ARE IN FEET AND ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD). ADD 1.58 TO CONVERT TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD).

**CONSTRUCTION NOTES:**

- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
- CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
- CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
- CONTRACTOR TO SOD ALL DISTURBED AREAS. SOODING INCLUDES MAINTAINING SLOPE AND SOD UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
- ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
- THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) PRIOR TO CONSTRUCTION.
- PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS. DURATION OF CONSTRUCTION IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 600.
- THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
- PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
- 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
- ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0%
- ALL GRADE SHOTS ARE TO BE EDGE OF PAVEMENT (EOP) UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE BASED ON REFERENCE DATUM NAVD 1988.
- CITY OF OAKLAND PARK SHALL BE NOTIFIED SEVEN (7) WORKING DAYS PRIOR TO COMMENCEMENT OF WORK.

LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
—○—○—○—	OVERHEAD WIRE	
—S—S—S—S—	STORM SEWER	
—W—W—W—W—	UNDERGROUND WATER LINE	
—L—L—L—L—	SANITARY SEWER LATERAL	
⊙	GAS TANK	
⊕	CATCH BASIN	
⊗	WATER METER	
⊕	CLEAN OUT	
—	TOP OF CURB	TC 11.20
—	BOTTOM OF CURB	BC 11.20

HATCH LEGEND	
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PROPOSED MILL & RESURFACE
	PROPOSED ASPHALT PAVEMENT

**THOMAS ENGINEERING GROUP**  
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
 6300 NW 31ST AVENUE, SUITE 200, FORT LAUDERDALE, FL 33309  
 6300 NW 31ST AVENUE, SUITE 101, TAMPA, FL 33612  
 P: (954) 202-7000 P: (813) 379-4100

REVISIONS:		
REV.	DATE	COMMENT

**811** KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG  
 www.callsunshine.com

PROJECT No.:	F200047
DRAWN BY:	JNF
CHECKED BY:	KND
DATE:	11/18/2020
CAD I.D.:	F200047 PRELIMINARY

**TRULIEVE DISPENSARY OAKLAND PARK**  
 FOR SD COLLABORATIVE (TRULIEVE)

**THOMAS ENGINEERING GROUP**  
 6300 NW 31ST AVENUE, FORT LAUDERDALE, FL 33309  
 PH: (954) 202-7000  
 FX: (954) 202-7070  
 www.ThomasEngineeringGroup.com

This plan has been electronically signed and sealed by Kristin N. DiPierro, P.E. State of Florida Professional Engineer, License No. 84350 on 11/18/2020 using a digital signature. Printed copies of this plan are not considered signed and sealed and the signature must be verified on any electronic copies.

**KRISTIN N. DIPIERRO**  
 PROFESSIONAL ENGINEER  
 FLORIDA LICENSE NO. 84350  
 November 18, 2020  
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

**PRELIMINARY ENGINEERING PLAN**  
 SHEET NUMBER:  
**C-02**

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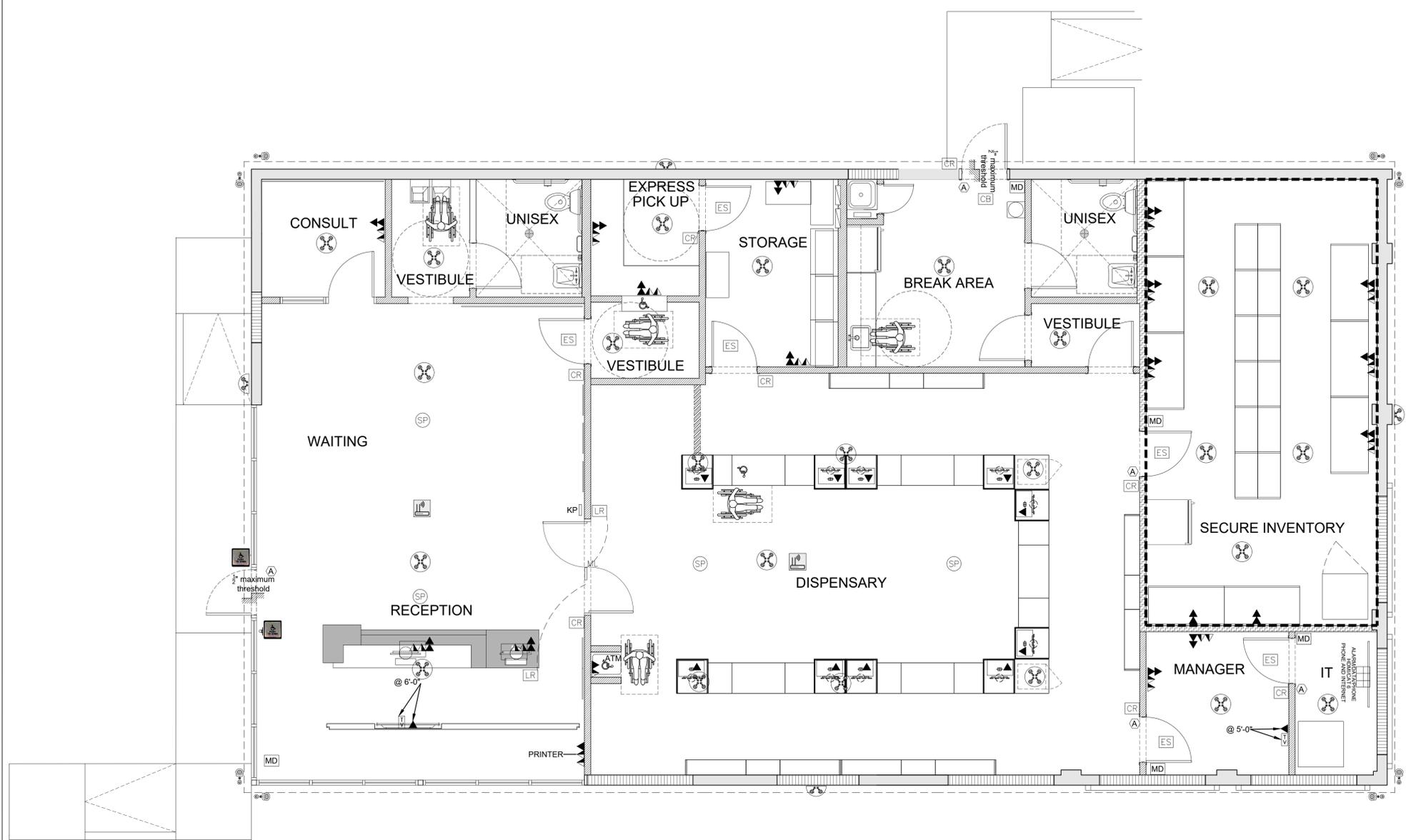
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New Security Floor Plan  
 A2

**TRULIEVE DISPENSARY - OAKLAND PARK**  
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**LEGEND:**

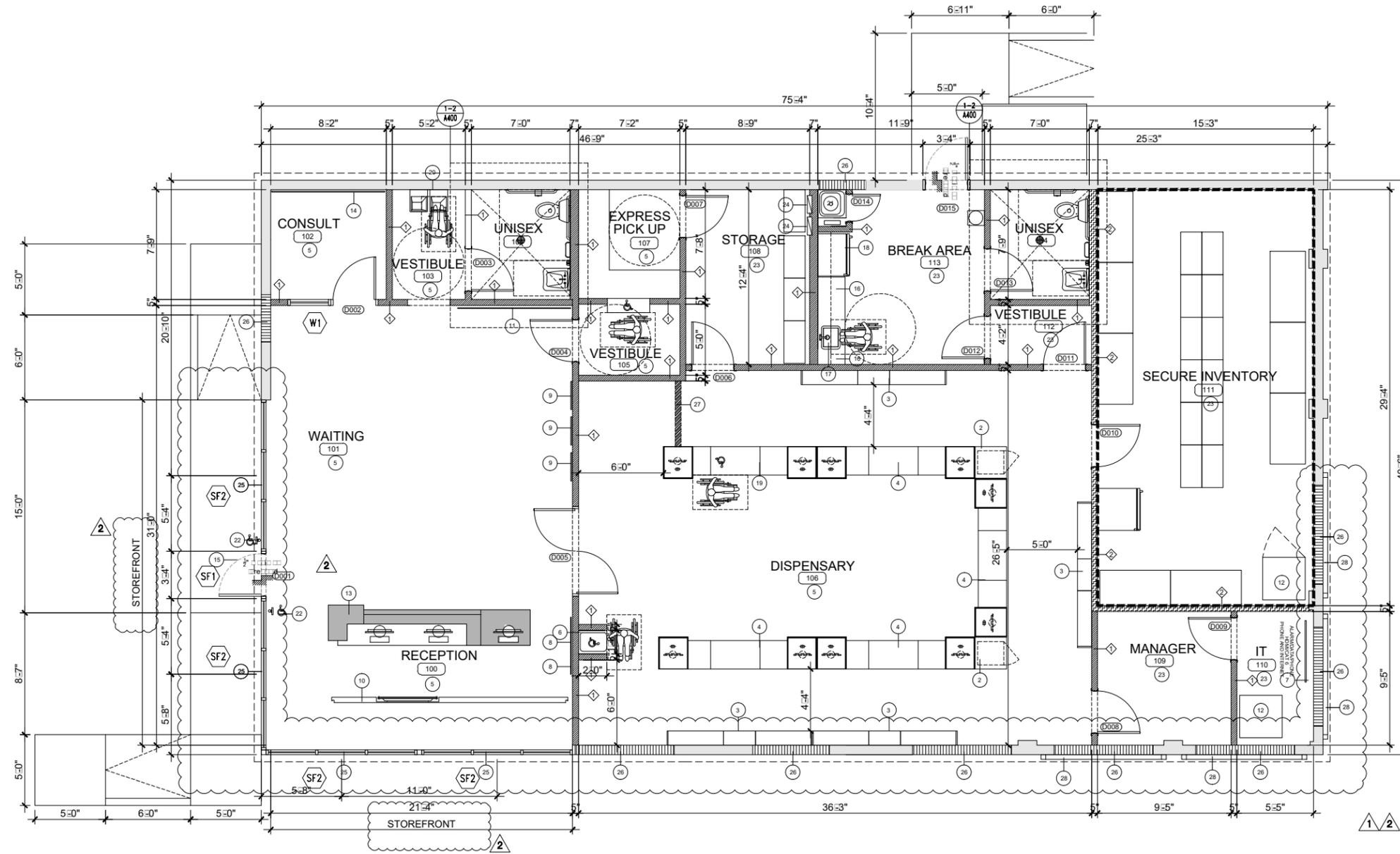
-  SPEAKER
-  MOTION DETECTOR
-  ELECTRIC STRIKE - 12VOLTS ADAMSRITE ELECTRIC STRIKE OR EQUAL
-  CARD READER - CORTEX COR - ACC890 OR EQUAL
-  LOCK RELEASE
-  CRASH BAR WITH SURFACE STRIKE
-  KEYPAD
-  MAG LOCK - SDC 350 NARROW LINE SINGLE EMLock, (1200 LBS, 12V OR EQUAL)
-  DATA JACK - LEVITON ATLAS X1CAT 6A QUICKPORT CONNECTOR W/41080-IWP WALLPLATE
-  2 CAT 5 DROPS PER MARK, TONES, TESTED, LABELED
-  UNDER CABINETS - QUAD OUTLET & CAT 6 DATA OUTLET
-  HDMI TERMINATION BOX WITH DUPLEX RECEPTACLE - DATACOMM 45-0051-WH OR EQUAL
-  SECURITY CAMERAS
-  360° SECURITY CAMERAS
-  160° SECURITY CAMERA
-  ALARM KEY PAD
-  ALARM SENSOR
-  HANDICAP AUTOMATIC PUSH BUTTON
-  ALARM/DATA/INTERNET HDMI/NETWORK CLOSET AC/SK/RCVR
-  =AP/WIFI - 1 CAT DROP PER MARK, SHOULD LEAVE SERVICE LOOP IN CEILING ABOVE MARK

NOTE:

- \* ALL CEILING PENETRATIONS LIGHTS, JUNCTION BOXES, A/C VENTS, ETC. TO BE CAULKED & SEALED AS PER THE FLORIDA ENERGY CODE.
- \* SECURITY/ALARM WIRE, WHITE, 18/2 (18AWG/2 CONDUCTOR) FROM THE SAFE ROOM TO EACH CARD READER AND FROM THE CARD READER TO THE ELECTRIC STRIKE OR MAG LOCK.
- \* CAT 6 FROM SAFE ROOM TO EACH WORKSTATION, RECEPTION DESK, CARD READERS, SECURITY CAMERAS, MANAGERS OFFICE AND NEXT TO EACH OUTLET IN THE INVENTORY ROOM.
- \* ALL DOORS EQUIPPED WITH CARD READERS(CR) SHALL ALLOW FREE ACCESS, OTHER CARD READERS(CR) SHALL COMPLY WITH ACCESS CONTROL EGRESS DOOR REQUIREMENTS PER NFPA 101.7.2.1.6.2 AND FULL DETAILS SHALL BE PROVIDED.
- \* MOTION SENSORS TO COMPLY WITH SECTION 7.8.1.2.2 (1-7) OF THE FFPC 6TH EDITION.
- \* ANYWHERE THERE IS A COMPUTER INCLUDE A DATA JACK AND OUTLET. (ALL COMPUTERS TO BE HARD WIRED INTO THE INTERNET VIA ETHERNET)
- \* THE DATA/VOICE/VIDEO LINES BE LABELED OR COLOR CODED. (EX: DATA BLUE, VIDEO WHITE, PHONE BLACK)
- \* MAG LOCKS WILL DROP OUT ON POWER FAILURE.
- \* 22/4 SHIELDED FOR READERS, 18/4 STRANDED FOR EXIT BUTTONS, EXIT MOTIONS, BUZZERS, 18/2 STRANDED FOR MAGLOCKS AND DOOR STRIKES ALL RUN TO SAFEROOM/COMPUTER CLOSET
- \* REAR DOORS NEED TO HAVE CRASH BAR WITH SURFACE STRIKE.
- \* LIGHTING AND CONTROLS ARE FURNISHED BY OWNER THROUGH NATIONAL VENDOR, CED NATIONAL ACCOUNTS. CONTACT REP, SHAWN CAMPBELL, FOR GENERAL QUESTIONS (shawn.campbell@ced.com).
- \* ALL LIGHTING CONTROLS WILL BE COMPATIBLE WITH THE LUTRON VIVE WIRELESS SYSTEM AND SHALL COMPLY WITH APPLICABLE LOCAL AND NATIONAL CODES. DESIGN LAYOUT SHALL BE PROJECT SPECIFIC AND WILL BE PROVIDED BY THE LIGHTING VENDOR.

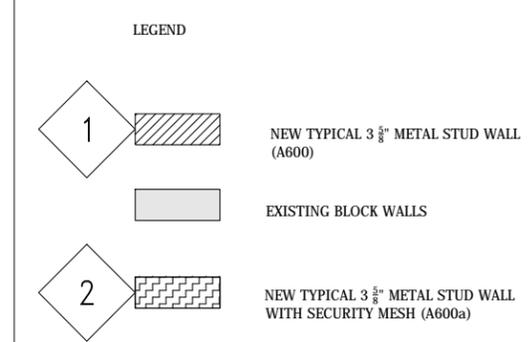
**1 New Security Floor Plan**  
 SCALE: 1/4" = 1'-0"

**2 General Notes & Legends**  
 SCALE: NTS



- 1 New 3 5/8" 20 ga. metal stud partition, 16" o.c. with 5/8" drywall and 5/8" baseboard
- 2 New undercounter refrigerator.
- 3 New display cabinet
- 4 New counter
- 5 New tile flooring in Men's and Women's bathroom, Reception, Waiting Area, Consult Room and Dispensary to be level and slip resistant
- 6 New ATM machine.
- 7 New board for HDMI/CAT6
- 8 New showroom merchandise panels. (see sheet A500a Detail 5)
- 9 New brand posters
- 10 New Wood Wall treated with a fire retardant spray prior to installation.
- 11 New focal wall graphics
- 12 New safe
- 13 New reception desk
- 14 New Where Science Meets Nature Graphics
- 15 New hours of operation
- 16 New cabinets with countertop
- 17 New sink
- 18 New refrigerator
- 19 New ADA counter
- 20 New ADA drinking fountain
- 21 New mop sink with in-line water heater
- 22 New handicap push button
- 23 New VCT flooring in Break Room, Main Inventory, Inventory, Manager Room and IT Room with rubber baseboards
- 24 New electrical panel.
- 25 New storefront.
- 26 Infill door opening.
- 27 New trench. (See sheet A600/Detail 13)
- 28 New Ivy lattice.

REV NO.	DATE	COMMENTS
1	08-17-2019	Review Comments
2	01-08-2021	Review Comments
General Note:		
* Exit and exit access doorways to comply w/section 1016 -2017 FBC - BUILDING		
* Number of exits and continuity to comply w/section 1022 - 2017 FBC - BUILDING		
* All new finishes (wall/ceiling/floor) to comply w/ FBC 803 and FBC 1008.1.		
* Provide ADA compliant signs at all locations. FBC Accessibility 703		



TRULIEVE COLLABORATIVE  
1500 N. WINDY HILL DRIVE, SUITE 200, OAKLAND PARK, FL 33411  
WWW.COLLABORATIVEARCHITECTS.COM

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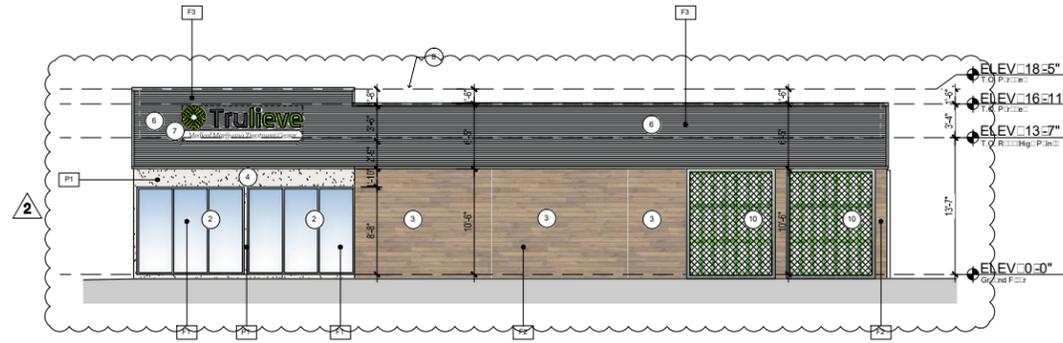
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CHECKED:	DC/PEC

Ne  F  P

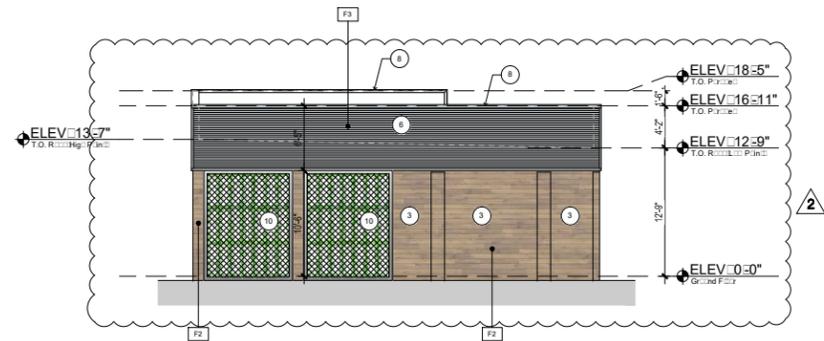
**A201**



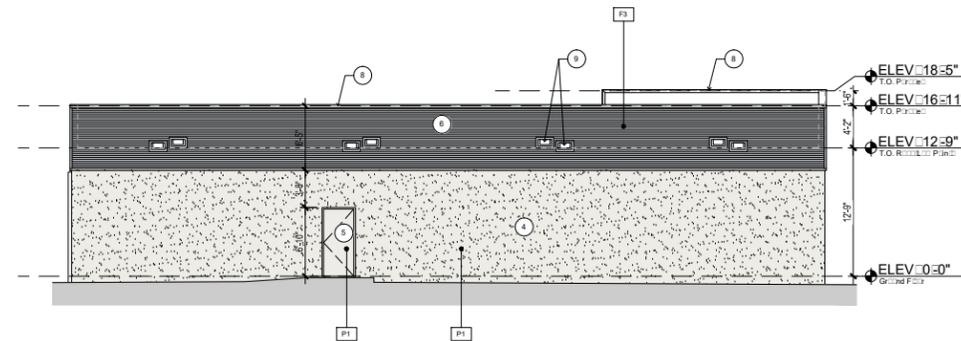
6 West Elevation  
1/8" = 1'-0"



3 South Elevation  
1/8" = 1'-0"



5 East Elevation  
1/8" = 1'-0"



2 North Elevation  
1/8" = 1'-0"

ELEVATION KEY NOTES	
1	NOT USED
2	NEW IMPACT RESISTANT ENTRANCE DOOR/TRANSOM AND STOREFRONT WITH CURRENT PRODUCT APPROVAL OR NOA.
3	WOOD FINISH - P2
4	SMOOTH STUCCO FINISH - PAINTED - P1
5	HOLLOW METAL SWING DOOR - PAINTED - P1
6	CORRUGATED METAL PANELING AND CAP FLASHING OVER STRUCTURAL METAL STUDS AND PLYWOOD - STYLE TBD - FACTORY PAINTED - P2
7	BRAND SIGN - BY OWNER UNDER SEPARATE PERMIT
8	CAP FLASHING - P2
9	SCUPPER AND OVERFLOW SCUPPER
10	NEW IVY LATTICE

PROPOSED MATERIALS	
F1	WINDOW / ENTRANCE DOOR
	FRAME: ANODIZED ALUMINUM
	GLASS: CLEAR IMPACT
F2	WOOD
	PRODEMA PRODEX PANELS - RUSTIK
F3	METAL PANEL
	CORRUGATED ARCHITECTURAL METAL PANELS W/ TRIMMING
	COLOR: P2 (SEE BELOW)
PROPOSED PAINT COLOR	
P1	WALLS/METAL DOORS
	SW7005 PURE WHITE - SHERWIN WILLIAMS PAINT (OR APPROVED EQUAL)
P2	CORRUGATE METAL PANELS
	ANODIZED ALUMINUM (OR PAINTED TO MATCH ANODIZED ALUMINUM)

4 General Note  
1/4" = 1'-0"



WALL SIGN - See 24-148, TABLE 2B	
NUMBER OF SIGNS	
PERMITTED:	2
PROPOSED:	2
SIGN AREA	
PERMITTED:	15% OF THE FACADE OF ESTABLISHMENT, NOT TO EXCEED 100 S.F.
	-SOUTH ELEVATION: 100 S.F. (35% OF 1,365 S.F. = 204.75 S.F.)
	-WEST ELEVATION: 100 S.F. (35% OF 741 S.F. = 111.15 S.F.)
	-SOUTH AND WEST ELEVATIONS: 42 S.F.
PROVIDED:	
MAXIMUM HEIGHT	
PERMITTED:	NO HIGHER THAN 6 IN BELOW THE TOP OF THE FACADE, WALL OR PARAPET.
PROVIDED:	SOUTH AND WEST ELEVATIONS: 11'-8"
MAXIMUM WIDTH	
PERMITTED:	WIDTH SHALL BE LESS THAN 75% OF THE WIDTH OF THE FACADE
	-SOUTH ELEVATION: 23'-10 1/2" (75% OF 31'-10")
	-WEST ELEVATION: 19'-1 1/2" (75% OF 25'-8")
PROPOSED:	-SOUTH AND WEST ELEVATION: 12'-0"

1 Enlarged Signage  
1/4" = 1'-0"

COLLABORATIVE ARCHITECTURE  
1000 N. W. 10TH AVE., SUITE 1000  
MIAMI, FL 33136  
TEL: 305.575.1111  
WWW.COLLABORATIVEARCHITECT.COM

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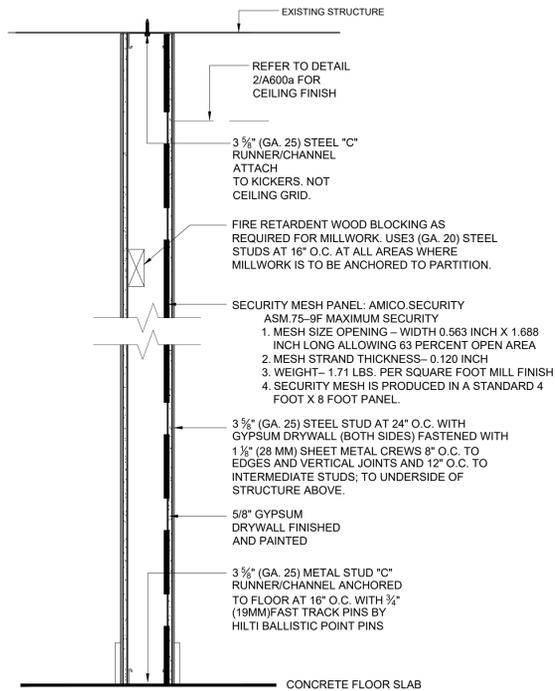
PROJECT: INTERIOR IMPROVEMENT

TRULIEVE DISPENSARY - OAKLAND PARK  
301 W OAKLAND PARK BLVD  
OAKLAND PARK, FL 33311

REV NO. DATE COMMENTS  
01-08-2021 Review Comments

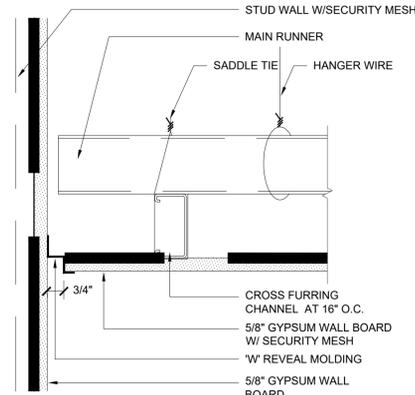
PROJECT NO.: 20-017-00  
ISSUE DATE: 05-20-2020  
SCALE: AS NOTED  
DRAWN BY: MFC  
CHECKED: DC/PEC

A300

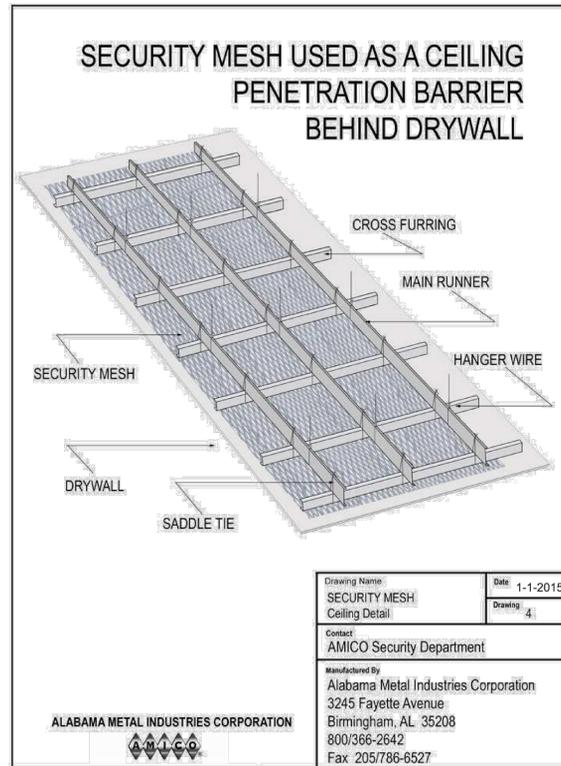


\* PARTITION HEIGHT VARIES AND NEEDS TO BE FIELD DIMENSIONED. PARTITION TYPE BEING USED TO BLOCK OPENINGS IN STUD WALLS.

1 Standard 3-5/8" Full Height w/ Security Mesh  
SCALE: 1 1/2" = 1'-0"

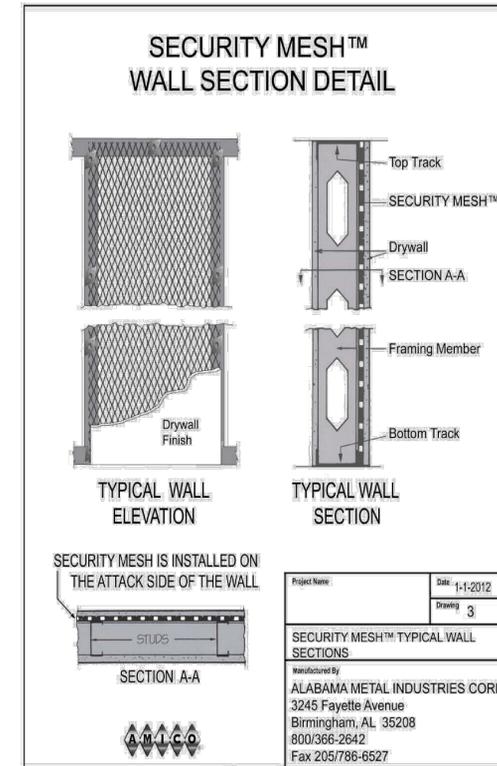


2 Gypsum Board Ceiling w/ Security Mesh - Detail  
SCALE: 3" = 1'-0"



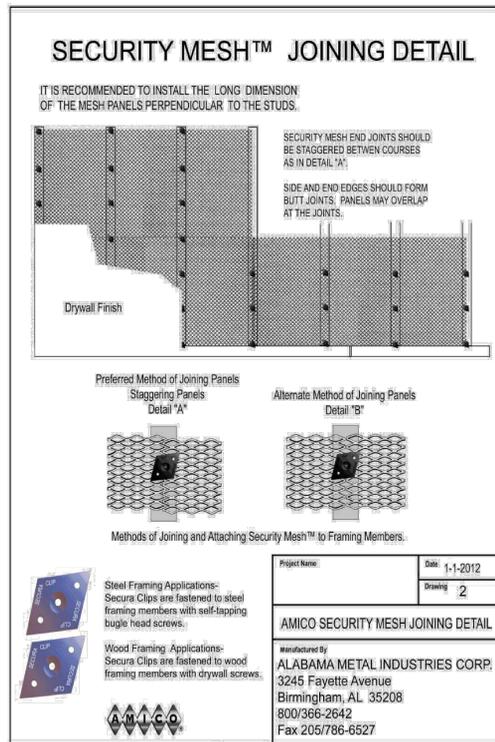
Drawing Name: SECURITY MESH Ceiling Detail	Date: 1-1-2015
Contact: AMICO Security Department	Drawing: 4
Manufactured By: Alabama Metal Industries Corporation 3245 Fayette Avenue Birmingham, AL 35208 800/366-2642 Fax 205/786-6527	

3 Security Mesh Ceiling Detail  
SCALE: NTS



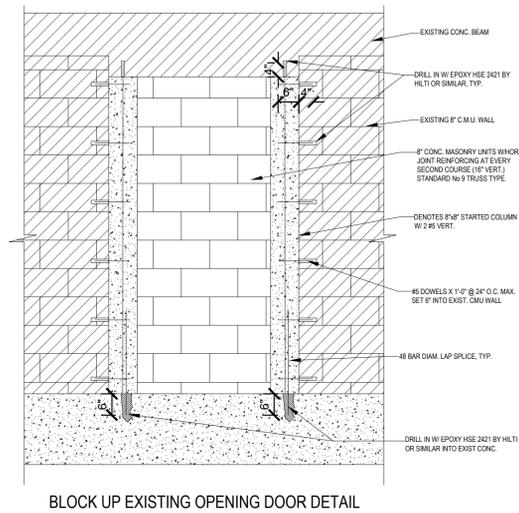
Project Name: SECURITY MESH™ TYPICAL WALL SECTIONS	Date: 1-1-2012
Manufactured By: ALABAMA METAL INDUSTRIES CORP. 3245 Fayette Avenue Birmingham, AL 35208 800/366-2642 Fax 205/786-6527	Drawing: 3

4 Security Mesh Wall Detail  
SCALE: NTS

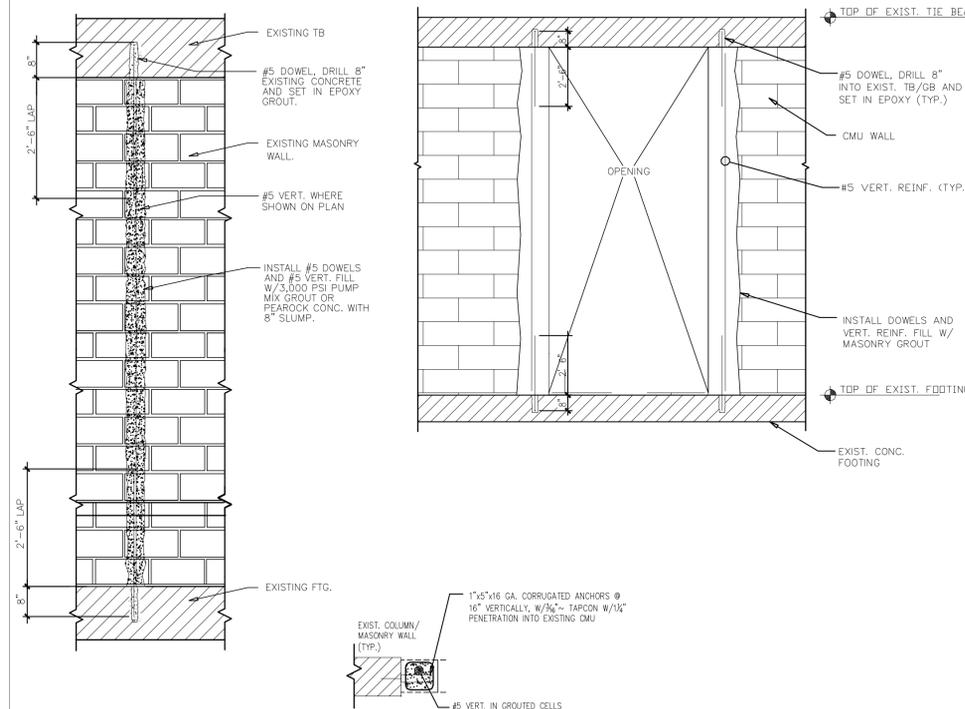


Project Name: AMICO SECURITY MESH JOINING DETAIL	Date: 1-1-2012
Manufactured By: ALABAMA METAL INDUSTRIES CORP. 3245 Fayette Avenue Birmingham, AL 35208 800/366-2642 Fax 205/786-6527	Drawing: 2

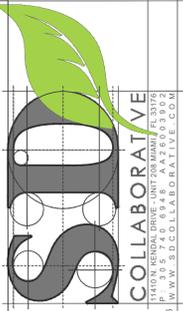
5 Security Mesh Joining Detail  
SCALE: NTS



6 Door Closed Opening Detail  
SCALE: 1/2" = 1'-0"



7 Door Opening Detail  
SCALE: 1/4" = 1'-0"



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REV. NO. DATE COMMENTS

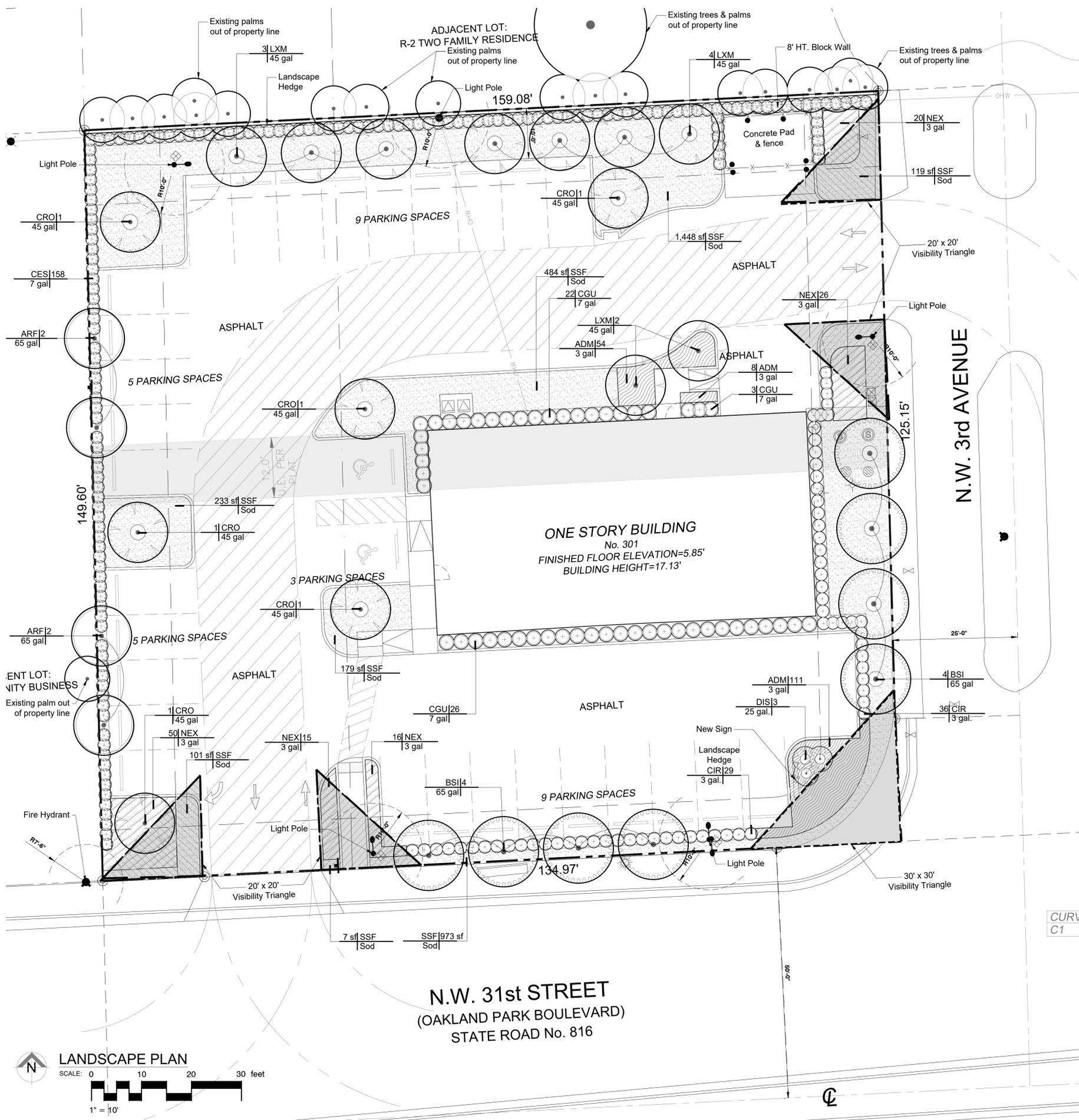
PROJECT: INTERIOR IMPROVEMENT

PROJECT NO.: 20-017-00  
ISSUE DATE: 05-20-2020  
SCALE: AS NOTED  
DRAWN BY: MFC  
CHECKED: DCI/PC

Security Mesh Ceiling and Wall Details

A600a

TRULIEVE DISPENSARY - OAKLAND PARK  
301 W OAKLAND PARK BLVD  
OAKLAND PARK, FL 33311



**CITY OF OAKLAND PARK**

**LANDSCAPE LEGEND:**

PROPERTY ADDRESS: 301 W OAKLAND PARK BLVD  
OAKLAND PARK, FL 33311

ZONING DISTRICT: B-1 / COMMUNITY BUSINESS DISTRICT

SITE AREA: 23,689.5 S.F. (0.543 ACRE)

VEHICULAR USE AREA: 13,753.2 S.F.

PERVIOUS AREA MIN. 25%:  
- PERVIOUS AREA REQUIRED 5,926 S.F. / PROVIDED 5,942 S.F.

**STREET TREE REQUIREMENTS:**  
- CONCRETE SIDEWALK NOT WIDE ENOUGH FOR STREET TREES

**159.08' NORTH PERIMETER LANDSCAPE (ADJACENT RESIDENTIAL):**

- 10' LANDSCAPE STRIP PROVIDED
- 6 TREES REQUIRED / 7 PROVIDED
- 8' HT WALL REQUIRED / PROVIDED
- 32 SHRUBS/VINES REQUIRED / HEDGE PROVIDED INSIDE OF WALL

**149.60' WEST PERIMETER LANDSCAPE (ADJACENT COMMERCIAL):**

- 2' LANDSCAPE STRIP PROVIDED
- 4 TREES REQUIRED / 4 PROVIDED
- HEDGE, WALL, OR FENCE REQUIRED / HEDGE PROVIDED

**134.97'+38.58'+125.15' = 298.70' R.O.W. EDGE REQUIREMENT:**

- 4' TO 15' VARIABLE LANDSCAPE STRIP PROVIDED
- 8 TREES REQUIRED / 8 PROVIDED
- HEDGE REQUIRED / HEDGE PROVIDED

**PARKING LOT REQUIREMENTS: (32 SPACES)**

- MIN. 480 S.F. OF LANDSCAPE AREA
- MIN. 3 LANDSCAPE ISLAND REQUIRED / 6 PROVIDED
- MIN. 4 TREE REQUIRED / 6 PROVIDED

**NATIVES REQUIREMENTS (TREES/PALMS 50% OF 27):**

- 14 NATIVES TREES/PALMS REQUIRED / 18 PROVIDED

**NATIVES REQUIREMENTS (SHRUBS/GROUND-COVERS 40% OF 577):**

- 231 NATIVES SHRUBS/GROUND-COVERS REQUIRED / 392 PROVIDED

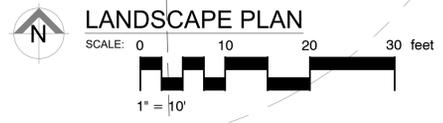
20' X 20' & 30' X 30' SITE VISIBILITY TRIANGLE:  
MAX. LANDSCAPE HEIGHT 36" ABOVE GRADE

**NOTE:**  
THERE ARE NO EXISTING TREES OR PALMS ON THIS PROPERTY

**Sunshine811**

Call 811 or [www.sunshine811.com](http://www.sunshine811.com) two full business days before digging to have utilities located and marked.

*Check positive response codes before you dig!*



DERICK LANGEL (LA6667045)  
ALL LANDSCAPE DATA INC.  
[www.alllandscapedata.net](http://www.alllandscapedata.net) & .com  
4459 NW 97 CT / Doral, FL 33178  
Ph: 305.303.7059

**SD COLLABORATIVE**

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REV. NO.	DATE	COMMENTS
#1	11-19-2020	DRC Comment

PROJECT: INTERIOR IMPROVEMENT

**TRULIEVE DISPENSARY - OAKLAND PARK**  
301 W OAKLAND PARK BLVD  
OAKLAND PARK, FL 33311

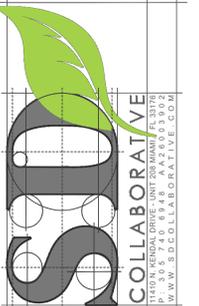
PROJECT NO.: 20-017-00  
ISSUE DATE: 05-20-2020  
SCALE: AS NOTED  
DRAWN BY: JV  
CHECKED: DL

Landscape Plan

**L100**

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS
	ARF	4	Acer rubrum 'Florida Flame'	Red Maple	65 gal	3"	12'-14' OA	4'-6'	Florida Native - 4' CT - City of Oakland Park Recommended
	BSI	8	Bursera simaruba 'Red Trunk'	Gumbo Limbo	65 gal	4"-6"	14'-16' OA	6'-8'	Florida Native - 4' CT - City of Oakland Park Recommended
	CRO	6	Clusia rosea	Autograph Tree	45 gal	3"	12' OA	6'	Florida Native - 4' CT - City of Oakland Park Recommended
	LXM	9	Lagerstroemia fauriei 'Natchez'	White Crape Myrtle	45 gal	3"	12' OA	6'	Drought Tolerant - Standard - 4' CT - City of Oakland Park Recommended
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	REMARKS
	CIR	65	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	3 gal.	2'	2'		Florida Native - City of Oakland Park Recommended
	CGU	51	Clusia guttifera	Small-Leaf Clusia	7 gal	3'	3'		Florida Native - City of Oakland Park Recommended - Drought Tolerant
	CES	158	Conocarpus erectus 'Sericeus'	Silver Buttonwood	7 gal	3'	2'	4'	Shrub Type - Florida Native - City of Oakland Park Recommended
ACCENTS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	REMARKS
	DIS	3	Dioon spinulosum	Mexican Cycad	25 gal.	5'	5'		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	REMARKS
	ADM	173	Asparagus densiflorus 'Meyerei'	Myers Asparagus	3 gal	1'	1.5'	18" o.c.	City of Oakland Park Recommended
	NEX	127	Nephrolepis exaltata	Boston Fern	3 gal	1.5'	2'	24" o.c.	Florida Native - City of Oakland Park Recommended
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	REMARKS
	SSF	3,544 sf	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine Sod	Sod				Sun / Shade



DUJCEM, CONDE RA ARCHITECT, AR0015803  
 1515 N. W. 10TH AVENUE, SUITE 200, DORAL, FL 33126  
 PRIMITIVE, CONDE RA ARCHITECT, AR0014406  
 P.O. BOX 5000, DORAL, FL 33115  
 WWW.SDCOLLABORATIVE.COM

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REV. NO.	DATE	COMMENTS
#1	11-19-2020	DRC Comment

PROJECT: INTERIOR IMPROVEMENT  
**TRULIEVE DISPENSARY - OAKLAND PARK**  
 301 W OAKLAND PARK BLVD  
 OAKLAND PARK, FL 33311

PROJECT NO.:	20-017-00
ISSUE DATE:	05-20-2020
SCALE:	AS NOTED
DRAWN BY:	JV
CHECKED:	DL



DERICK LANGEL (LA5667045)  
 ALL LANDSCAPE DATA, INC.  
 www.alllandscapedata.net & .com  
 4459 NW 97 CT / Doral, FL 33178  
 Ph: 305.303.7059

Existing Tree Disposition Plan

L200

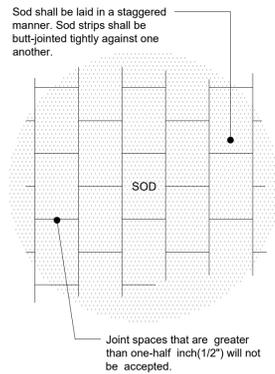
**GENERAL NOTES**

- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
- Landscape Contractor shall be responsible for providing temporary hand watering to all proposed & landscape areas, during construction.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- All permitting and fees to be the responsibility of the Contractor.

**PLANTING NOTES**

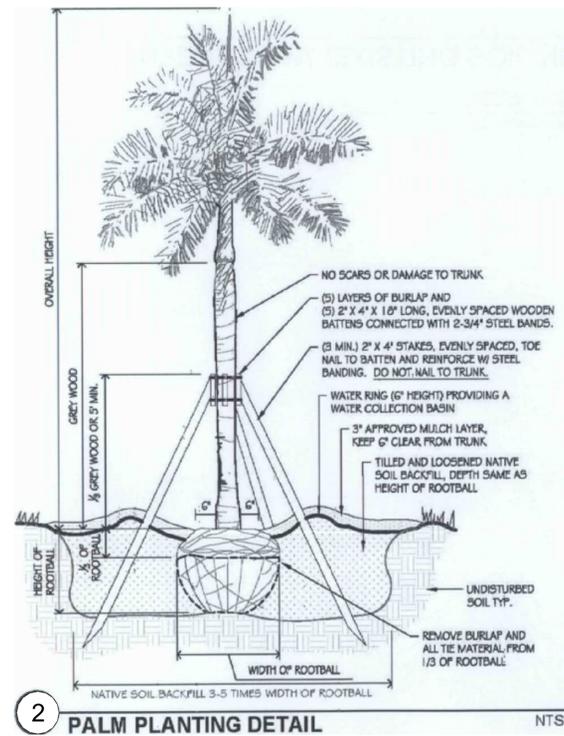
- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots, trees with root problems will not be accepted.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or EnviroMulch immediately after planting. In no case shall Cypress mulch be used.
- All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
- Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A300 (Part 2) Standards.
- Stake all trees and palms for approval by Landscape Architect prior to installation.
- Any sod areas damaged by construction are to be replaced with St. Augustine 'Floratum' sod.
- All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be sodded with St. Augustine 'Floratum' sod.
- St. Augustine 'Floratum' - Contractor's responsibility to verify quantity.
- Install rootbarrier as per manufacturer's recommendation on all large trees that are 6' or closer to any pavement or building, as shown on details page.
- Root barrier shall be Vespro Inc. or approved equal.

**1 PLANTING NOTES**  
SCALE: N.T.S.

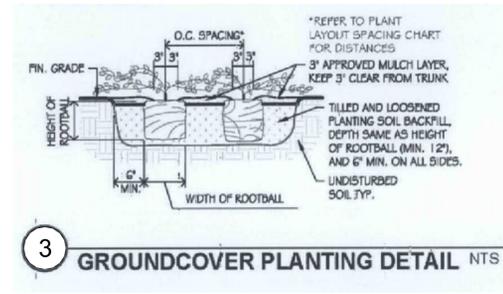


**5 PLANTING NOTES**  
SCALE: N.T.S.

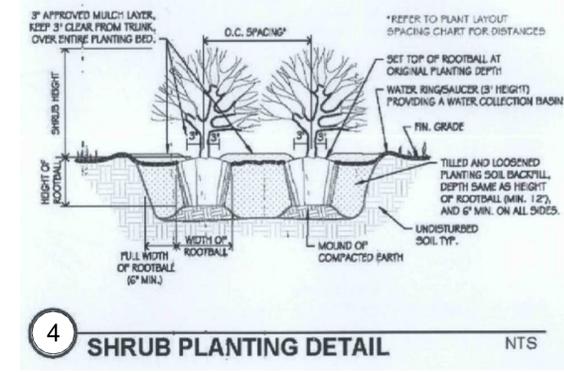
Joint spaces that are greater than one-half inch(1/2") will not be accepted.



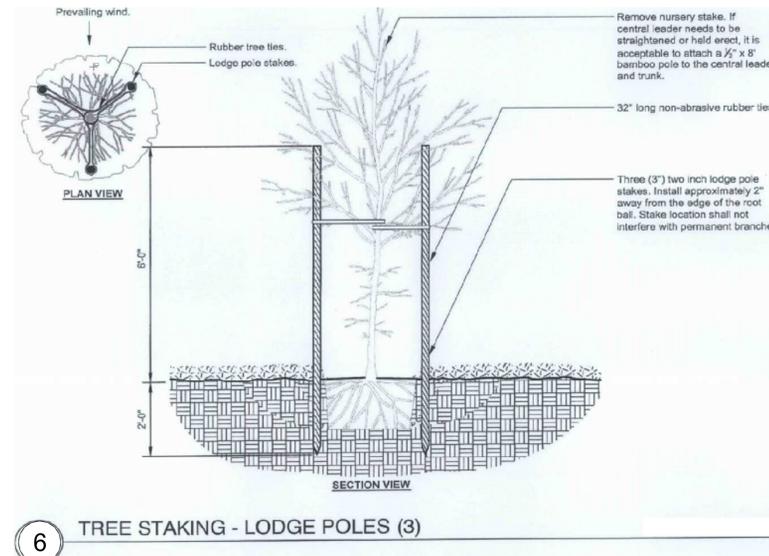
**2 PALM PLANTING DETAIL** NTS



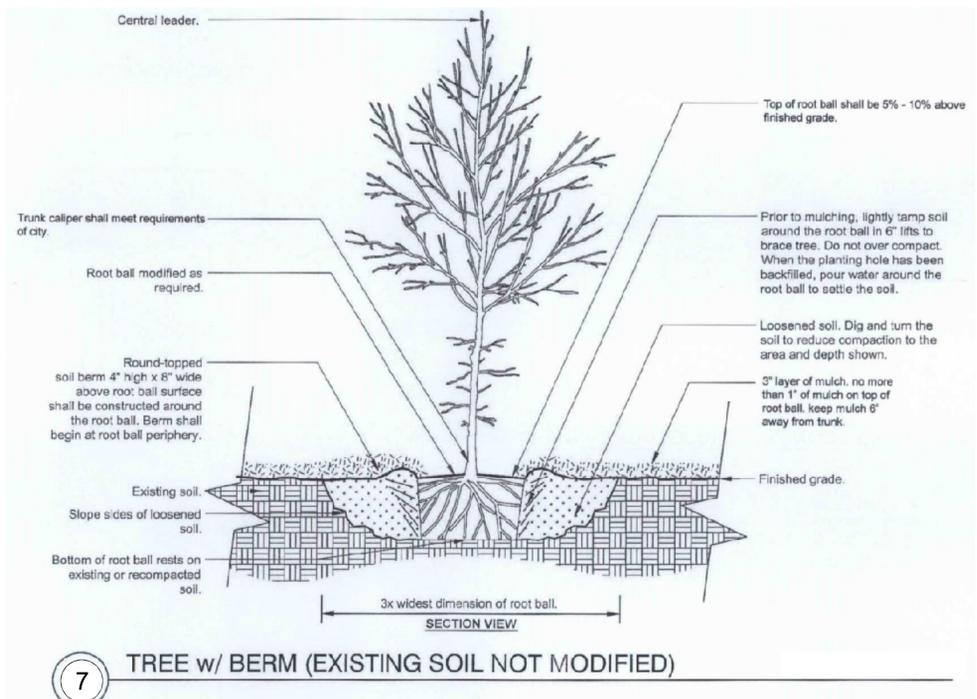
**3 GROUNDCOVER PLANTING DETAIL** NTS



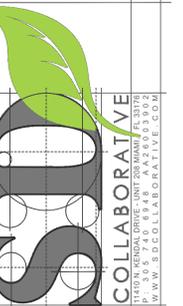
**4 SHRUB PLANTING DETAIL** NTS



**6 TREE STAKING - LODGE POLES (3)**



**7 TREE w/ BERM (EXISTING SOIL NOT MODIFIED)**



DULCE M. CONDE RA ARCHITECT, A60015803  
15145 VENTURA BLVD UNIT 200A DORAL FL 33126  
PRIMITIVE CONDE RA ARCHITECT A60014406  
P.O. BOX 5300 L.L.B. BOYD RD. W. W. W. S.D.C. ILLABORATIVE C.O.M

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REV. NO. DATE COMMENTS

PROJECT: INTERIOR IMPROVEMENT  
**TRULIEVE DISPENSARY - OAKLAND PARK**  
301 W OAKLAND PARK BLVD  
OAKLAND PARK, FL 33311

PROJECT NO.: 20-017-00  
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CHECKED: DL



DERICK LANGEL (LA6667045)  
ALL LANDSCAPE DATA INC.  
www.alllandscapedata.net & .com  
4459 NW 97 CT / Doral, FL 33178  
Ph: 305.303.7059

Landscape Notes & Details  
**L300**

**OPTION 2**  
**PROPOSED NEW LOW PROFILE MONUMENT: 60" h x 72" w x 18" d doubleface structure with 36" h x 72" LED sign cabinet**



Replace current pylon cabinet.  
 Utilize existing pad and stub pole.



Optional Low Profile Monument  
 Dimensions: 5'-0" H x 6'-0" W x 1'-6" D



**Trulieve OAKLAND PARK**  
 301 W Oakland Park Blvd.  
 Ft Lauderdale, FL 33311

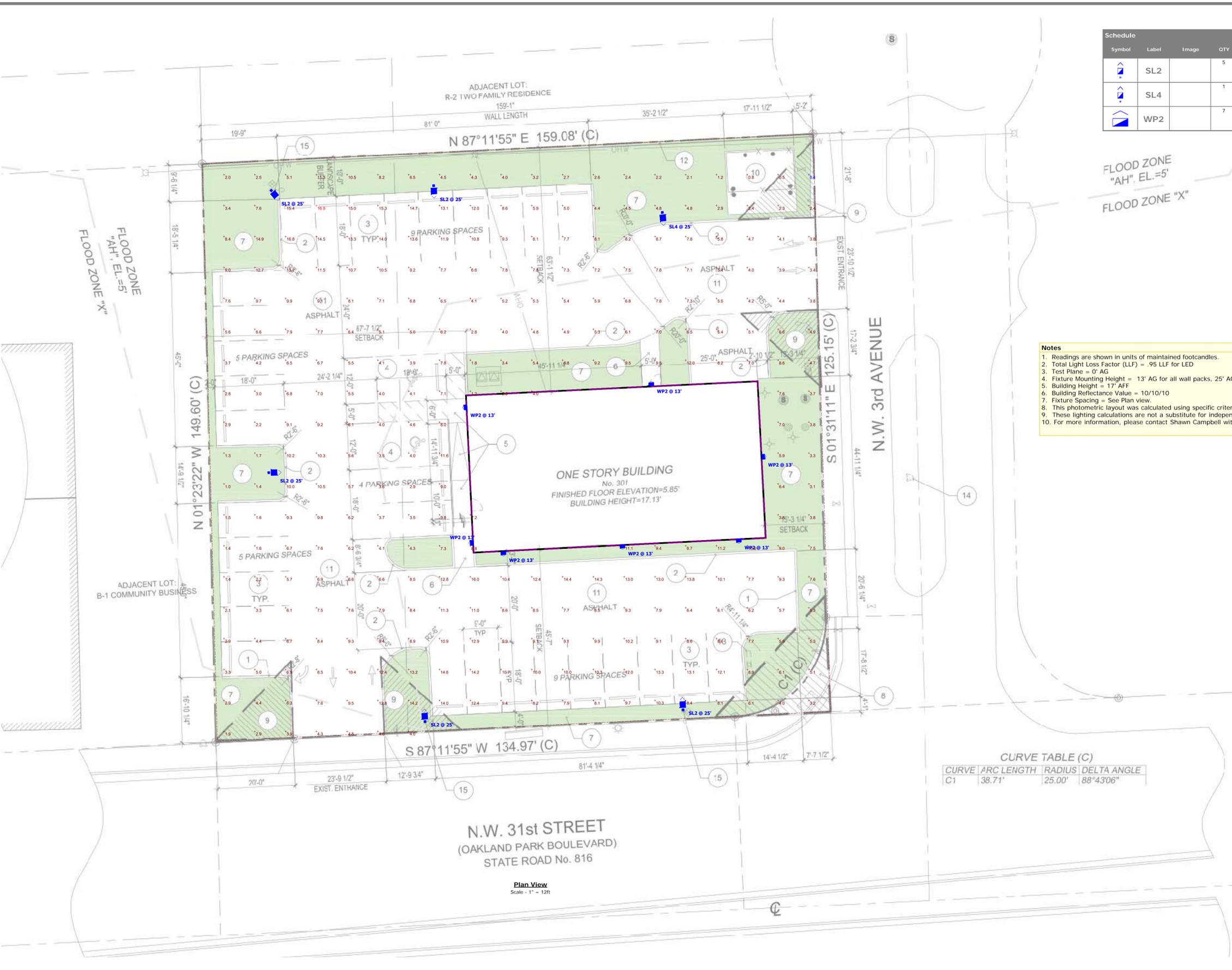
**#54390 - Proposed Low Profile Doubleface Monument**

Design, engineer, fabricate and install above new LED monument. Utilize existing pad, foundation and pole. Above graphics are proposed and subject to change.

**City of Oakland Park Code: Max height: 5' / Max signage 48sf**



FL STATE LICENSED ES#12001844



Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Filename	Lumens per Lamp	LLF	Wattage
	SL2		5	Beacon Products	VP-L-80L-235-4K7-2	LARGE VIPER	VP-L-80L-235-4K7-2.ies	27149	0.92	230.6
	SL4		1	Beacon Products	VP-L-80L-235-4K7-4	LARGE VIPER	VP-L-80L-235-4K7-4.ies	26576	0.92	230.6
	WP2		7	HUBBELL OUTDOOR	LN3-24L4K-105-2	Medium LN3 Litepak	LN3-24L4K-105-2.ies	7472	0.92	82.8

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Boundary	+	7.2 fc	16.9 fc	0.4 fc	42.3:1	18.0:1

Luminaire Locations											
Location		Aim									
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z	
1	SL2	10.30	-9.68	25.00	25.00	356.69	0.00	10.22	-8.31	0.00	
2	SL2	77.36	-6.66	25.00	25.00	356.61	0.00	77.28	-5.29	0.00	
3	SL2	-29.68	127.68	25.00	25.00	140.33	0.00	-28.80	126.63	0.00	
4	SL2	-30.33	54.70	25.00	25.00	88.89	0.00	-28.95	54.73	0.00	
5	SL2	12.54	128.93	25.00	25.00	177.80	0.00	12.60	127.55	0.00	
1	SL4	71.97	122.00	25.00	25.00	173.99	0.00	72.12	120.59	0.00	
1	WP2	69.10	77.57	13.00	13.00	358.06	0.00	69.10	77.57	0.00	
2	WP2	20.83	71.58	13.00	13.00	264.26	0.00	20.83	71.58	0.00	
3	WP2	22.42	36.55	13.00	13.00	264.26	0.00	22.42	36.55	0.00	
4	WP2	91.84	37.13	13.00	13.00	174.56	0.00	91.84	37.13	0.00	
5	WP2	61.62	35.61	13.00	13.00	174.56	0.00	61.62	35.61	0.00	
6	WP2	30.66	33.87	13.00	13.00	174.56	0.00	30.66	33.87	0.00	
7	WP2	98.20	58.80	13.00	13.00	84.42	0.00	98.20	58.80	0.00	

- Notes**
- Readings are shown in units of maintained footcandles.
  - Total Light Loss Factor (LLF) = .95 LLF for LED
  - Test Plane = 0' AG
  - Fixture Mounting Height = 13' AG for all wall packs, 25' AG for all area lights (pole mounted).
  - Building Height = 17' AFF
  - Building Reflectance Value = 10/10/10
  - Fixture Spacing = See Plan view.
  - This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
  - These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.
  - For more information, please contact Shawn Campbell with CED National Accounts at shawn.campbell@ced.com or 678-215-3065.

CURVE TABLE (C)			
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE
C1	38.71'	25.00'	88°43'06"

Plan View  
Scale - 1" = 12ft

**Disclaimer**  
This lighting design is not a professional engineering drawing and is provided for informational purposes only, without warranty as to accuracy, completeness, reliability or otherwise. CED National Accounts is not responsible for specifying the lighting or illumination requirements for any specific project. It is the obligation of the end-user to consult with a professional engineering advisor to determine whether this lighting design meets the applicable project requirements for lighting system performance, safety, suitability and effectiveness for use in a particular application. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual field performance to differ from the calculated photometric performance represented in this lighting design. In no event will CED National Accounts be held responsible for any loss resulting from any use of this lighting design.

Trulieve Oakland Park  
Site Photometric

Designer  
SC  
Date  
5/26/2020  
Scale  
Not to Scale  
Drawing No.  
Summary

