

DULCE M. CONDE RA ARCHITECT A00018803  
PRIMITIVO E. CONDE RA ARCHITECT A0014406  
1115 S. UNIVERSITY AVENUE, SUITE 200  
TAMPA, FL 33606-5392  
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REV NO.	DATE	COMMENTS

PROJECT: INTERIOR IMPROVEMENT
TRULIEVE DISPENSARY - OAKLAND PARK
301 W OAKLAND PARK BLVD
OAKLAND PARK, FL 33311

PROJECT NO.: 20-017-00	ISSUE DATE: 05-20-2020	AS NOTED
SCALE:	DRAWN BY: MFC	DC/PEC
CHECKED:		

Rendering

A004



**CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) PRINCIPLES**

**NATURAL SURVEILLANCE:**

- KEEP AREAS WELL LIT. IN PARTICULAR, BUILDING ENTRANCES SHOULD BE BRIGHT AT ALL TIMES AND PROVIDE A CLEAR LINE OF SIGHT FROM BOTH INSIDE AND OUTSIDE.
- ELIMINATE HIDING SPOTS. CUT DOWN HEDGES AND REMOVE TREES, BUSHES, FENCES, DUMPSTER, ETC. THAT CREATE BLIND SPOTS OR HIDING PLACES.
- LOW, THORNY HEDGES WORK WELL AROUND WINDOWS, BECAUSE THEY DON'T OBSTRUCT THE VIEW IN OR OUT, AND THEY DON'T PROVIDE A COMFORTABLE PLACE TO HIDE.
- USE CLOSED CIRCUIT TELEVISION (CCTV) TO VIEW AREAS WITHOUT NATURAL SIGHT LINES. PUT UP MONITORS IN PUBLIC AREAS SO THAT VISITORS KNOW THEY ARE BEING WATCHED. THE LAST THING A CRIMINAL WANTS TO SEE WHEN THEY ENTER A BUILDING IS THEIR OWN FACE ON A SECURITY CAMERA'S MONITOR.
- PROVIDE TWO BENCHES ON FACING SOUTH AND ONE FACING WEST TOWARDS THE PARKING AREA

**NATURAL ACCESS CONTROL:**

- PROVIDE HOURS OF OPERATIONS ON THE FRONT DOOR. PROVIDE A WIDE ANGLE FISH EYE PEEP HOLE ON REAR DOOR WITH A SIGN STATING "NO ENTRY" USE FRONT ENTRANCE. ADDRESS NUMBER 301 SHALL BE VISIBLE FROM OAKLAND PARK.
- PROVIDE MOTION ACTIVATED LIGHTS AT REAR OF BUILDING.

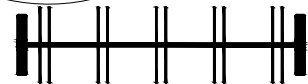
**TERRITORIAL REINFORCEMENT:**

- MAKE SURE RECEPTIONISTS HAVE CLEAR SIGHT LINES TO ALL ENTRANCES, AS WELL AS THE ABILITY TO QUICKLY AND DISCREETLY CALL FOR HELP. A PANIC BUTTON THAT CALLS A CENTRAL STATION OR SIGNALS FOR HELP VIA AN ALARM LIGHT IN A SEPARATE SECTION OF THE BUILDING WORKS WELL.
- MAKE SURE SECURITY SIGNAGE IS CLEARLY VISIBLE AT ALL ENTRANCES.

**MAINTENANCE:**

- WELL-MAINTAINED AREA SENDS THE MESSAGE THAT PEOPLE NOTICE AND CARE ABOUT WHAT HAPPENS IN AN AREA. THIS, IN TURN, DISCOURAGES VANDALISM AND OTHER CRIMES. THERE WILL BE A LANDSCAPE MAINTENANCE AGREEMENT IN PLACE TO KEEP PROPERTY TIDY AND CLEAN

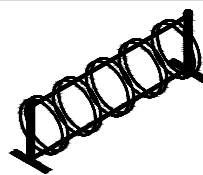
**BICYCLE RACK SPECS**



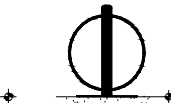
PLAN VIEW



FRONT VIEW



ISOMETRIC



SIDE VIEW

- CAST COMPONENTS WILL BE OF 100% RECYCLED ALUMINUM:ASTM B261.

- CASTINGS WILL BE SQUARE AND FLAT, FREE OF BURRS, SLAG, AIR POCKETS, BLOW HOLES, FLASHING, AND GRINDING OR WELDING ON EXPOSED SURFACES. EXCESSIVE WARPING OR SHRINKAGE IS NOT ACCEPTABLE.

- FABRICATED COMPONENTS WILL BE MILD CARBON STEEL, ASTM A36.

- ALL VISIBLE WELDS TO BE GROUND SMOOTH ON OUTSIDE EDGES.

- FABRICATION WILL BE TRUE TO SQUARE, OR DIAMETER AND SIZED WITHIN 1/8".

- FINISH TO BE POWDER COAT, STANDARD UA COLOR AND APPLIED PER UA SPECIFICATIONS. IF ALTERNATE COLOR OR FINISH IS REQUIRED, PLEASE PROVIDE ALL FINISH INFORMATION FOR UA APPROVAL.

- DIMENSIONS SHOWN ARE NOMINAL.

- FOR CASES OF "OR EQUAL" CONSIDERATION, OUR FINISHED, FULL SIZE PRODUCT SHOULD BE COMPARED WITH THE ALTERNATIVE PRODUCT FOR GENERAL QUALITY, SURFACE FINISH, PRECISE PATTERN WORK, METAL CHARACTERISTICS, AND OVERALL DESIGN AESTHETICS

**LEGAL DESCRIPTION**

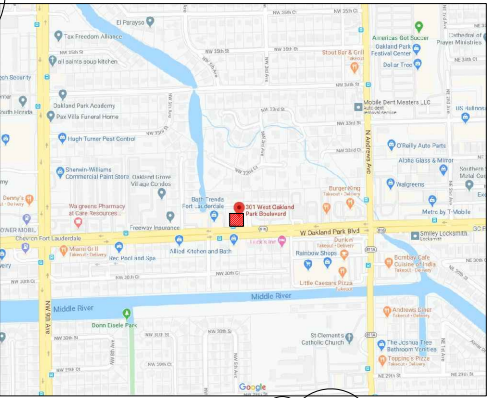
LOT 4 AND THE EAST 1/2 OF LOT 5, OF BOULEVARD VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 60, PAGE 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THE NORTH 25 FEET THEREOF.

**WAIVER REQUEST:**

WAIVER IS BEING REQUESTED FOR: 1. LANDSCAPE BUFFERS WIDTH ALONG RIGHT OF WAYS. REQUIRED 10'-0" - PROPOSED 4'-0" :NW 31ST 2. DRIVE AISLES BEHIND STALLS REQUIRED 24'-0" - PROPOSED 20'-0" :NW 31ST BOTH ARE EXISTING CONDITIONS

FLOOD ZONE "AH", EL.=5'

FLOOD ZONE "X"



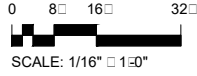
LOCATION PLAN  
N.T.S.

**SECURITY NOTES**

- TRESPASS AFFIDAVIT TO BE ON FILE WITH BSO AND INSTALL 2: NO TRESPASSING SIGNS.
- TOWING COMPANY TO BE CONTRACTED. TOWING SIGNS TO BE PLACED AT PARKING ENTRANCES
- CCTV TO BE USED AS WELL AS SENSORS, PANIC AND ALARMS. SEE ATTACHED SECURITY DIAGRAM
- SEE ATTACHED PLANS FOR WALL AND CEILING CONSTRUCTION IN SECURE INVENTORY AREA. AS WELL AS SAFE

**CURVE TABLE (C)**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE
C1	38.71'	25.00'	88°43'06"



SCALE: 1/16" = 1'-0"

- SITE PLAN KEY NOTES**
- EXISTING CURB TO REMAIN
  - NEW CURB
  - NEW PARKING SPACES 9' X 18' AND STRIPING
  - NEW H.C. PARKING SPACES 12' X 18' AND 5' ACCESS ISLE. PROVIDE NEW 5' ACCESS ISLE TOWARDS BLDG ENTRANCE AS SHOWN.
  - NEW CONCRETE RAMPLANDING. PROVIDE EDGE PROTECTION AT RAMP RUN
  - NEW CONCRETE WALKWAY
  - NEW LANDSCAPING, REFER TO LANDSCAPE PLANS
  - 30' X 30' SITE VISIBILITY TRIANGLE. MAX LANDSCAPE HEIGHT: 36" HIGH ABOVE GRADE
  - 20' X 20' SITE VISIBILITY TRIANGLE. MAX LANDSCAPE HEIGHT: 36" HIGH ABOVE GRADE
  - RELOCATED/NEW CONC. PAD / FENCE WITH SLATS / DUMPSTER TO REMAIN
  - EXISTING ASPHALT PAVEMENT TO REMAIN, PATCH AS REQUIRED
  - NEW 8 FT HIGH BLOCK WALL, PAINTED STUCCO FINISH
  - NEW SIGN IN EXISTING STRUCTURE LOCATION. RECOVER ONLY.
  - EXISTING FIRE HYDRANT
  - EXISTING LIGHT POLE TO REMAIN
  - NEW ACCESSIBLE ROUTE STRIPING 5 FT WIDE. MAX. RUNNING SLOPE 1:20. MAX. CROSS SLOPE 1:48. PROVIDE DETECTABLE WARNING TO DRIVEWAY, SEE DETAIL ON SHEET A100
  - EXISTING 12 FT UTILITY EASEMENT
  - EXISTING TRANSFORMER TO REMAIN
  - NEW BICYCLE RACK, MODEL NO.: MODEL-D 5 STALL BY URBAN ACCESSORIES. RACK TO COMPLY WITH OAKLAND PARK DOWNTOWN MIXED USE DESIGN GUIDELINES
  - SUSTAINABLE DESIGN ITEMS TO INCLUDE A NEW REFLECTIVE WHITE ROOF, LED LIGHTING, IMPACT THERMAL WINDOWS, SHADE TREES and XERISCAPE PLANTS, ETC
  - DOCTORS WILL NOT EXAM OR ISSUE PRESCRIPTIONS FROM THIS FACILITY
  - THERE IS NO DRIVE THRU WINDOW AT THIS FACILITY

**SITE DATA**

PROPERTY ADDRESS: 301 W OAKLAND PARK BLVD  
OAKLAND PARK, FL 33311

EXISTING ZONING: B-1 / COMMUNITY BUSINESS DISTRICT

LAND USE DESIGNATION: C - COMMERCIAL

CURRENT USE: COMMERCIAL - RESTAURANT

PROPOSED USE: COMMERCIAL - MEDICAL MARIJUANA DISPENSARY

LOT AREA: 23,689.5 S. FT. 0.543 ACRE

ADJACENT ZONING: NORTH - R-2 TWO FAMILY RESIDENCE  
EAST - B-1 COMMUNITY BUSINESS  
SOUTH - CITY OF FT LAUDERDALE  
WEST - B-1 COMMUNITY BUSINESS

MUNICIPAL BOUNDARIES: ENTIRE PROPERTY WITHIN IMMEDIATE OAKLAND PARK MUNICIPALITY

FEMA FLOOD ZONE: ZONE - X 0.2: ANNUAL CHANCE OF FLOOD HAZARD  
ZONE - AH EL. 5'

**SERVICE PROVIDERS:**

WATER: CITY

SEWER: CITY

OPEN SPACE / PERVIOUS AREA / LANDSCAPE AREA / VUA:

REQUIRED: 5,926.0 S. FT. 25.00%

PROPOSED: 6,044.0 S. FT. 25.52%

IMPERVIOUS AREA

SIDEWALKS/CURB: 1,021.9 S. FT. 4.33%

VEHICULAR USE: 13,644.6 S. FT. 57.60%

BUILDINGS: 3,097.0 S. FT. 13.07%

TOTAL: 23,689.5 S. FT. 100.00%

**BUILDING DATA**

	EXISTING	PROPOSED	PERMITTED
BUILDING HEIGHT	16'-1"	18'-6 3/4"	100'
OF STORIES	1	1	-
COMMERCIAL USE AREA	3,144 S. FT.	3,097 S. FT.	N/A

**SETBACKS:**

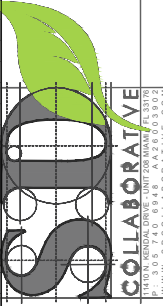
	EXISTING	PROPOSED	REQUIRED
FRONT 31ST STREET	40'-8"	45'-7"	10'-0"
SIDE 3RD AVE	15'-3 1/4"	15'-3 1/4"	15'-0"
SIDE INTERIOR:	67'-7 3/4"	67'-7 3/4"	15'-0"
REAR:	63'-1 1/2"	63'-1 1/2"	15'-0"
STRUCTURE LENGTH:	75'-11 1/4"	75'-11 1/4"	

**PARKING DATA**

	REQUIRED	PROPOSED
REGULAR SPACES 9' X 18'	11	30
OF RETAIL	13/300 SF	
ADA SPACES 12' X 18'	2	2 (RELOCATED)

**SITE NOTES**

- CAMERAS WILL BE USED FOR CRIME PREVENTION & BURGLAR ALARM
- PROPOSED LIGHTING WILL BE DESIGNED AND INSTALLED TO REFLECT THE LIGHT AWAY AND PREVENT GLARE OR EXCESSIVE LIGHT ON ADJACENT PROPERTY



PRIMITIVE CONCRETE, INC. ARCHITECT: ANDREW J. BROWN  
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A100







**NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
2. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH BROWARD COUNTY AND LOCAL UTILITY COMPANY REQUIREMENTS. ALL REMOVAL DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
3. CONTRACTOR SHALL REFER TO CONSTRUCTION PHASING PLANS FOR ORDER OF REMOVAL OF ANY UTILITIES AND/OR STRUCTURES.
4. EXISTING WATER SERVICES TO EXISTING RETAIL SPACE SHALL NOT BE REMOVED UNTIL PROPOSED WATER SERVICES ARE INSTALLED AND RELEASE FOR USE BY BROWARD COUNTY HEALTH DEPARTMENT.
5. CONTRACTOR SHALL REFER TO LANDSCAPING PLAN FOR TREE REMOVAL.

EXISTING ASPHALT AND CONCRETE PAVEMENT TO BE REMOVED

EXISTING CONCRETE & SIDEWALK TO BE REMOVED

PROPOSED MILL & OVERLAY 1" ASPHALT

[illegible]

PROJECT No.:	F200047
DRAWN BY:	JFV
CHECKED BY:	KND
DATE:	11/18/2020
CAD I.D.:	F200047 DEMOLITON PLAN

PROJECT:

**TRULIEVE  
DISPENSARY  
OAKLAND PARK**

— FOR —

**SD COLLABORATIVE  
(TRULIEVE)**



This plan has been electronically signed and sealed by  
Kristin N. DiPiero, P.E. State of Florida Professional Engineer,  
License No. 84350 on 11/18/2020 using a digital signature.  
Printed copies of this plan are not considered signed and sealed  
and the signature must be verified on any electronic copies.

**KRISTIN N. DIPIERRO**

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**PROFESSIONAL ENGINEER**  
FLORIDA LICENSE No. 84350

November 18, 2020

**FLORIDA BUSINESS CERT. OF AUTH. No. 27528**

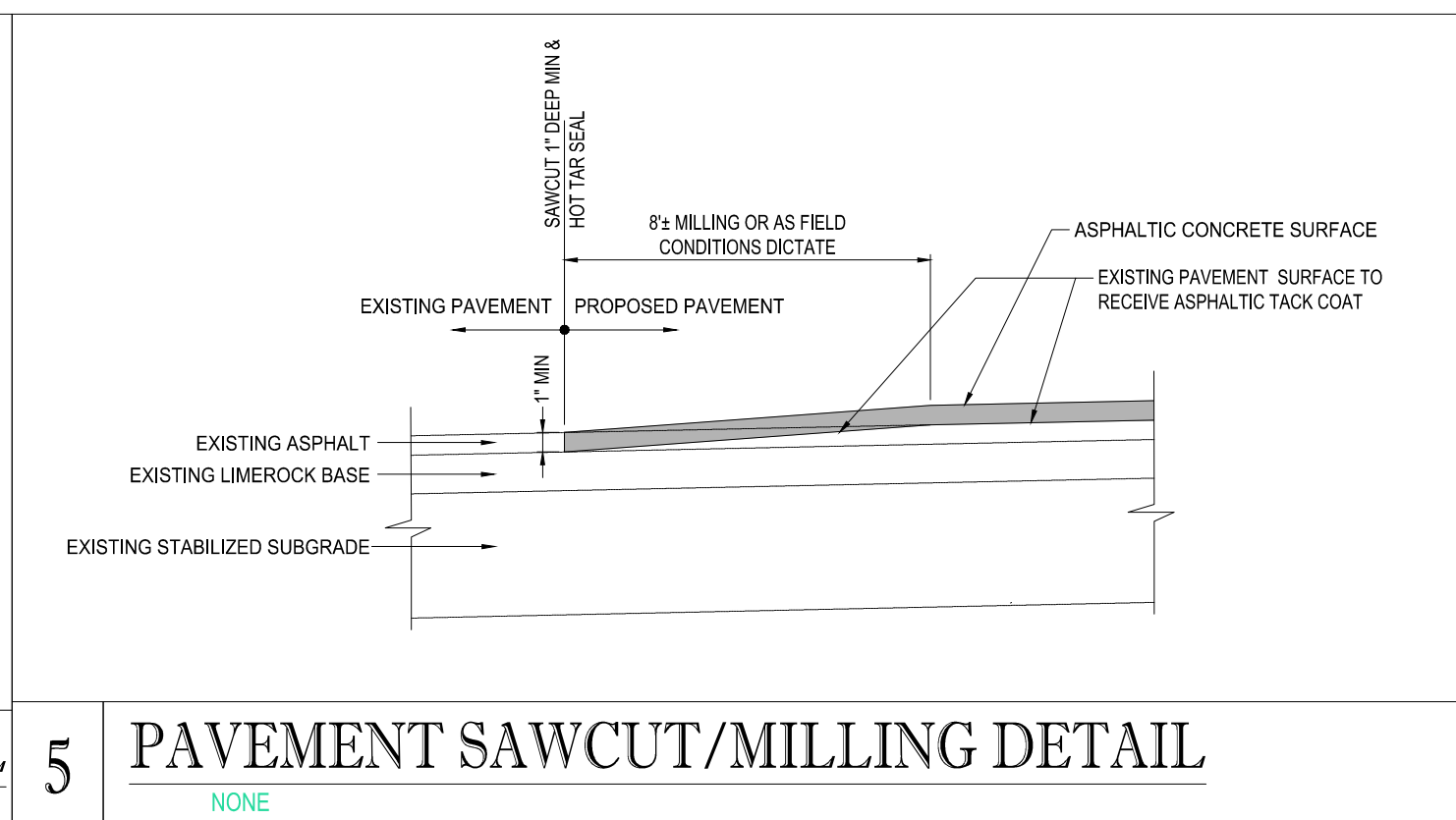
# DEMOLITION PLAN

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SHEET NUMBER:

## C-01

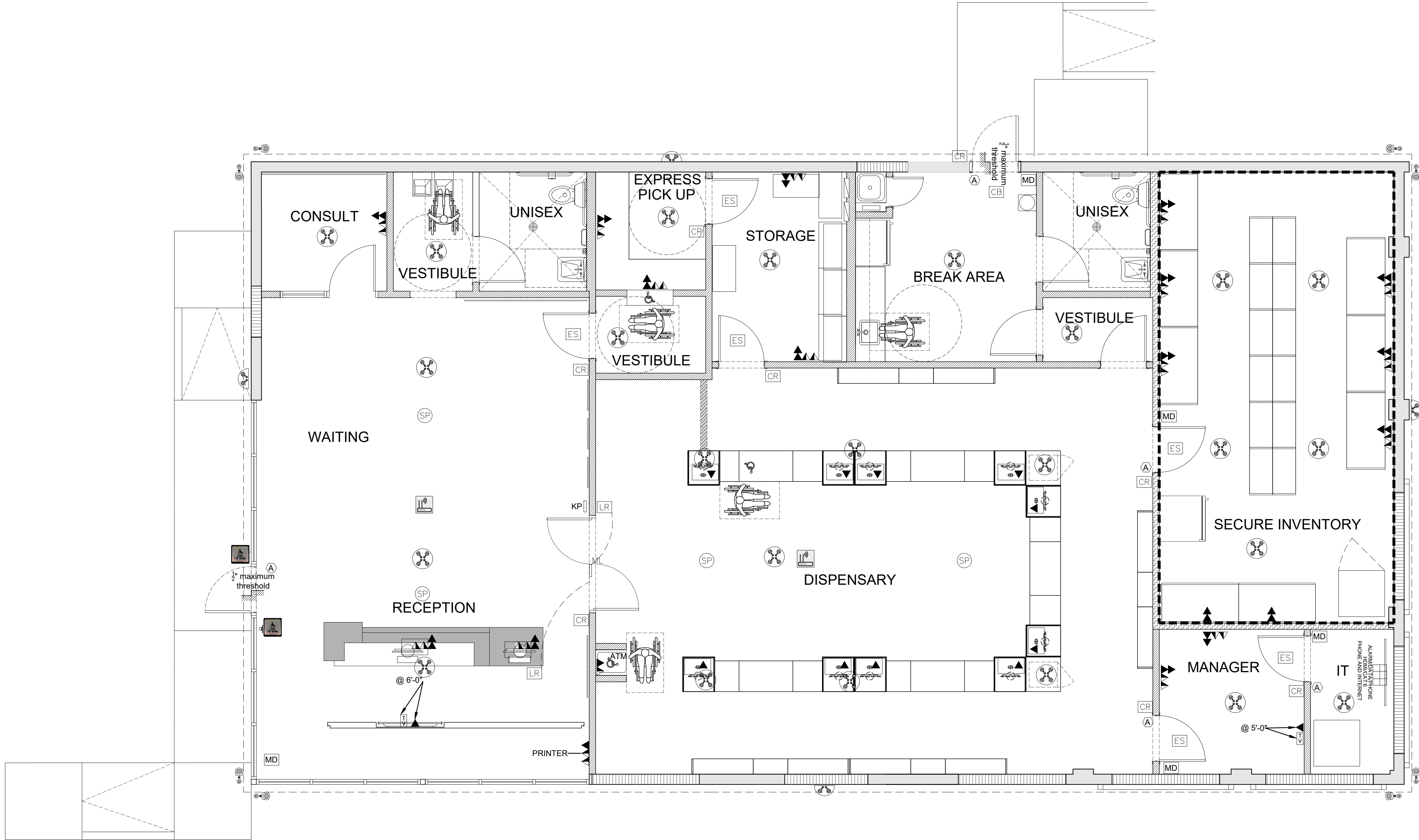




# C-02

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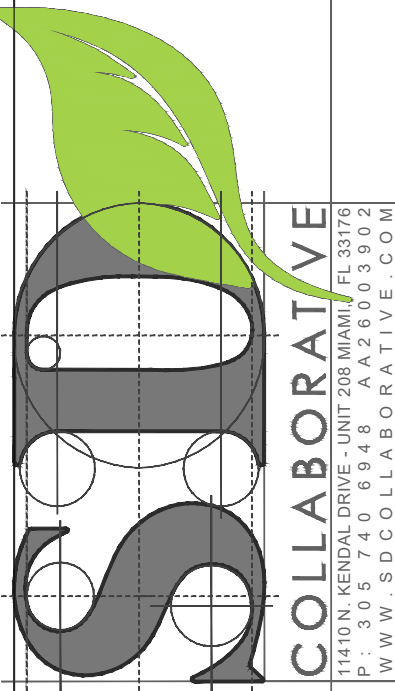


LEGEND:

- SP SPEAKER
- MD MOTION DETECTOR
- ES ELECTRIC STRIKE - 12VOLTS ADAMSRITE ELECTRIC STRIKE OR EQUAL
- CR CARD READER - CORTEX COR - ACC890 OR EQUAL
- LR LOCK RELEASE
- CB CRASH BAR WITH SURFACE STRIKE
- KP KEYPAD
- ML MAG LOCK - SDC 350 NARROW LINE SINGLE EMLock, (1200 LBS, 12V OR EQUAL)
- ▲ DATA JACK - LEVITON ATLAS X1CAT 6A QUICKPORT CONNECTOR W/41080-IWP WALLPLATE
- ▲▲ 2 CAT 5 DROPS PER MARK, TONES, TESTED, LABELED
- ▼ UNDER CABINETS - QUAD OUTLET & CAT 6 DATA OUTLET
- TV HDMI TERMINATION BOX WITH DUPLEX RECEPTACLE - DATACOMM 45-0051-WH OR EQUAL
- SECURITY CAMERAS
- 360° SECURITY CAMERAS
- 160° SECURITY CAMERA
- ALARM KEY PAD
- ALARM SENSOR
- HANDICAP AUTOMATIC PUSH BUTTON
- ALARM/DATA/INTERNET HDN/NETWORK CLOSET AC/SK/RCVR
- =AP/WIFI - 1 CAT DROP PER MARK, SHOULD LEAVE SERVICE LOOP IN CEILING ABOVE MARK

NOTE:

- \* ALL CEILING PENETRATIONS LIGHTS, JUNCTION BOXES, A/C VENTS, ETC. TO BE CAULKED & SEALED AS PER THE FLORIDA ENERGY CODE.
- \* SECURITY/ALARM WIRE, WHITE, 18/2 (18AWG/2 CONDUCTOR) FROM THE SAFE ROOM TO EACH CARD READER AND FROM THE CARD READER TO THE ELECTRIC STRIKE OR MAG LOCK.
- \* CAT 6 FROM SAFE ROOM TO EACH WORKSTATION, RECEPTION DESK, CARD READERS, SECURITY CAMERAS, MANAGERS OFFICE AND NEXT TO EACH OUTLET IN THE INVENTORY ROOM.
- \* ALL DOORS EQUIPPED WITH CARD READERS(CR) SHALL ALLOW FREE ACCESS, OTHER CARD READERS(CR) SHALL COMPLY WITH ACCESS CONTROL EGRESS DOOR REQUIREMENTS PER NFPA 101:7.2.1.6.2 AND FULL DETAILS SHALL BE PROVIDED.
- \* MOTION SENSORS TO COMPLY WITH SECTION 7.8.1.2.2 (1-7) OF THE FFPC 6TH EDITION.
- \* ANYWHERE THERE IS A COMPUTER INCLUDE A DATA JACK AND OUTLET. (ALL COMPUTERS TO BE HARD WIRED INTO THE INTERNET VIA ETHERNET)
- \* THE DATA/VOICE/VIDEO LINES BE LABELED OR COLOR CODED. (EX: DATA BLUE, VIDEO WHITE, PHONE BLACK)
- \* MAG LOCKS WILL DROP OUT ON POWER FAILURE.
- \* 22/4 SHIELDED FOR READERS, 18/4 STRANDED FOR EXIT BUTTONS, EXIT MOTIONS, BUZZERS, 18/2 STRANDED FOR MAGLOCKS AND DOOR STRIKES ALL RUN TO SAFEROOM/COMPUTER CLOSET
- \* REAR DOORS NEED TO HAVE CRASH BAR WITH SURFACE STRIKE.
- \* LIGHTING AND CONTROLS ARE FURNISHED BY OWNER THROUGH NATIONAL VENDOR, CED NATIONAL ACCOUNTS. CONTACT REP, SHAWN CAMPBELL, FOR GENERAL QUESTIONS (shawn.campbell@ced.com).
- \* ALL LIGHTING CONTROLS WILL BE COMPATIBLE WITH THE LUTRON VIVE WIRELESS SYSTEM AND SHALL COMPLY WITH APPLICABLE LOCAL AND NATIONAL CODES. DESIGN LAYOUT SHALL BE PROJECT SPECIFIC AND WILL BE PROVIDED BY THE LIGHTING VENDOR.



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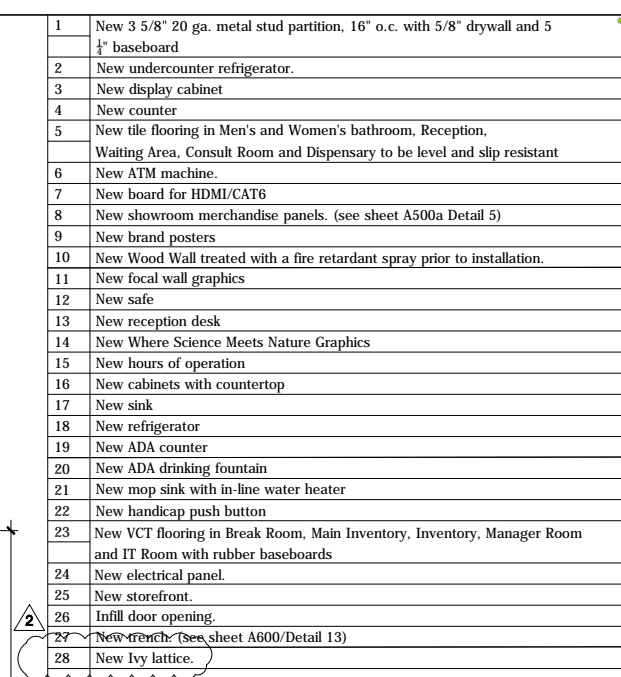
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


PROJECT NO.:	20-017-00
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DRAWN BY:	MFC
CHECKED:	DC/PEC

New Security Floor Plan























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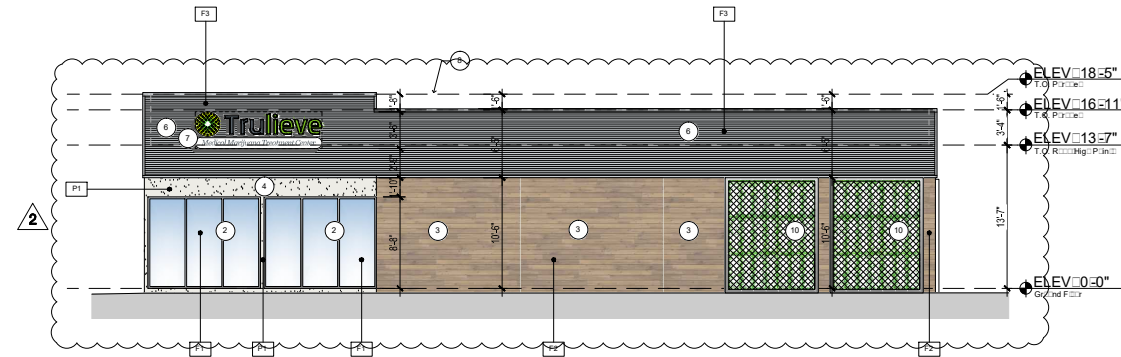
**LEGEND**

		<p><b>NEW TYPICAL 3 <math>\frac{5}{8}</math>" METAL STUD WALL (A600)</b></p>
		<p><b>EXISTING BLOCK WALLS</b></p>
		<p><b>NEW TYPICAL 3 <math>\frac{5}{8}</math>" METAL STUD WALL WITH SECURITY MESH (A600a)</b></p>

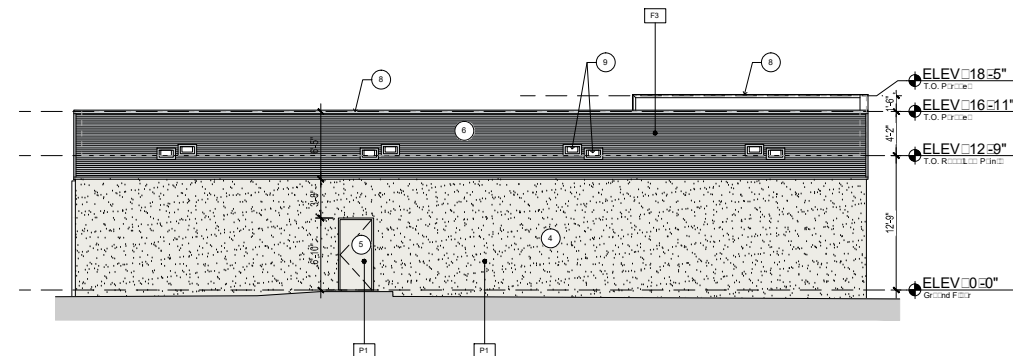
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SCALE: NTS

<div> <div>  </div> <div> <b>COLLABORATIVE</b>  <small>1150 N. KENDALL DRIVE, SUITE 200, MIAMI, FL 33131          TEL: 305.444.0000 FAX: 305.444.0001          WWW.TRULIEVECOLLABORATIVE.COM</small> </div> </div>	<div> <div> <div>  </div> <div> <b>DCLCM</b>  <small>DAVID COLLINS CONSULTING MANAGEMENT</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>PCC</b>  <small>PRIMITIVE CONCEPTS ARCHITECTURAL</small> </div> </div> </div>		<div> <div> <div>  </div> <div> <b>CSC</b>  <small>CONSTRUCTION SERVICES COMPANY</small> </div> </div> </div>		<div> <div> <div> </div></div></div>	
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3 Section 1/8" = 1'-0"

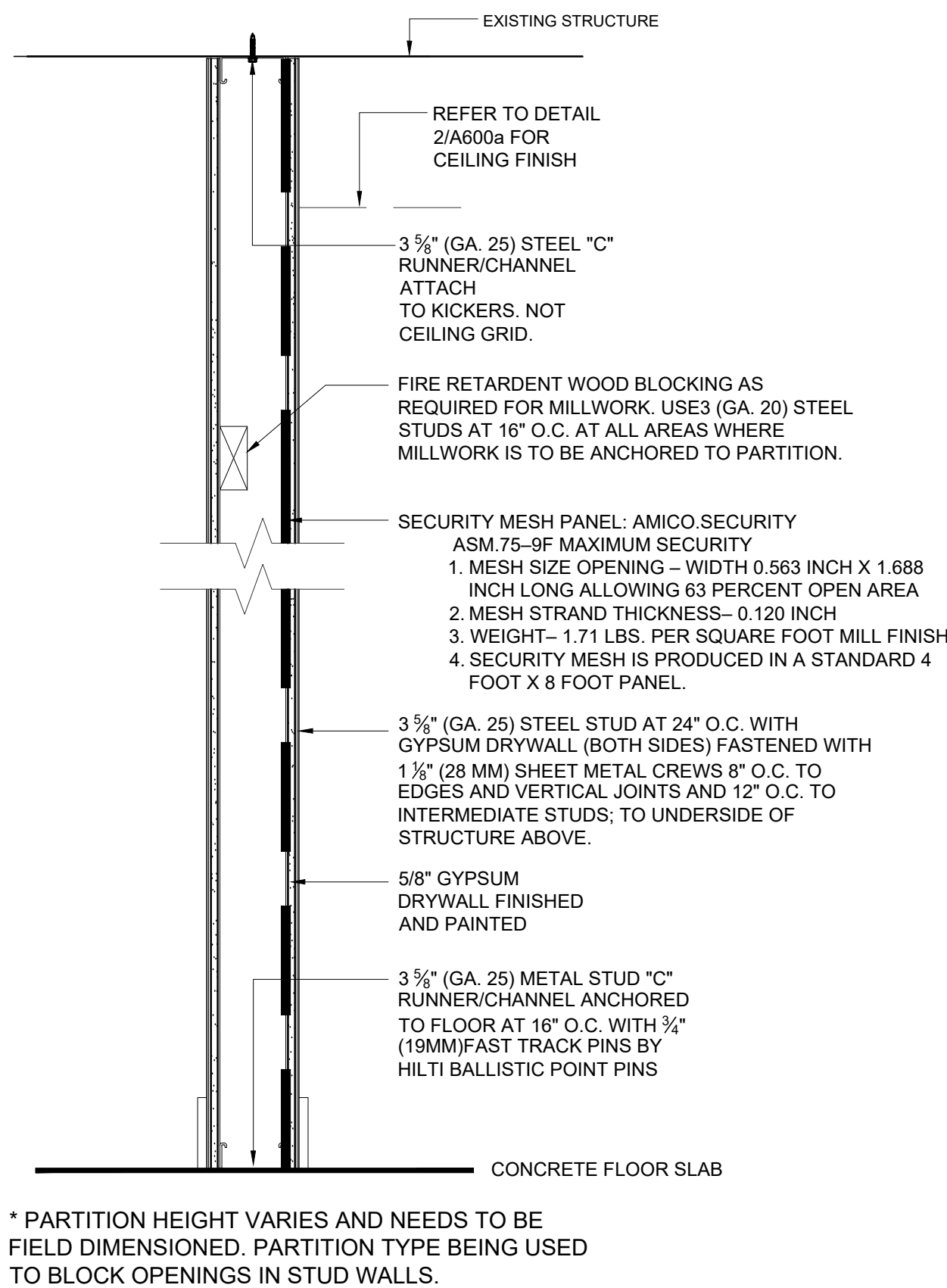


2 Norm Ee in  
1/8" □ 1-0"

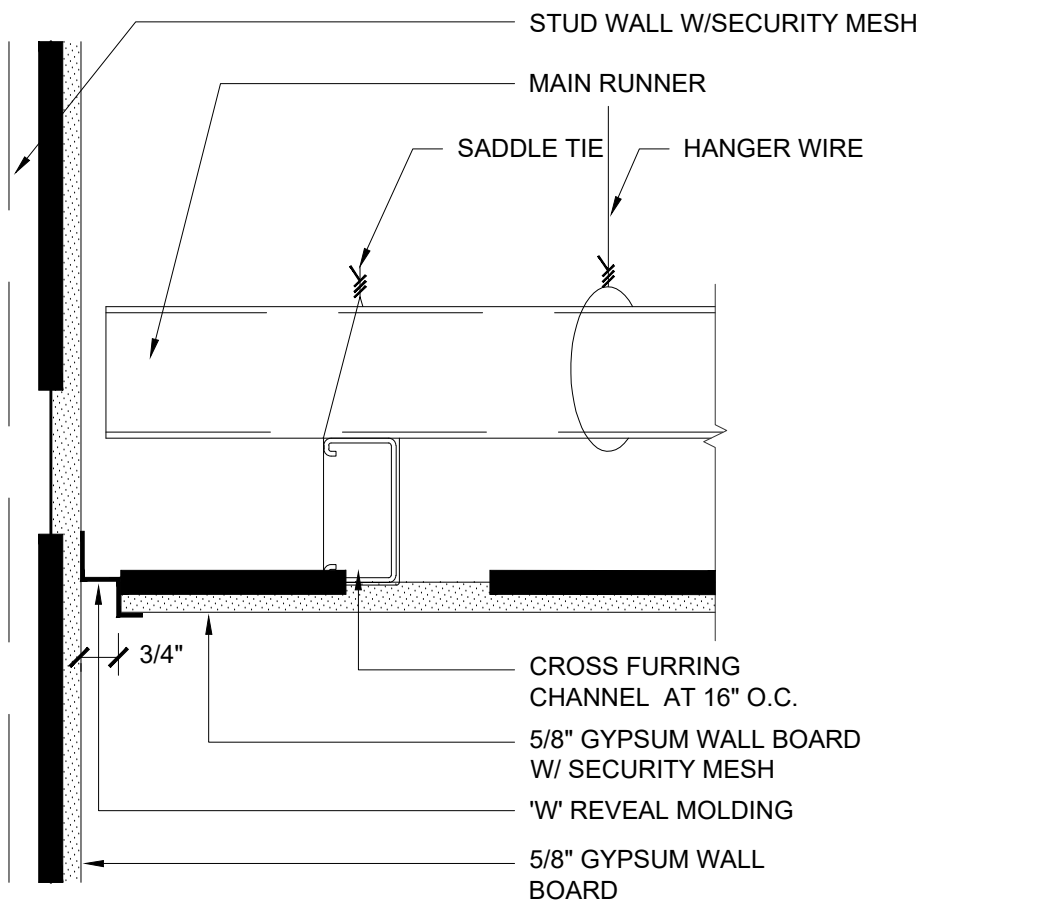
WALL SIGN - See 24-148, TABLE 2B-2	
NUMBER OF SIGNS	
PERMITTED:	2
PROPOSED:	2
SIGN AREA	
PERMITTED:	15% OF THE FACADE OF ESTABLISHMENT, NOT TO EXCEED 100 S.F.
	-SOUTH ELEVATION: 100 S.F., 35% OF 1,365 S.F., 204.75 S.F.
	-WEST ELEVATION: 100 S.F., 35% OF 741 S.F., 111.15 S.F.
	-SOUTH AND WEST ELEVATIONS: 42 S.F.
MAXIMUM HEIGHT	
PERMITTED:	NO HIGHER THAN 6 IN BELOW THE TOP OF THE FACADE, WALL OR PARAPET.
PROPOSED:	SOUTH AND WEST ELEVATION: 1'-8"
MAXIMUM WIDTH	
PERMITTED:	WIDTH SHALL BE LESS THAN 75% OF THE WIDTH OF THE FACADE
	-SOUTH ELEVATION: 23'-10 1/2" - 75% OF 31'-10"
	-WEST ELEVATION: 19'-1 1/2" - 75% OF 25'-6"
	-SOUTH AND WEST ELEVATION: 12'-0"
PROPOSED:	

1 Enlarged Signage 1/4" = 1'-0"

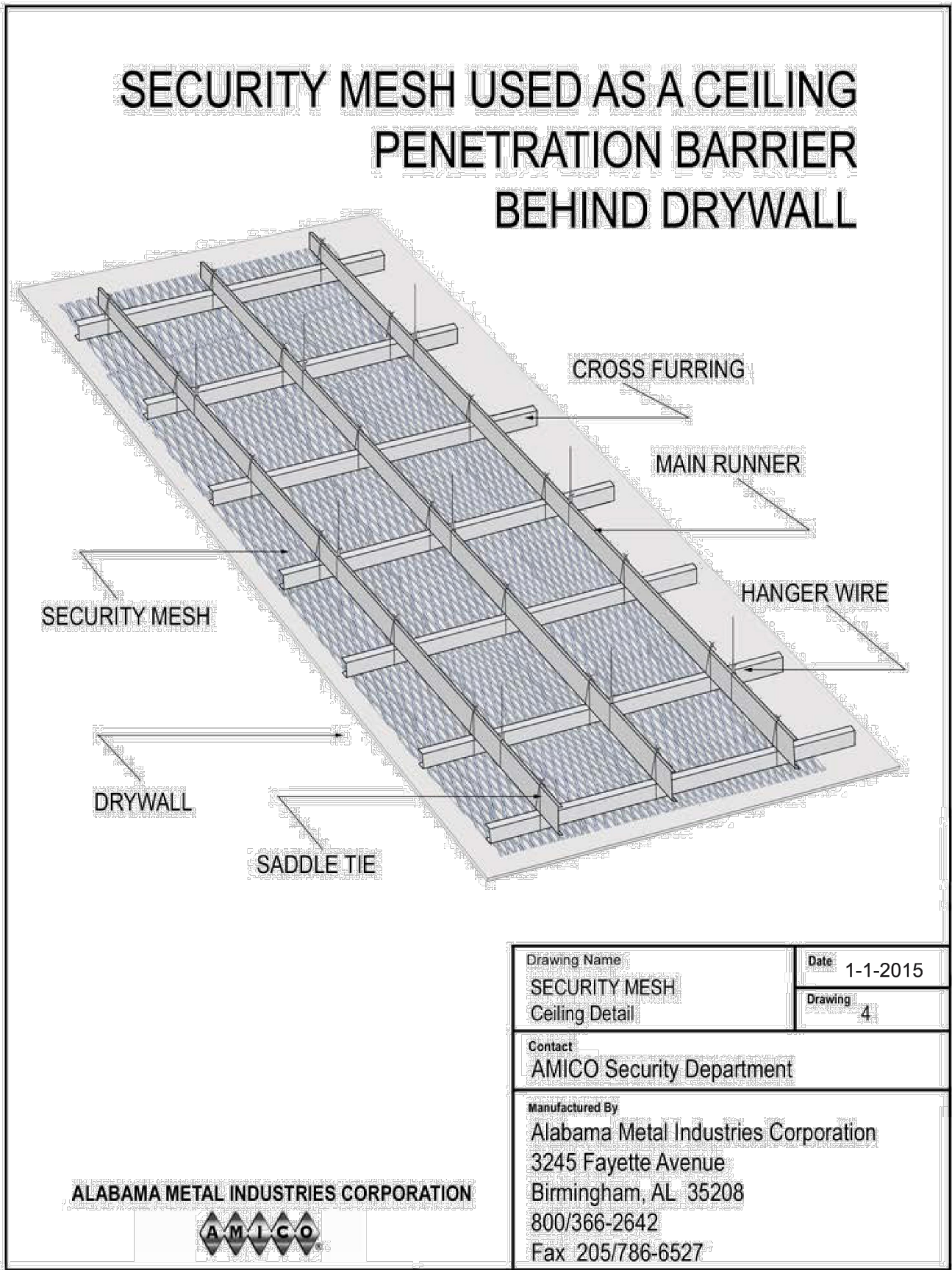




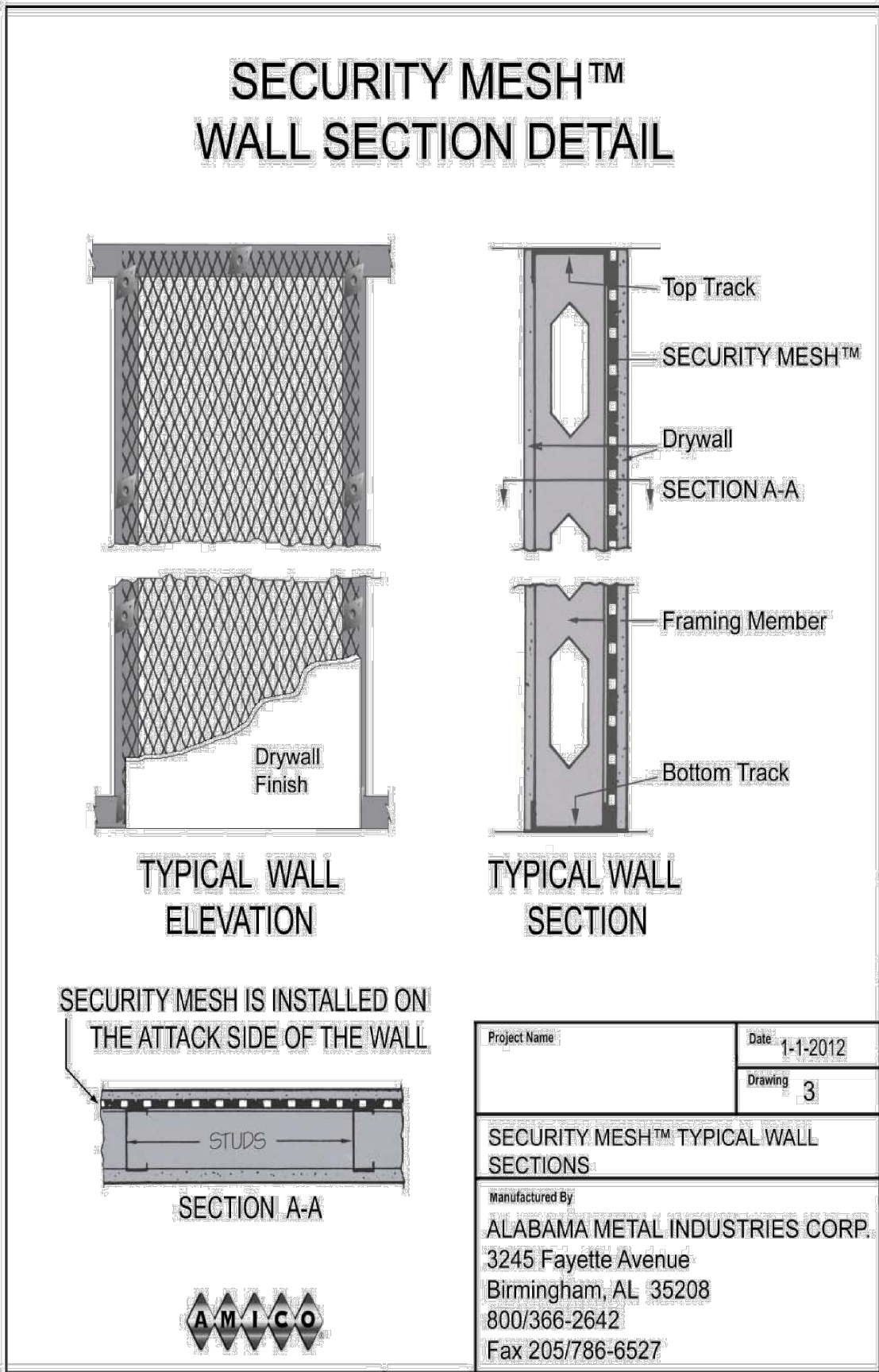
1 Standard 3-5/8" Full Height w/ Security Mesh  
SCALE: 1 1/2" = 1'-0"



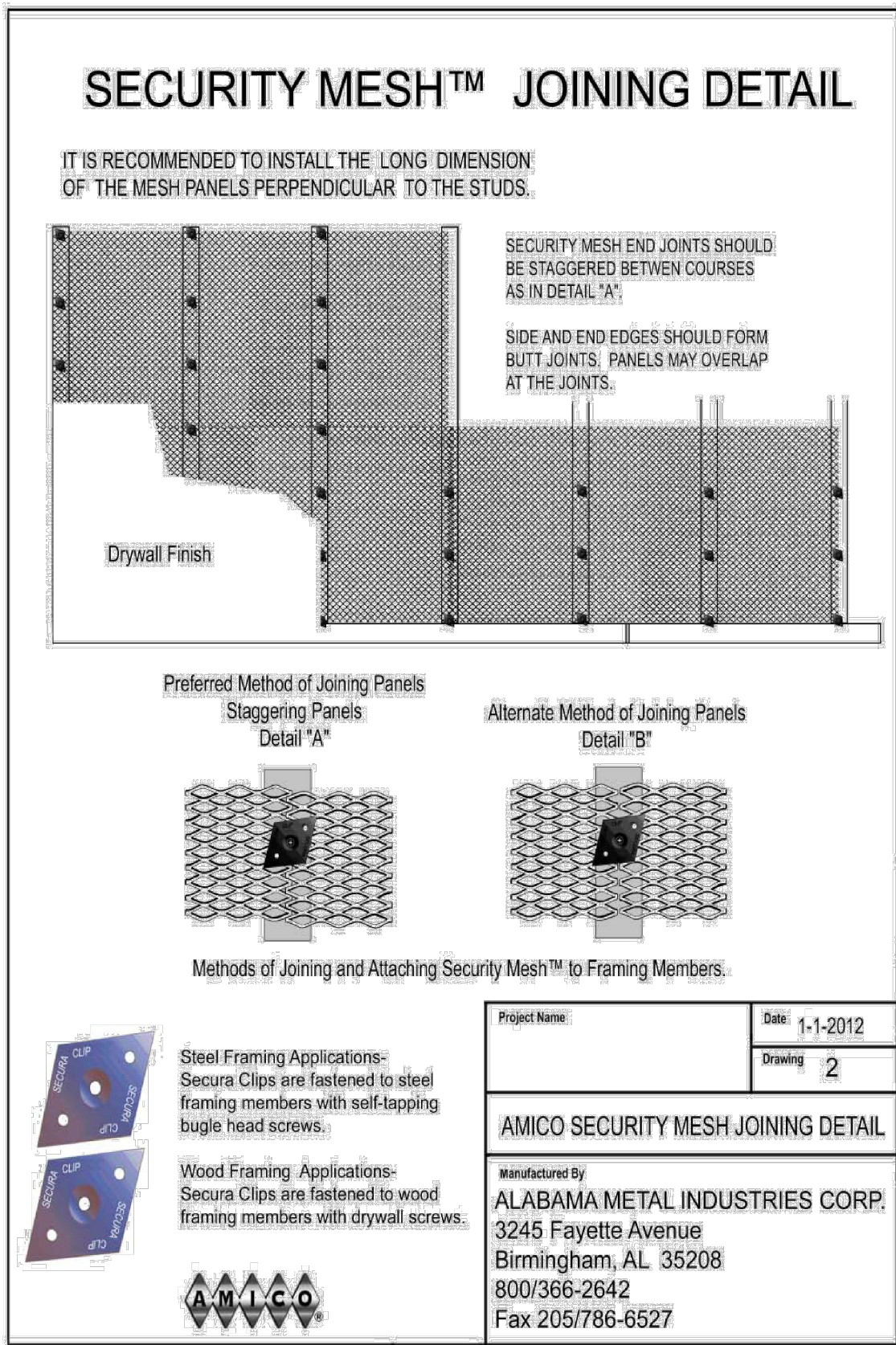
2 Gypsum Board Ceiling w/ Security Mesh - Detail  
SCALE: 3" = 1'-0"



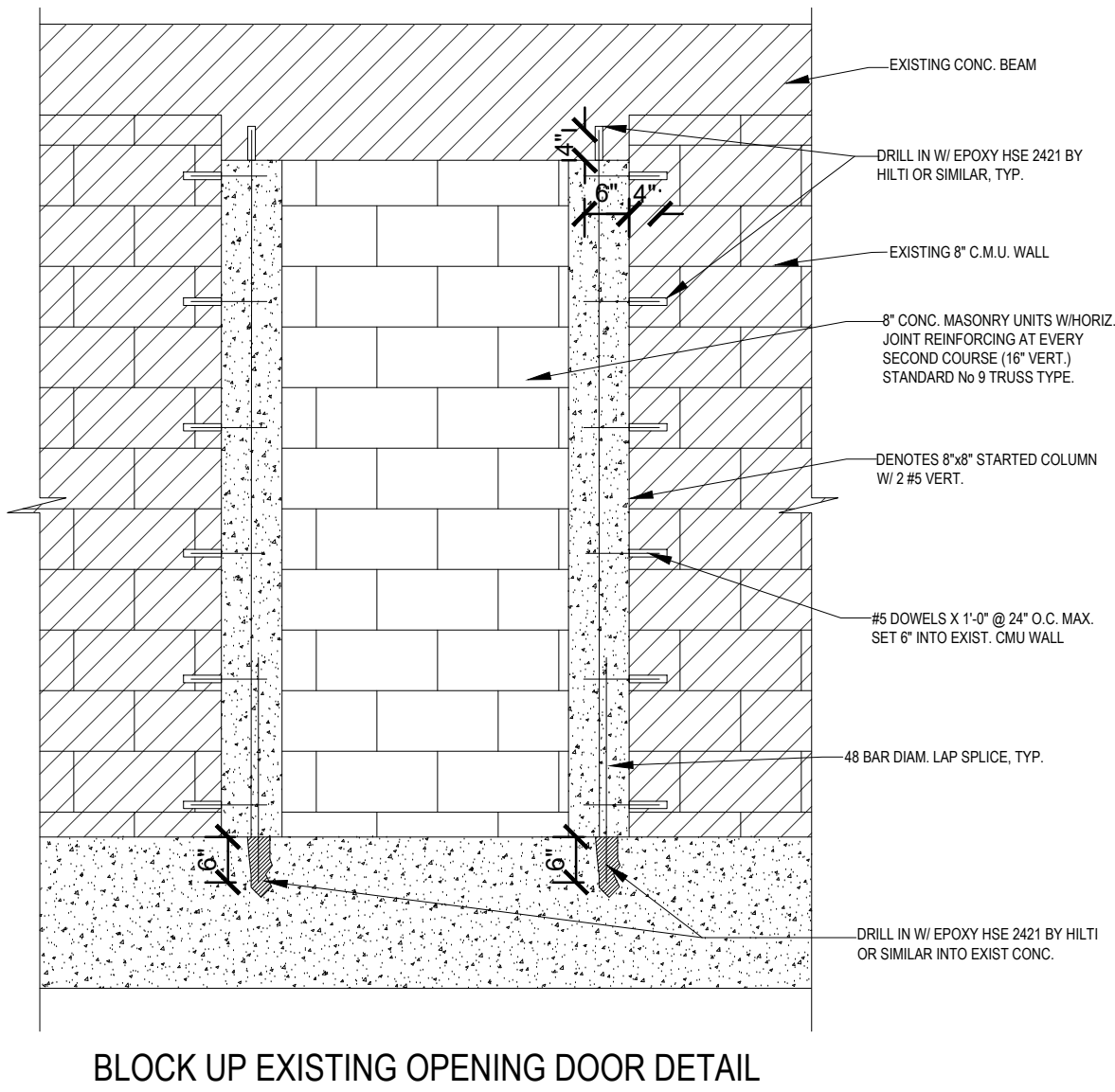
3 Security Mesh Ceiling Detail  
SCALE: NTS



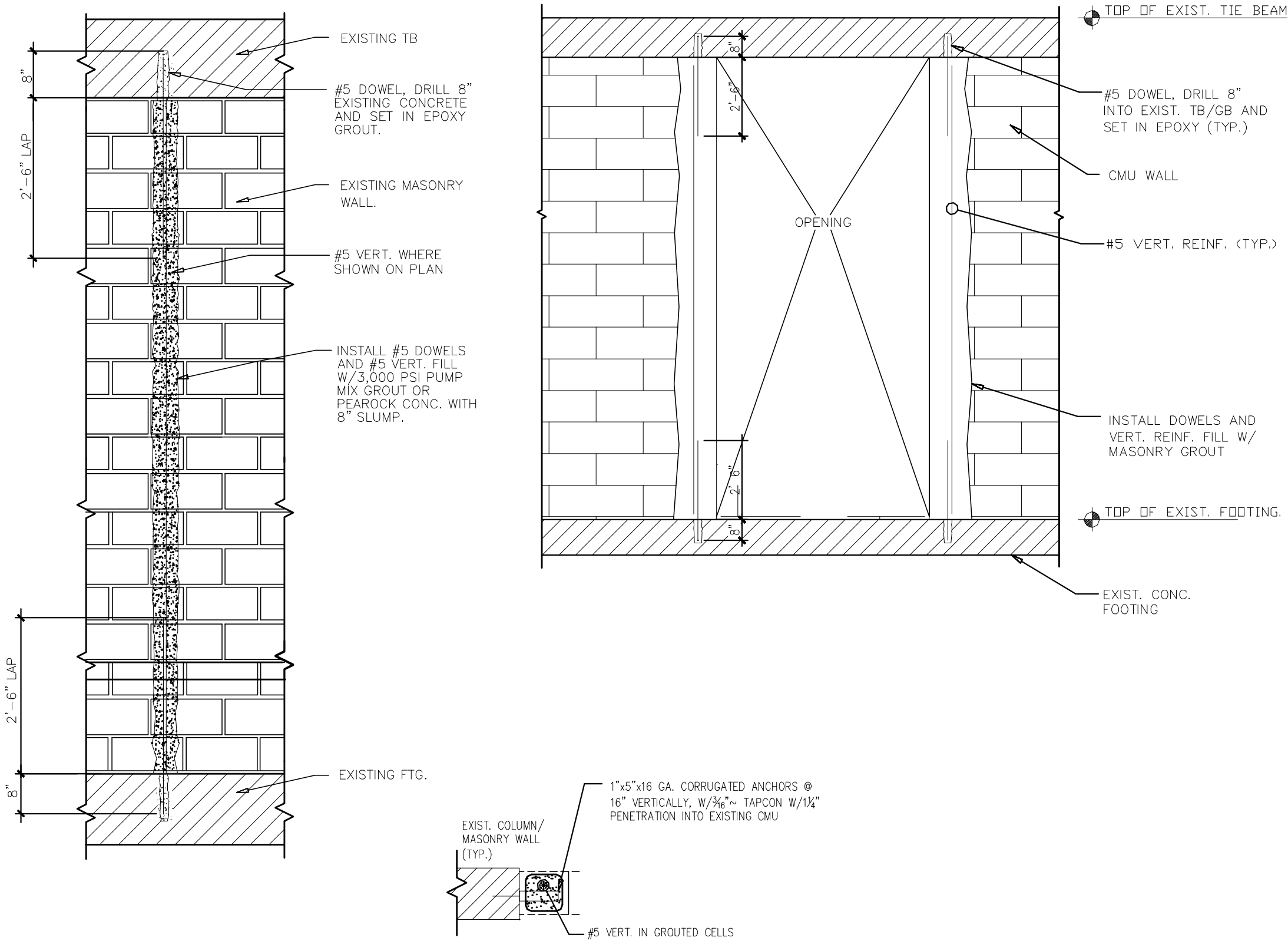
4 Security Mesh Wall Detail  
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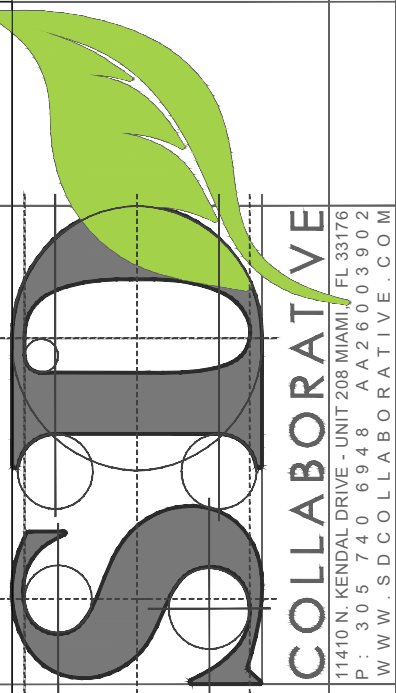
5 Security Mesh Joining Detail  
SCALE: NTS



6 Door Closed Opening Detail  
SCALE: 1/2" = 1'-0"



7 Door Opening Detail  
SCALE: 1/4" = 1'-0"



OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT, THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

PRIMITIVO E. CONDE RA ARCHITECT A60015803  
DULCE M. CONDE RA ARCHITECT A60015803  
1410 N. KENDAL DRIVE, SUITE 200, DALLAS, TX 75205  
WWW.COLLABORATIVE.CO.M

REV. NO. DATE COMMENTS

PROJECT: INTERIOR IMPROVEMENT

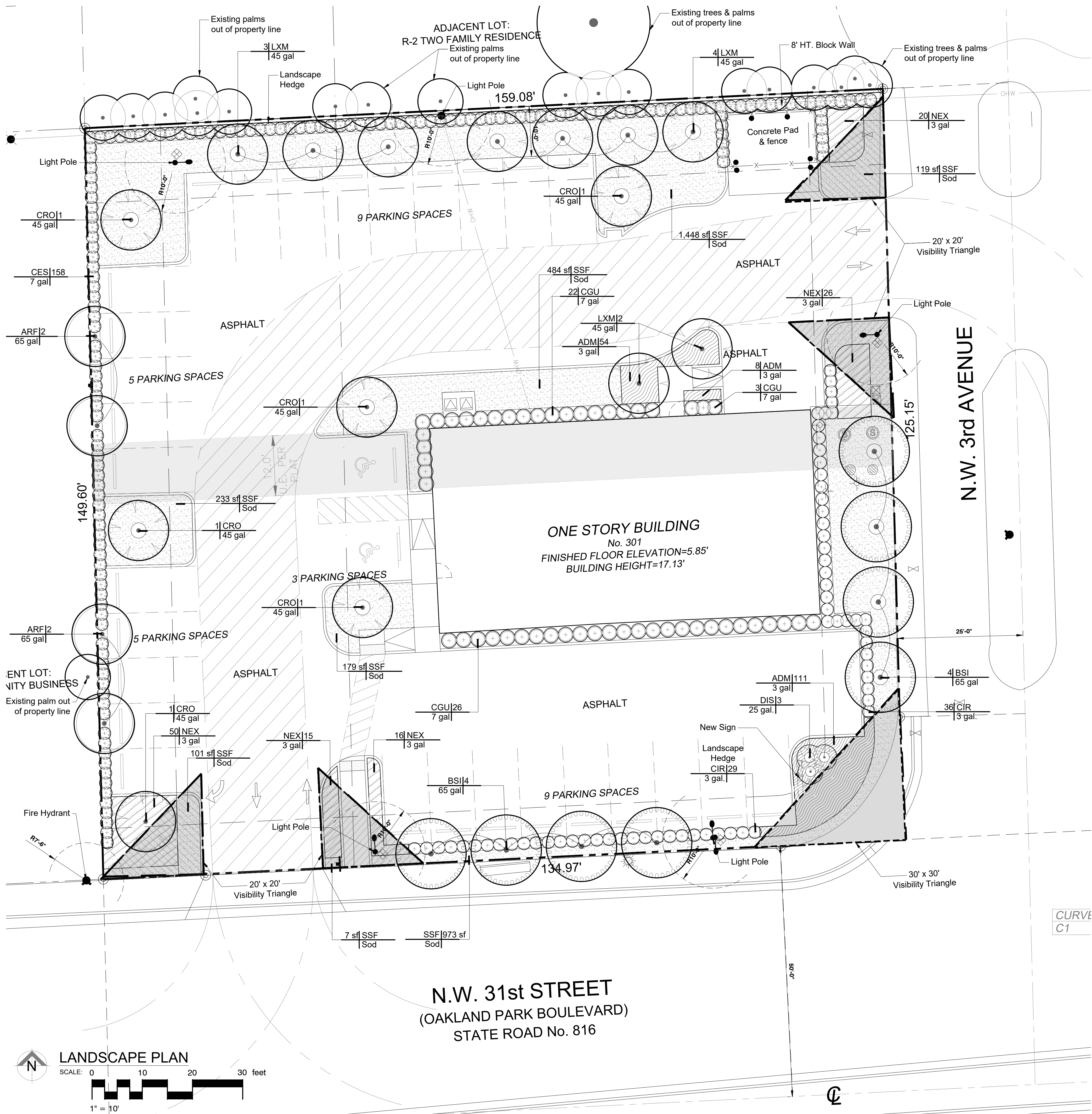
PROJECT NO.: 20-017-00  
ISSUE DATE: 05-20-2020  
SCALE: AS NOTED  
DRAWN BY: MFC  
CHECKED: DCI/EC

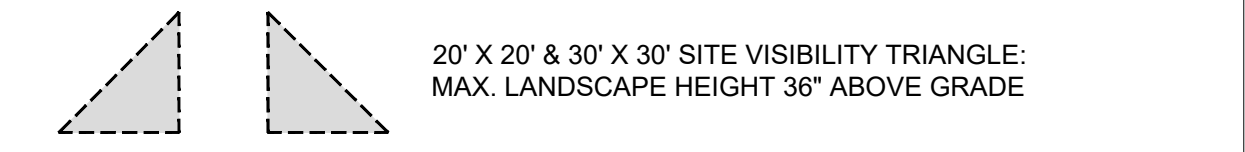
Security Mesh Ceiling and Wall Details

A600a

TRULIEVE DISPENSARY - OAKLAND PARK  
301 W OAKLAND PARK BLVD  
OAKLAND PARK, FL 33311





CITY OF OAKLAND PARK	
LANDSCAPE LEGEND:	
PROPERTY ADDRESS:	301 W OAKLAND PARK BLVD OAKLAND PARK, FL 33311
ZONING DISTRICT:	B-1 / COMMUNITY BUSINESS DISTRICT
SITE AREA:	23,689.5 S.F. (0.543 ACRE)
VEHICULAR USE AREA:	13,753.2 S.F.
PERVIOUS AREA MIN. 25%:	- PERVIOUS AREA REQUIRED 5,926 S.F. / PROVIDED 5,942 S.F.
STREET TREE REQUIREMENTS:	- CONCRETE SIDEWALK NOT WIDE ENOUGH FOR STREET TREES
159.08' NORTH PERIMETER LANDSCAPE (ADJACENT RESIDENTIAL):	- 10' LANDSCAPE STRIP PROVIDED - 6 TREES REQUIRED / 7 PROVIDED - 8' HT WALL REQUIRED / PROVIDED - 32 SHRUBS/VINES REQUIRED / HEDGE PROVIDED INSIDE OF WALL
149.60' WEST PERIMETER LANDSCAPE (ADJACENT COMMERCIAL):	- 2' LANDSCAPE STRIP PROVIDED - 4 TREES REQUIRED / 4 PROVIDED - HEDGE, WALL, OR FENCE REQUIRED / HEDGE PROVIDED
134.97'+38.58'+125.15' = 298.70' R.O.W. EDGE REQUIREMENT:	- 4' TO 15' VARIABLE LANDSCAPE STRIP PROVIDED - 8 TREES REQUIRED / 8 PROVIDED - HEDGE REQUIRED / HEDGE PROVIDED
PARKING LOT REQUIREMENTS: (32 SPACES)	- MIN. 480 S.F. OF LANDSCAPE AREA - MIN. 3 LANDSCAPE ISLAND REQUIRED / 6 PROVIDED - MIN. 4 TREE REQUIRED / 6 PROVIDED
NATIVES REQUIREMENTS (TREES/PALMS 50% OF 27) :	- 14 NATIVES TREES/PALMS REQUIRED / 18 PROVIDED
NATIVES REQUIREMENTS (SHRUBS/GROUND-COVERS 40% OF 577) :	231 NATIVES SHRUBS/GROUND-COVERS REQUIRED / 392 PROVIDED
	

**NOTE:**  
THERE ARE NO EXISTING TREES OR PALMS ON THIS PROPERTY

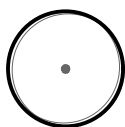
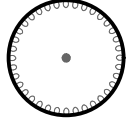

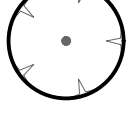




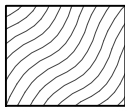
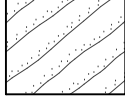
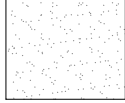


Call 811 or [www.sunshine811.com](http://www.sunshine811.com) two full business days before digging to have utilities located and marked.

*Check positive response codes before you dig!*



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS
	ARF	4	Acer rubrum 'Florida Flame'	Red Maple	65 gal	3"	12'-14' OA	4'-6'	Florida Native - 4' CT - City of Oakland Park Recommended
	BSI	8	Bursera simaruba 'Red Trunk'	Gumbo Limbo	65 gal	4"-6"	14'-16' OA	6'-8'	Florida Native - 4' CT - City of Oakland Park Recommended
	CRO	6	Clusia rosea	Autograph Tree	45 gal	3"	12' OA	6'	Florida Native - 4' CT - City of Oakland Park Recommended
	LXM	9	Lagerstroemia fauriei 'Natchez'	White Crape Myrtle	45 gal	3"	12' OA	6'	Drought Tolerant - Standard - 4' CT - City of Oakland Park Recommended
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	REMARKS
	CIR	65	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	3 gal.	2'	2'		Florida Native - City of Oakland Park Recommended
	CGU	51	Clusia guttifera	Small-Leaf Clusia	7 gal	3'	3'		Florida Native - City of Oakland Park Recommended - Drought Tolerant
	CES	158	Conocarpus erectus 'Sericeus'	Silver Buttonwood	7 gal	3'	2'	4'	Shrub Type - Florida Native - City of Oakland Park Recommended
ACCENTS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	REMARKS
	DIS	3	Dioon spinulosum	Mexican Cycad	25 gal.	5'	5'		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	REMARKS
	ADM	173	Asparagus densiflorus 'Meyerei'	Myers Asparagus	3 gal	1'	1.5'	18" o.c.	City of Oakland Park Recommended
	NEX	127	Nephrolepis exaltata	Boston Fern	3 gal	1.5'	2'	24" o.c.	Florida Native - City of Oakland Park Recommended
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	REMARKS
	SSF	3,544 sf	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine Sod	Sod				Sun / Shade



ARU - Red Maple



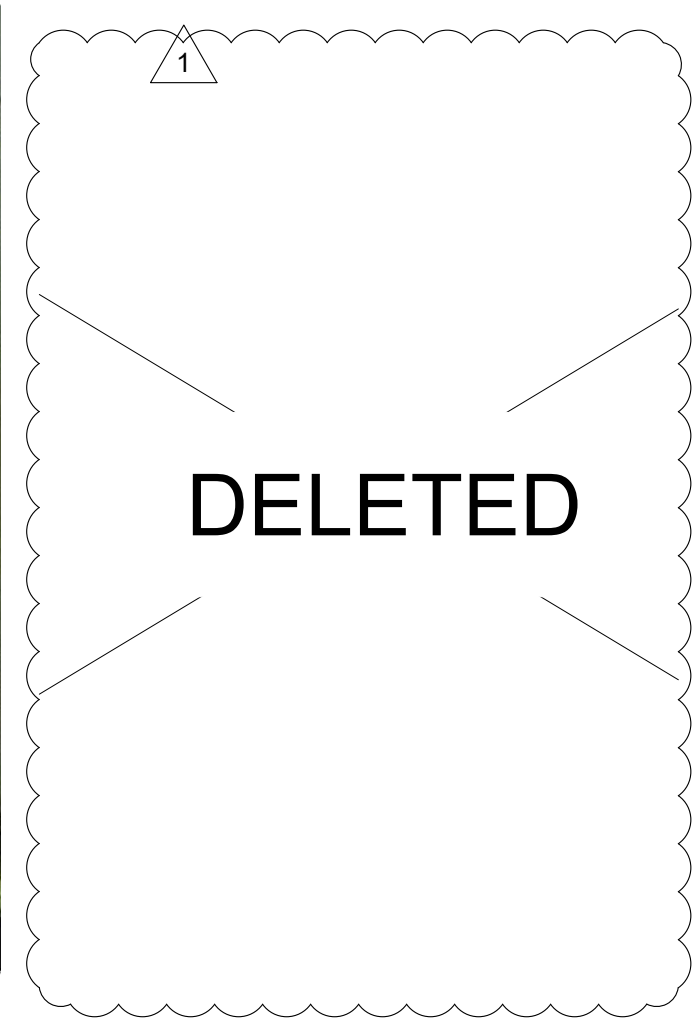
BSI - Gumbo Limbo



CRO - Autograph Tree



LFN - Japanese Crape Myrtle



CIC - Green Cocoplum



CGU - Small-Leaf Clusia



CES - Silver Buttonwood



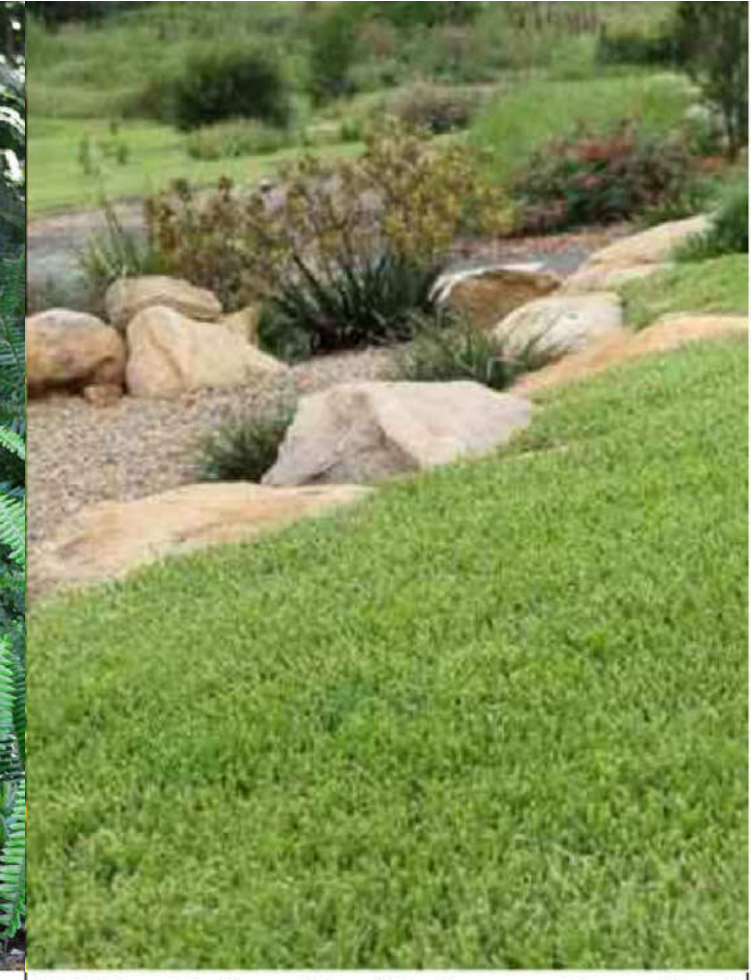
DIS - Mexican Cycad



ADM - Myers Asparagus



NEX - Boston Fern



SSF - Palmetto St.Augustine Sod



GENERAL NOTES

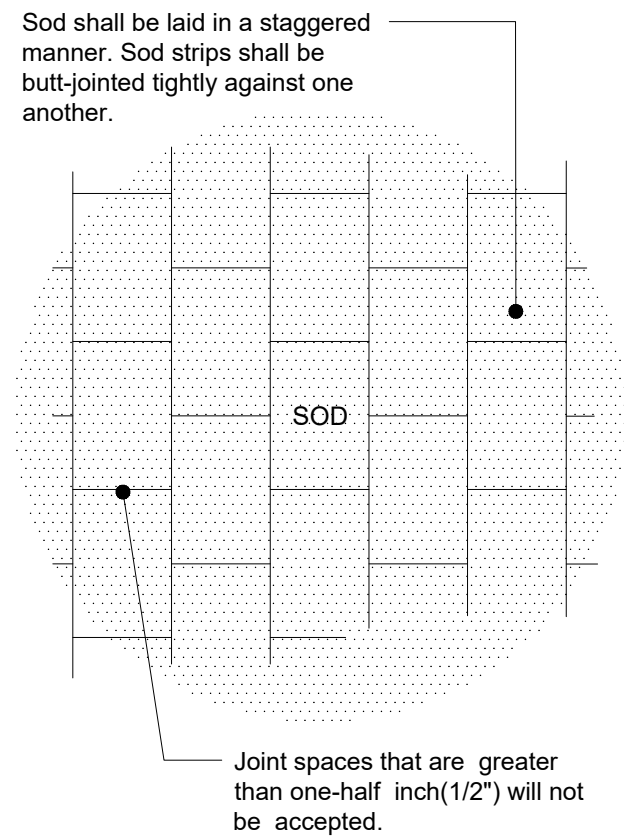
1. Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
2. Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
3. Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
4. No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
5. All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
6. All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
7. Landscape Contractor shall be responsible for providing temporary hand watering to all proposed & landscape areas, during construction.
8. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
9. All permitting and fees to be the responsibility of the Contractor.

PLANTING NOTES

1. Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
2. Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
3. All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
4. Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
5. Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
6. The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
7. All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
8. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
9. All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots, trees with root problems will not be accepted.
10. Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviromulch immediately after planting. In no case shall Cypress mulch be used.
11. All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
12. Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
13. All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
14. All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
15. Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A300 (Part 2) Standards.
16. Stake all trees and palms for approval by Landscape Architect prior to installation.
17. Any sod areas damaged by construction are to be replaced with St. Augustine 'Floritam' sod.
18. All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be sodded with St. Augustine 'Floritam' sod.
19. St. Augustine 'Floritam' - Contractor's responsibility to verify quantity.
20. Install rootbarrier as per manufacturer's recommendation on all large trees that are 6' or closer to any pavement or building, as shown on details page.
21. Root barrier shall be Vespro Inc. or approved equal.

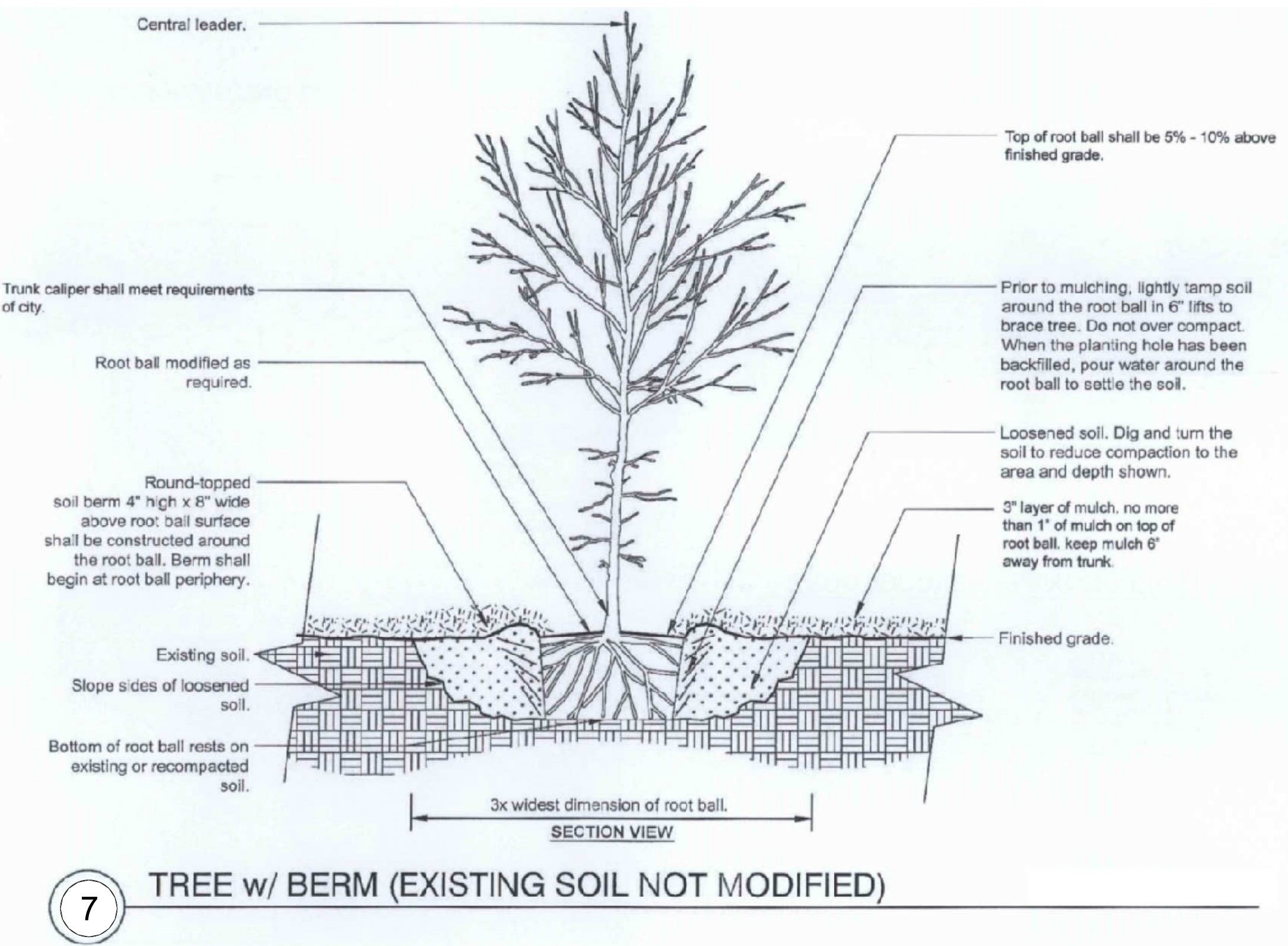
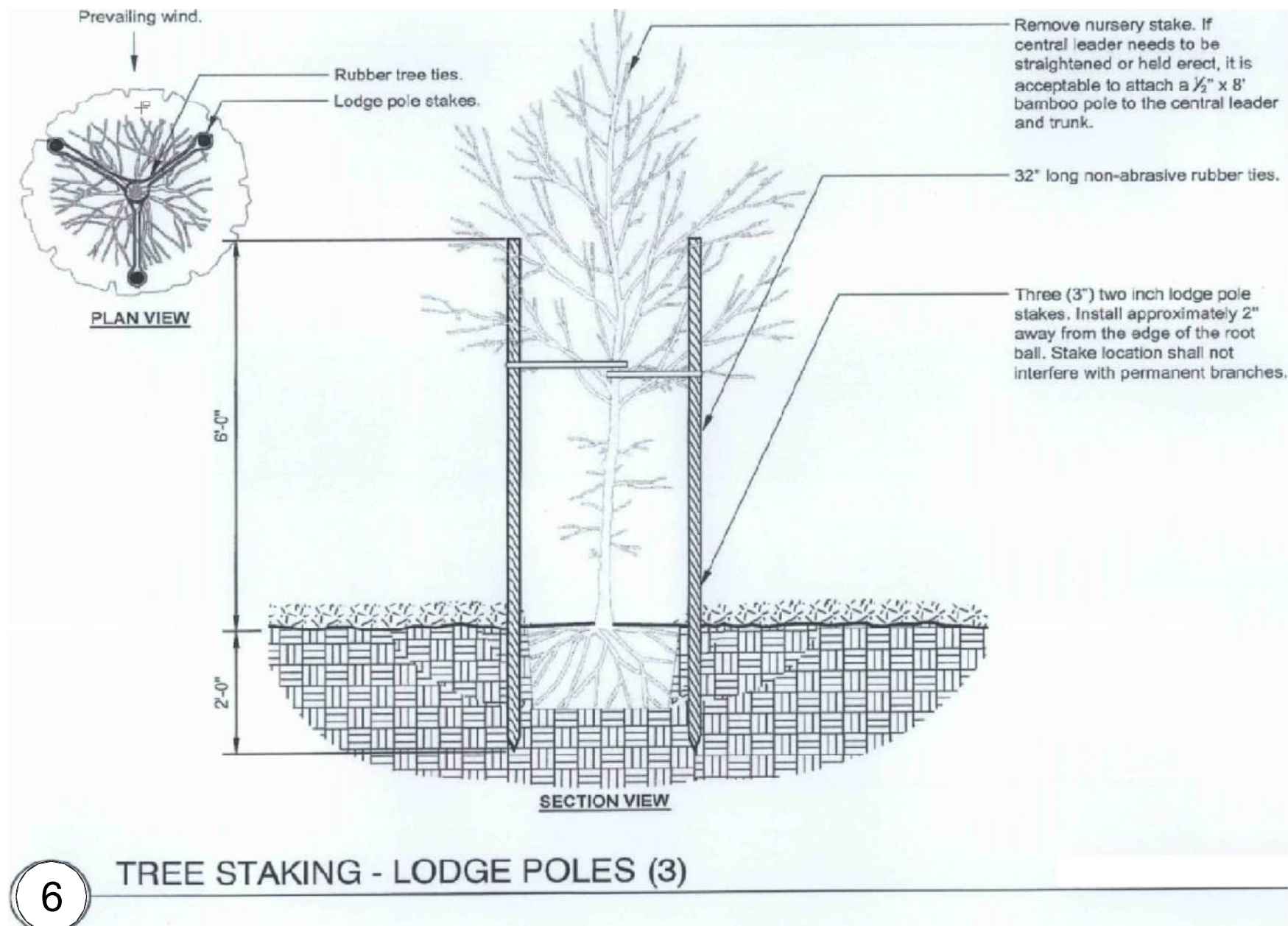
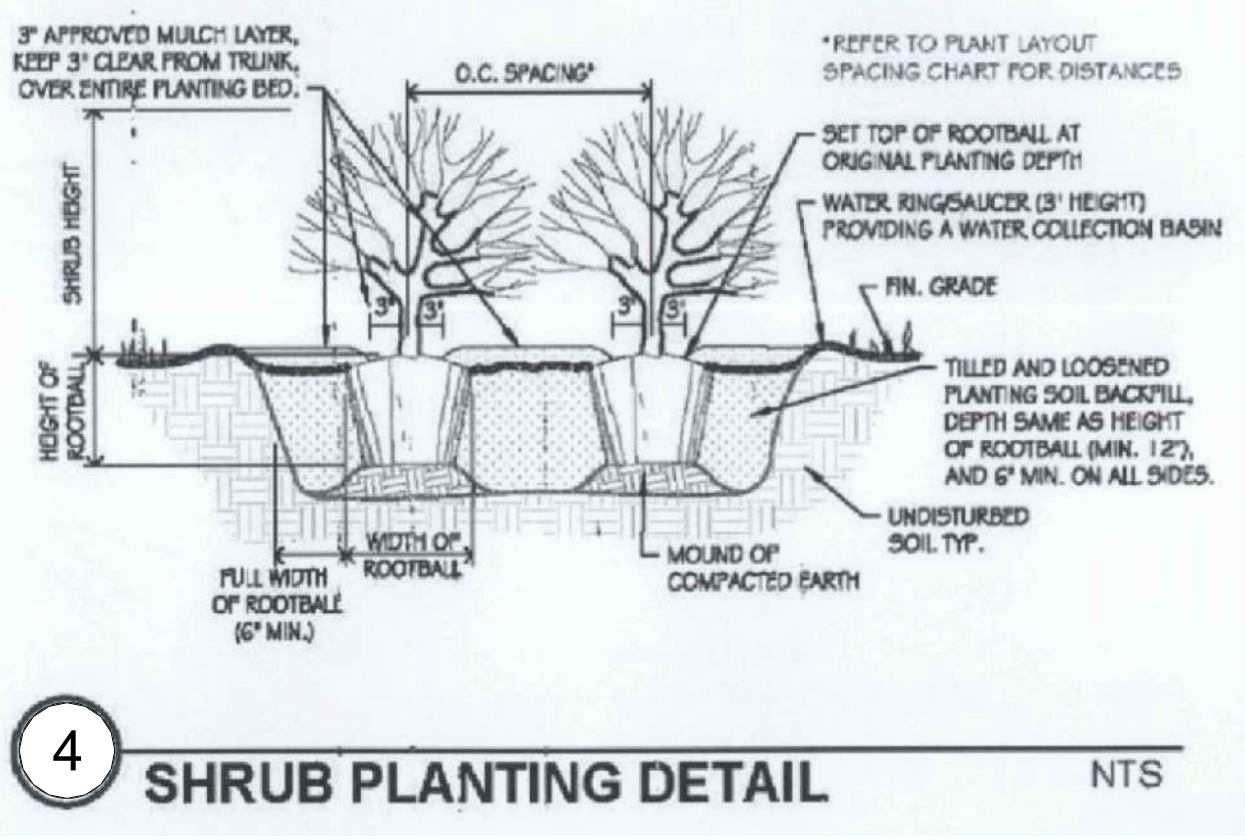
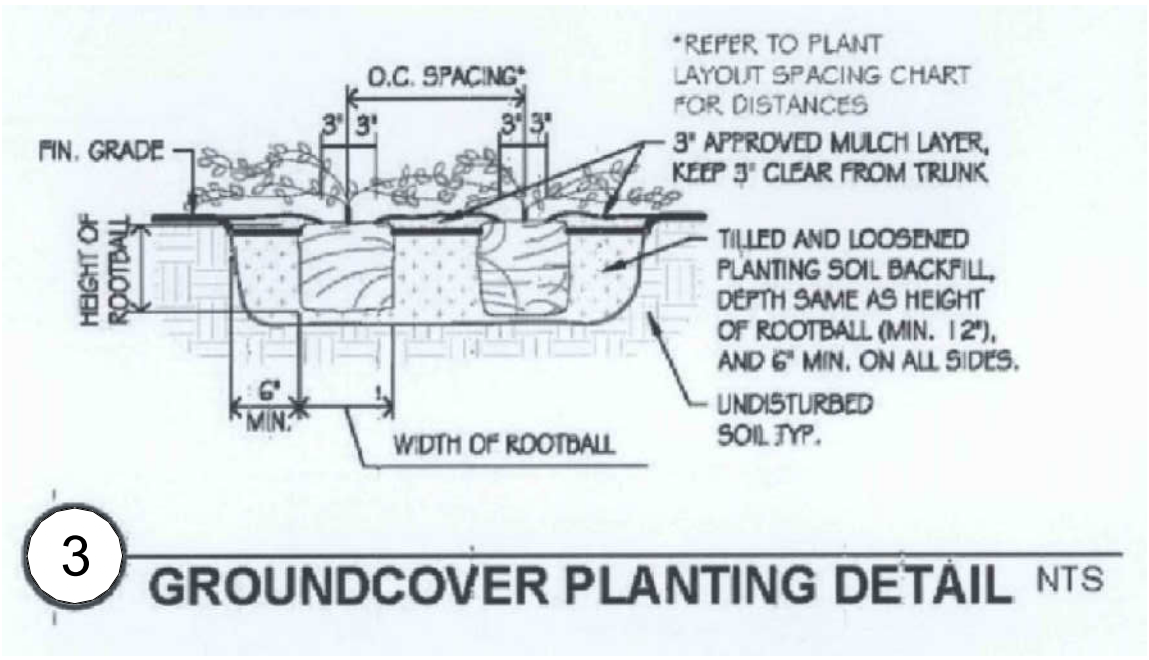
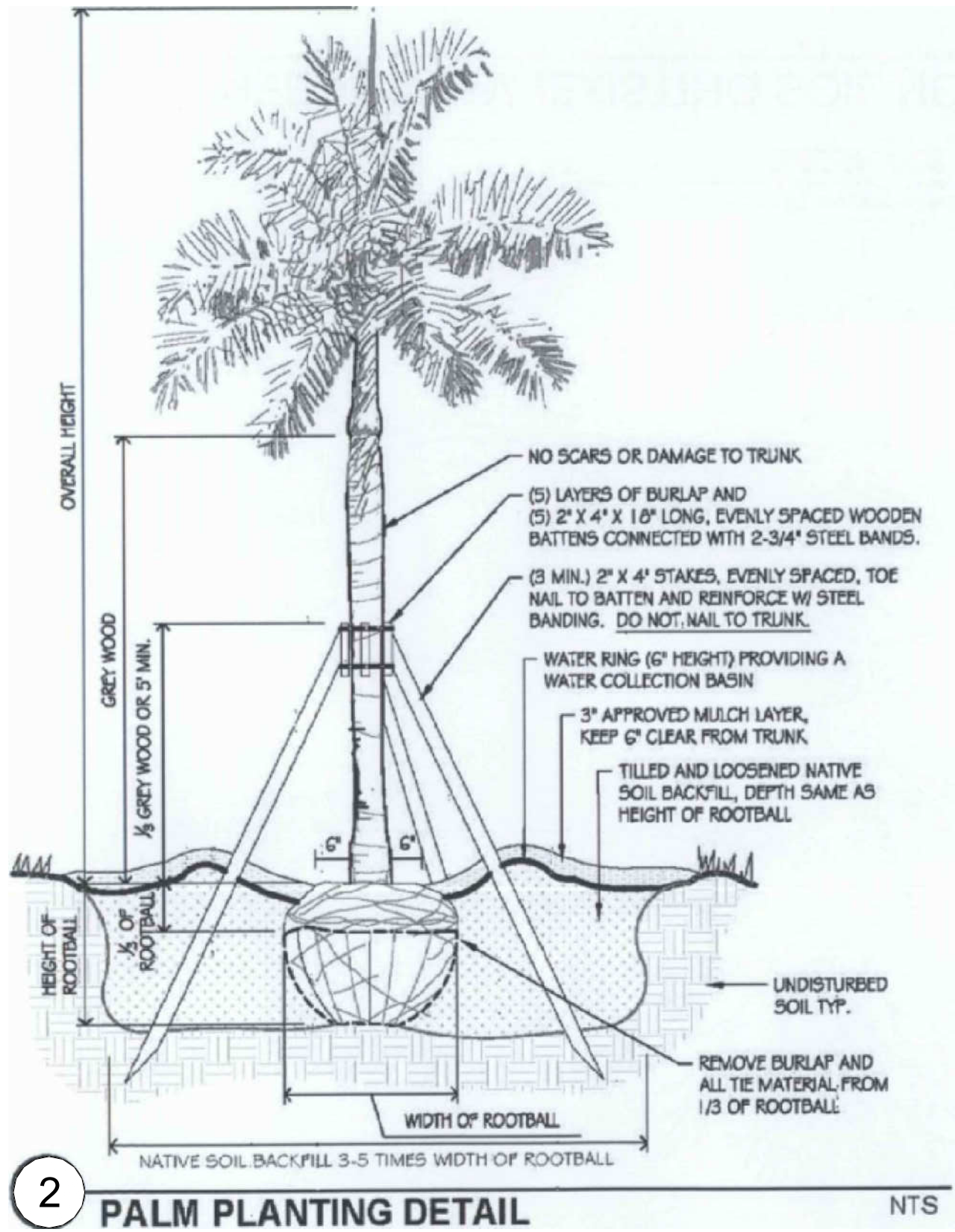
1 PLANTING NOTES

SCALE: N.T.S.



5 PLANTING NOTES

SCALE: N.T.S.



ALL LANDSCAPE DATA INC.

www.alllandscapedata.net & .com  
4459 NW 97 CT / Doral, FL 33178  
Ph: 305.303.7059

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT, THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

COMMENTS

DATE

REV. NO.

PROJECT: INTERIOR IMPROVEMENT

TRULIEVE DISPENSARY - OAKLAND PARK  
301 W OAKLAND PARK BLVD  
OAKLAND PARK, FL 33311

PROJECT NO.: 20-017-00  
ISSUE DATE: 05-20-2020  
SCALE: AS NOTED  
DRAWN BY: JV  
CHECKED: DL

Landscape Notes & Details

L300



OPTION 2  
PROPOSED NEW LOW PROFILE MONUMENT: 60"h x 72"w x 18"d doubleface structure with 36" x 72" LED sign cabinet



Replace current pylon cabinet.  
Utilize existing pad and stub pole.



Optional Low Profile Monument  
Dimensions: 5'-0"H x 6'-0"W x 1'-6"D



**Trulieve OAKLAND PARK**  
301 W Oakland Park Blvd.  
Ft Lauderdale, FL 33311

**#54390 - Proposed Low Profile Doubleface Monument**

Design, engineer, fabricate and install above new LED monument. Utilize existing pad, foundation and pole. Above graphics are proposed and subject to change.

City of Oakland Park Code: Max height: 5' / Max signage 48sf



FL STATE LICENSED ES#12001844





Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Filename	Lumens per Lamp	LLF	Wattage
	SL2		5	Beacon Products	VP-L-80L-235-4K7-2	LARGE VIPER	VP-L-80L-235-4K7-2.ies	27149	0.92	230.6
	SL4		1	Beacon Products	VP-L-80L-235-4K7-4	LARGE VIPER	VP-L-80L-235-4K7-4.ies	26576	0.92	230.6
	WP2		7	HUBBELL OUTDOOR	LCN3-24L4K-105-2	Medium LNC3 Litepak	LCN3-24L4K-105-2.ies	7472	0.92	82.8

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Property Boundary	+	7.2 fc	16.9 fc	0.4 fc	42.3:1	18.0:1	

Luminaire Locations												
Location												
No.	Label	X	Y	Z	MH	Orientation	Tilt	Aim				
								X	Y	Z		
1	SL2	10.30	-9.68	25.00	25.00	356.69	0.00	10.22	-8.31	0.00		
2	SL2	77.36	-6.66	25.00	25.00	356.61	0.00	77.28	-5.29	0.00		
3	SL2	-29.68	127.68	25.00	25.00	140.33	0.00	-28.80	126.63	0.00		
4	SL2	-30.33	54.70	25.00	25.00	88.89	0.00	-28.95	54.73	0.00		
5	SL2	12.54	128.93	25.00	25.00	177.80	0.00	12.60	127.55	0.00		
1	SL4	71.97	122.00	25.00	25.00	173.99	0.00	72.12	120.59	0.00		
1	WP2	69.10	77.57	13.00	13.00	358.06	0.00	69.10	77.57	0.00		
2	WP2	20.83	71.58	13.00	13.00	264.26	0.00	20.83	71.58	0.00		
3	WP2	22.42	36.55	13.00	13.00	264.26	0.00	22.42	36.55	0.00		
4	WP2	91.84	37.13	13.00	13.00	174.56	0.00	91.84	37.13	0.00		
5	WP2	61.62	35.61	13.00	13.00	174.56	0.00	61.62	35.61	0.00		
6	WP2	30.66	33.87	13.00	13.00	174.56	0.00	30.66	33.87	0.00		
7	WP2	98.20	58.80	13.00	13.00	84.42	0.00	98.20	58.80	0.00		

- Notes**
- Readings are shown in units of maintained footcandles.
  - Total Light Loss Factor (LLF) = .95 LLF for LED
  - Test Plane = 0' AG
  - Fixture Mounting Height = 13' AG for all wall packs, 25' AG for all area lights (pole mounted).
  - Building Height = 17' AFF
  - Building Reflectance Value = 10/10/10
  - Fixture Spacing = See Plan view.
  - This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
  - These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.
  - For more information, please contact Shawn Campbell with CED National Accounts at shawn.campbell@ced.com or 678-215-3065.

CURVE TABLE (C)			
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE
C1	38.71'	25.00'	88°43'06"

**Disclaimer**  
This lighting design is not a professional engineering drawing and is provided for informational purposes only, without warranty as to accuracy, completeness, reliability or otherwise. CED National Accounts is not responsible for specifying the lighting or illumination requirements for any specific project. It is the obligation of the end-user to consult with a professional engineering advisor to determine whether this lighting design meets the applicable project requirements for lighting system performance, safety, suitability and effectiveness for use in a particular application. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual field performance to differ from the calculated photometric performance represented in this lighting design. In no event will CED National Accounts be held responsible for any loss resulting from any use of this lighting design.



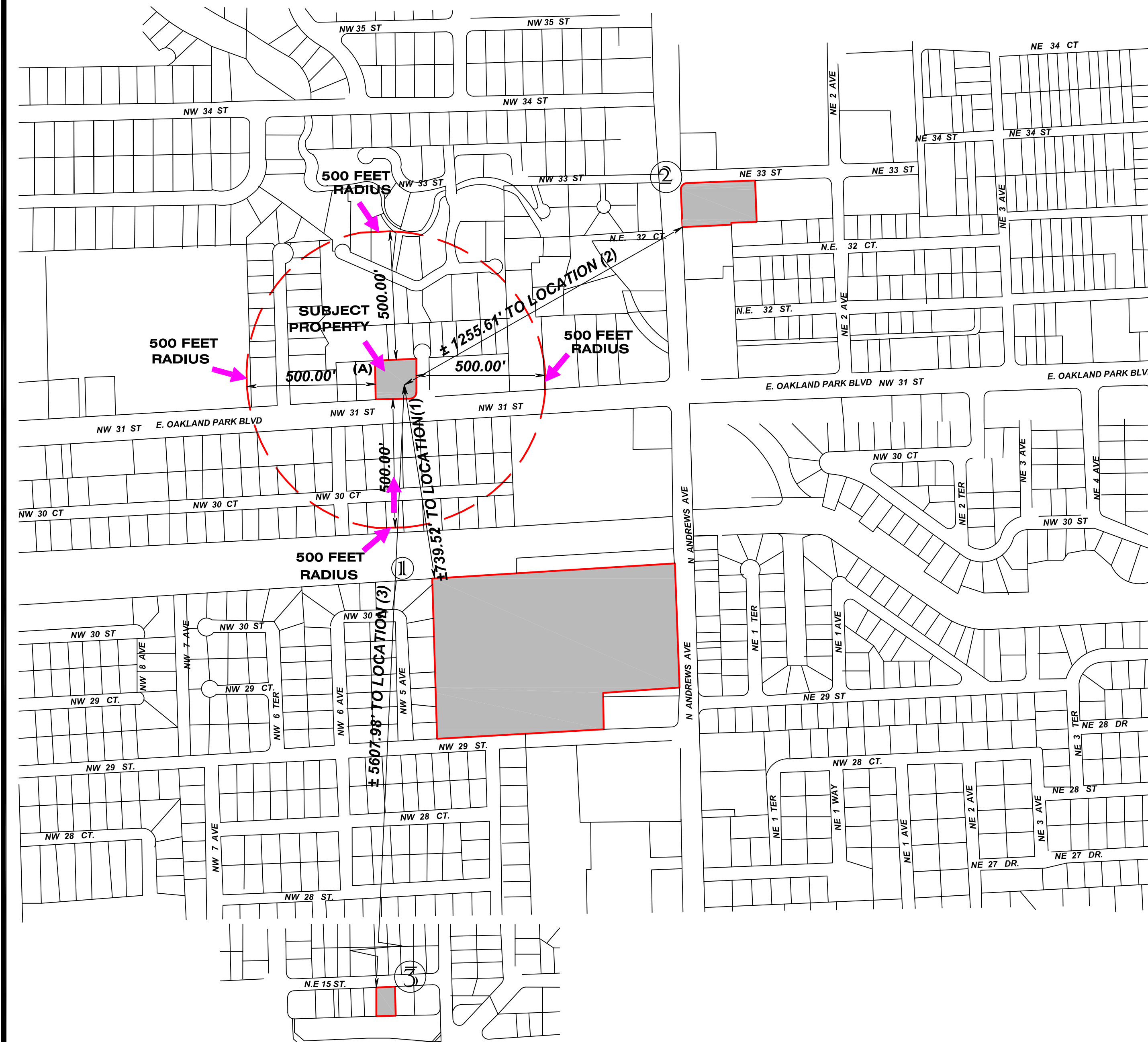
Nova Surveyors Inc.  
LAND SURVEYORS

## ***RADIUS MAP***

( IN FEET )  
1 inch = 300 ft.



**SHEET No. 1 OF 1**



	NAME	FOLIO No.	PROPERTY ADDRESS	DISTANCE TO SUBJECT PROPERTY
(A)	SUBJECT PROPERTY	4942 22 23 0040	301 NW 31 STREET, OAKLAND PARK FL 33309	GPS COORDINATES OF THE FRONT DOOR 26°10'00.12" N    80°08'59.02" W
(1)	SOMERSET ACADEMY	4942 27 00 0070	2965 N ANDREWS AVENUE, WILTON MANORS FL 33311	+/- 739.52 FEET ( FROM DOOR SUBJECT PROPERTY TO PROPERTY LINE )
(2)	CARE AND SHARE UXBRIDGE CHRISTIAN ACADEMY	4942 22 03 0030	3260 N ANDREWS AVE, FORT LAUDERDALE, FL 33309	+/- 1255.61 FEET ( FROM DOOR SUBJECT PROPERTY TO PROPERTY LINE )
(3)	MEDICAL MARIJUANA DOCTOR - GE HEALTH MEDICAL	4942 15 01 3750	87 NE 44 STREET, OAKLAND PARK FL 33334	+/- 5607.98 FEET ( FROM DOOR SUBJECT PROPERTY TO PROPERTY LINE )

**SURVEYOR'S NOTE:**

1.) THIS IS A SPECIFIC PURPOSE SURVEY ONLY

2.) FRONT DOOR LOCATION OF PROPOSED DISPENSING FACILITY (INCLUDE COORDINATES)

I, George Ibarra GEORGE IBARRA, (PROFESSIONAL LAND SURVEYOR No. 2534) CERTIFY THAT AS OF 07-27-2020  
 (DATE), THERE ARE NO DISPENSING FACILITIES WITHIN A 500' RADIUS OF THE PROPOSED DISPENSING FACILITY; THERE ARE NO CHILD CARE  
 FACILITIES, PRESCHOOLS, KINDERGARTENS, ELEMENTARY SCHOOLS, MIDDLE SCHOOL, HIGH SCHOOLS OF THE PROPOSED DISPENSING FACILITY.

